

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



W13a

A-5-LGB-20-0055 (Donahue)

November 16, 2022

EXHIBITS

Table of Contents

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 –Project Plans



Crystal Cove
State Park

Laguna Beach


Project Location

An aerial photograph of a residential neighborhood. The image shows several large houses with various roof types, including shingles and solar panels. A central house is highlighted with a white outline and labeled 'Project Site'. To the right, a road is labeled 'Cliff Drive'. The bottom left corner shows a sandy beach area. The text 'California Coastal Commission A-5-LGB-20-0055 Exhibit 1 Page 2 of 2' is in the bottom right corner.

Cliff Drive

Project Site

DONAHUE RESIDENCE ADDITION & REMODEL

VICINITY MAP



REVISIONS

NO.	DATE	BY
1	6/6/2019	JL
2	9/24/2019	JL
3	4/15/2020	JL
4	7/27/2020	JL
5	3/11/2022	JL



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TITLE SHEET
DONAHUE RESIDENCE
1225 CLIFF DRIVE
LAGUNA BEACH, CALIFORNIA 92651

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PROJECT SUMMARY TABLES

ZONING STANDARDS				
USE	VLD	ZONE	R-1	LOT SLOPE (%)
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (YES / NO)
LOT AREA (MIN)	6,000 SQFT	(10,000) 9,000 SQFT (NET)	NO CHANGE	YES
LOT WIDTH (AVG)	70'-0"	50'-0"	NO CHANGE	NO
LOT DEPTH (AVG)	80'-0"	205'-9"	NO CHANGE	YES
MAX. BUILDING HEIGHT	30'-0"	28'-1"	30'-0"	YES
MAX. HEIGHT FROM CURB	15'-0"	11'-3"	NO CHANGE	YES
SETBACKS:				
FRONT YARD	20'-0"	1'-8"	NO CHANGE	(E) NON-CONFORM
REAR YARD	10'-0" / 25'-0" BLUFF	76'-0"	65'-9"	YES
SIDE YARD (MIN)	NORTH 5'-0" SOUTH 5'-0"	5'-0" 2'-1"	NO CHANGE	(E) NON-CONFORM
LOT COVERAGE (BSC) (% OF NET LOT AREA)	35% (2,855 SQFT)	26.7% (2,163 SQFT)	28.5% (2,325 SQFT)	YES
LANDSCAPE OPEN SPACE (MINIMUM)	27.48%	37.5%	34.9%	YES
IRRIGATED AREA				
PARKING	3	3	3	YES

PROJECT DATA				
DESCRIPTION	EXISTING	ADDITION / REDUCTION	PROPOSED TOTAL	REMODEL
LIVING AREA: LOWER	0 SF	+1,244 / -0	+1,244	1,244 SF
MAIN	1,651 SF	+311 / -373	-62	1,589 SF
UPPER	1,044 SF	+51 / -132	-81	963 SF
GARAGE:	427 SF	+0 / -0	+0	427 SF
TOTAL FLOOR AREA	3,122 SF	+1,606 / -505	+1,101	4,223 SF
EXERCISE ROOM ADDITION PERMIT #03-282	300 SF			2,309 SF
TOTAL HABITABLE PRIOR TO JANUARY 13, 1993	2,822 SF			4,233 SF
ELEVATED DECK:	449 SF	+459 / -87	+372	821 SF
MECHANICAL:	89 SF	+111 / -89	+22	111 SF

CITY OF LAGUNA BEACH TYPICAL NOTES				
1.	UNDERGROUND ALL UTILITY LINES TO THE NEAREST EXISTING UTILITY BOX.			
2.	PROJECT SHALL COMPLY T-24 ENERGY CONSERVATION REQUIREMENTS.			

ZONING NOTES				
1.	OUTDOOR FIREPLACES, FIRE PITS, TORCHES, OUTDOOR BARBQUES AND GRILLS (NON-FUEL MODIFICATION DESIGNATION)			
A.	SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL NOT BE USED FOR THE DISPOSAL OF RUBBISH, TRASH OR COMBUSTIBLE MATERIALS.			
B.	SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL NOT BE LOCATED WITHIN 10 FEET OF ANY COMBUSTIBLE STRUCTURE, COMBUSTIBLE MATERIAL OR VEGETATION.			
C.	ALL EXTERIOR FLAME PRODUCING DEVICES, STRUCTURES OR EQUIPMENT SHALL BE GAS BURNING ONLY.			
D.	ALL OUTDOOR BARBQUES AND GRILLS SHALL BE INSTALLED AND OPERATED PER THE MANUFACTURER'S RECOMMENDATIONS.			
E.	SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL BE LOCATED PER THE MANUFACTURER'S RECOMMENDATIONS RELATING TO THE SEPARATION FROM ANY COMBUSTIBLE STRUCTURE.			

SITE WORK				
GRADING (CUBIC YARDS)	OUTSIDE BLDG. FOOTPRINT	INSIDE BLDG. FOOTPRINT	POOL / SPA	TOTAL
CUT	340 CY	155 CY	95 CY	590 CY
FILL	0 CY	0 CY	0 CY	0 CY
NET EXPORT	340 CY	155 CY	95 CY	590 CY
SITE COVERAGE				
LOT AREA				
EXISTING	2,183 SF	2,325 SF	21.8%	23.3%
PROPOSED	4,084 SF	3,956 SF	40.9%	39.6%
STRUCTURE	3,726 SF	3,712 SF	37.3%	37.1%
HARDSCAPE (INCL. DRIVEWAY)	9,993 SF	9,993 SF	100%	100%
PERMEABLE				
TOTAL (GROSS LOT AREA)				

POOL / SPA DETAILS				
DIMENSIONS (L X W X D)				
POOL (NEW)	27' X 10' X 3.75'	1,012 CUFT / 7,570 GAL		
SPA (NEW)	4'-8" X 7'-8" X 4'	143 CUFT / 1,070 GAL		
TOTAL		1,155 CUFT / 8,639 GAL		
EXTERIOR BUILDING LIGHTING				
EXISTING EGRESS DOORS	8	PROPOSED EGRESS DOORS	8	
EXISTING FIXTURE COUNT	10	PROPOSED FIXTURE COUNT	20	
FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS
WALL MOUNT	5 MAX.	500 MAX	11	
RECESSED	5 MAX.	500 MAX	9	
TOTAL LIGHT FIXTURES			20	
LANDSCAPE LIGHTING				
EXISTING FIXTURE COUNT	40	PROPOSED FIXTURE COUNT	51	
FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS
PATH LIGHT	2.5 WATTS	88 LUMENS	12	
SPOT LIGHT	3 WATTS	155 LUMENS	2	
W. FLOOD LIGHT	3.5 WATTS	280 LUMENS	6	
STEP LIGHT	3.5 WATTS	95 LUMENS	8	
WALL LIGHT	1.25 WATTS	37.5 LUMENS	6	
TOTAL LIGHT FIXTURES			34	

LEGAL DESCRIPTION				
A.P.N. 053-161-05				
A-TRACT: 461 Bldg; Y LOT: 17				
PROJECT CODES				
TYPE OF CONSTRUCTION:	V-8			
TYPE OF OCCUPANCY:	R-3			
APPLICABLE	2016 CALIFORNIA RESIDENTIAL CODE (CRC), BUILDING CODES: (CBC), MECHANICAL (CMC), PLUMBING (CPC), ELECTRICAL (CEC), ENERGY (CENC), FIRE (CFC), GREEN (CGB), LAGUNA BEACH MUNICIPAL CODE (LBMC),			
SPRINKLERS REQUIRED:	YES			
SCOPE OF WORK				
HABITABLE AREA ADDITION AND REMODEL TO AN EXISTING THREE STORY SINGLE FAMILY DWELLING WITH AN EXISTING DETACHED TWO CAR GARAGE. PROJECT ALSO INCLUDE SWIMMING POOL, SPA, AC UNITS, HARDSCAPE AND LANDSCAPE DEVELOPMENT.				

CONTACTS

OWNER:
BOB AND LUCY DONAHUE
CONTACT: ARCHITECT
1225 CLIFF DRIVE
LAGUNA BEACH, CA 92651

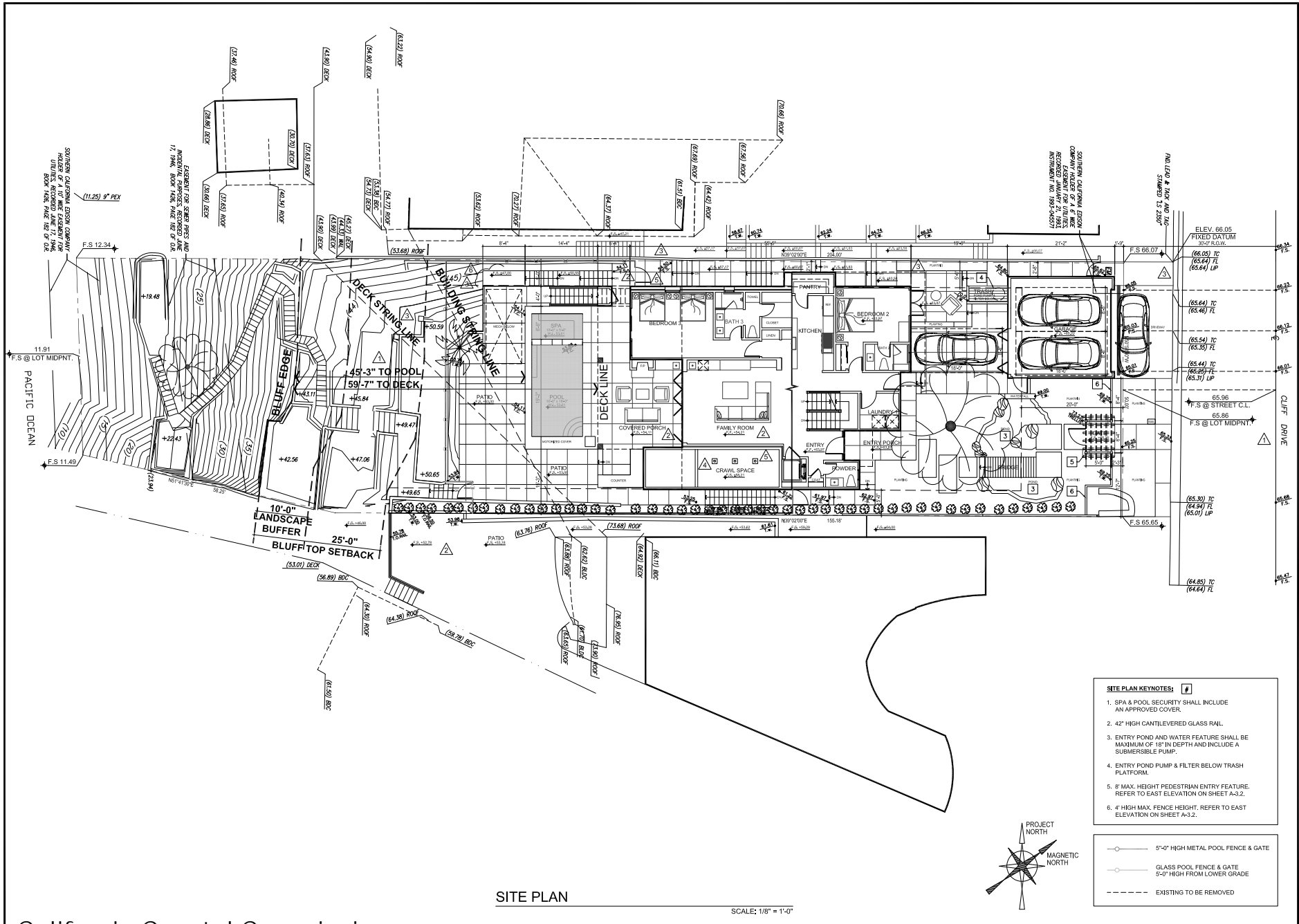
ARCHITECT:
MORRIS SKENDERIAN & ASSOC.
CONTACT: MORRIS SKENDERIAN
2094 SOUTH COAST HWY, SUITE 3
LAGUNA BEACH, CA 92651
TEL: 949-491-3074
FAX: 949-491-9814
EMAIL: MORRIS@MSAARCHITECTS.COM

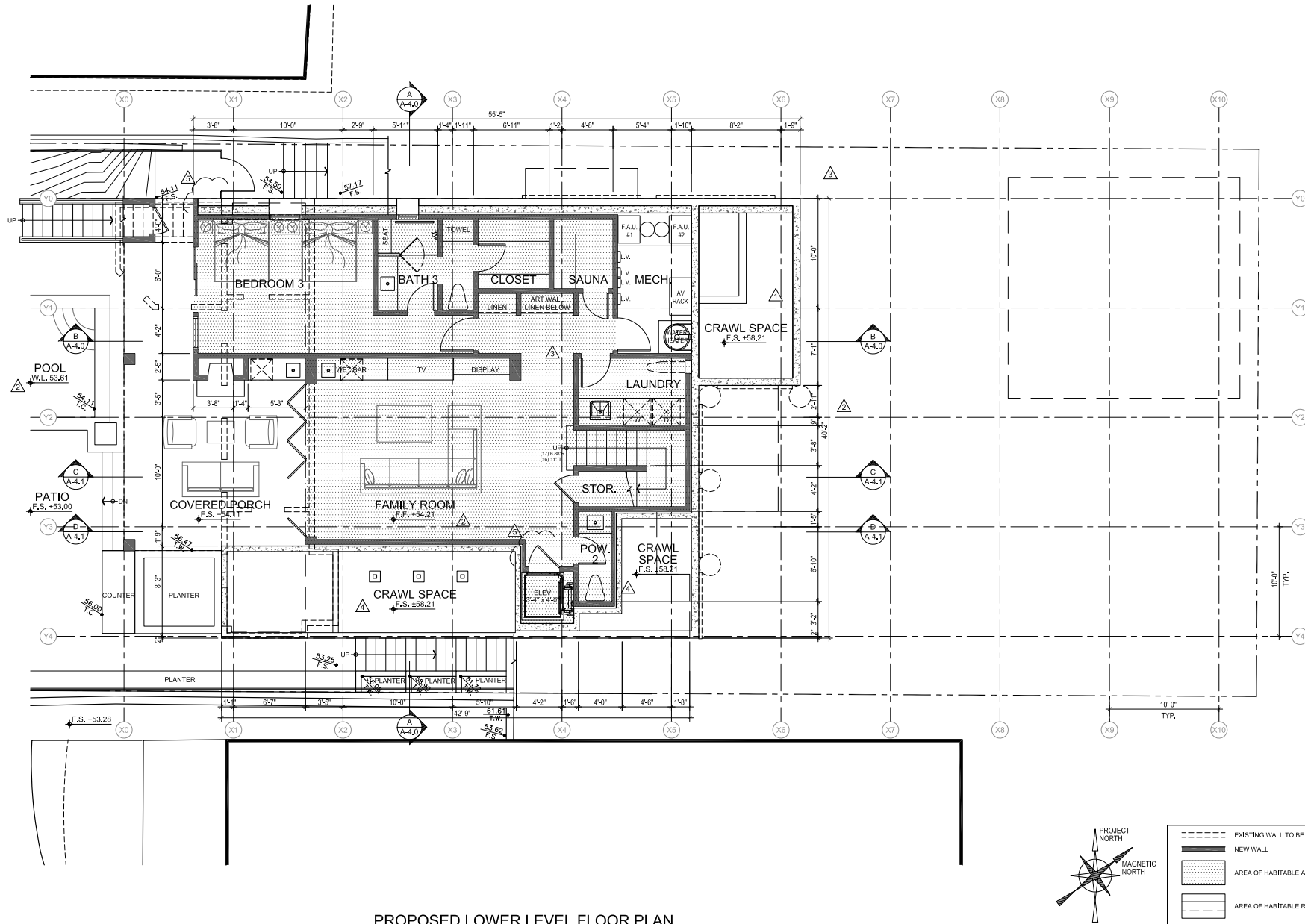
CIVIL:
ROBIN B. HAMERS & ASSOCIATES
CONTACT: MICHAEL BENESH
234 E. 17TH STREET, SUITE 205
COSTA MESA, CA 92627
TEL: 949-448-1192
FAX: 949-448-6516
EMAIL: MBENESH@ROBHAMERS.COM

LANDSCAPE ARCHITECT:
LA STUDIOS
CONTACT: LARRY STEINLE
570 CALLOPE
LAGUNA BEACH, CA 92651
TEL: 949-494-6244
FAX: 949-494-6150
EMAIL: LASTUDIO9@AOL.COM

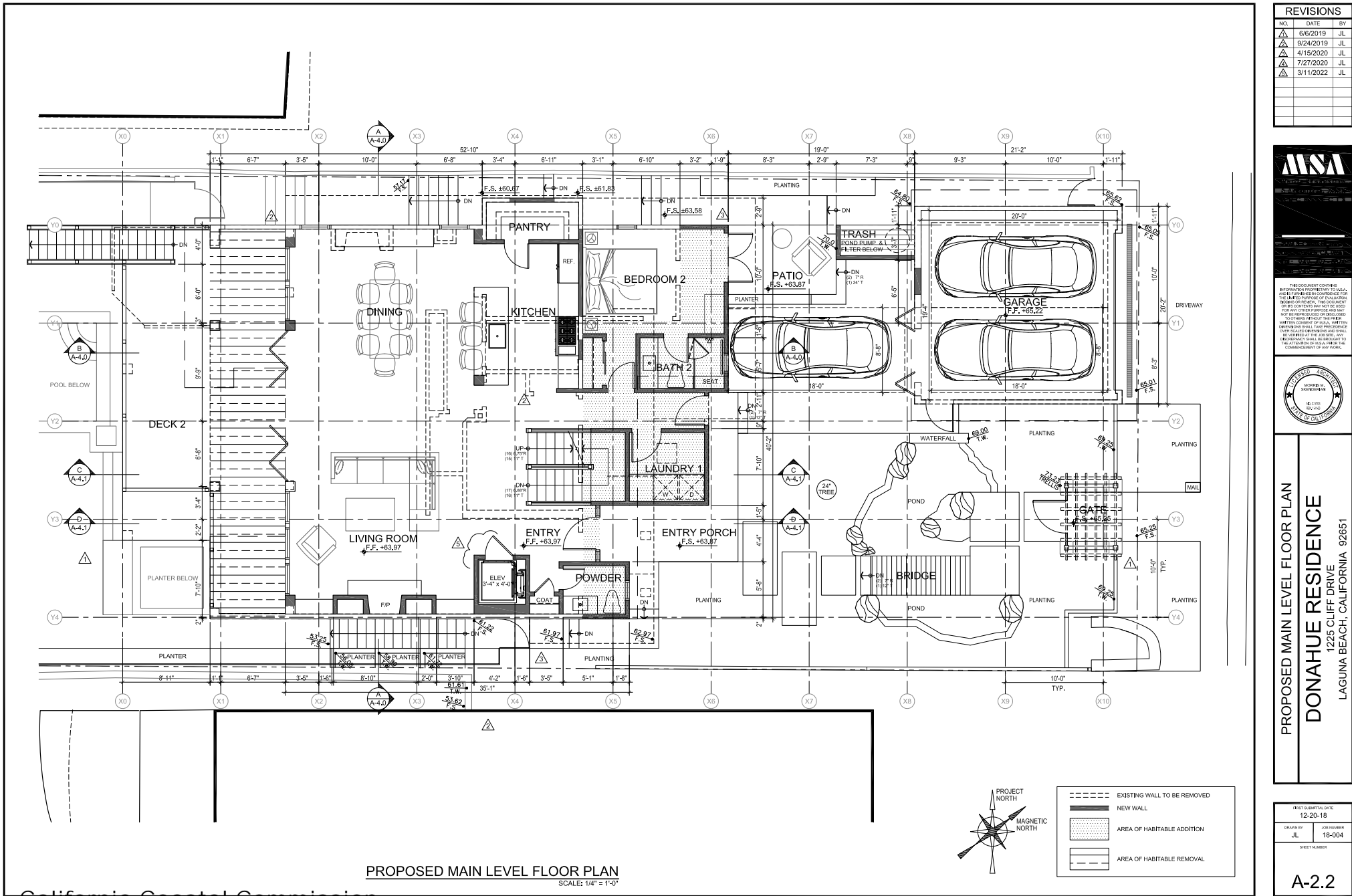
SHEET INDEX

ARCHITECTURE	
T-1	TITLE SHEET
STK	STAKING PLAN
A-1.0	SITE PLAN
A-1.1	EXTERIOR LIGHTING PLAN
A-2.0	MECHANICAL FLOOR PLAN
A-2.1	LOWER LEVEL FLOOR PLAN
A-2.2	MAIN LEVEL FLOOR PLAN
A-2.3	UPPER LEVEL FLOOR PLAN
A-2.4	ROOF PLAN
A-3.0	EXTERIOR ELEVATIONS
A-3.1	EXTERIOR GARAGE ELEVATIONS
A-3.2	SECTIONS A & B
A-4.0	SECTIONS C & D
A-5.0	AREA CALCULATIONS
D-1.0	DEMOLITION PLAN & ELEVATIONS
D-2.0	50% CALCULATION
R-2.1	RECORD LOWER LEVEL FLOOR PLAN
R-2.2	RECORD MAIN LEVEL FLOOR PLAN
R-2.3	RECORD UPPER LEVEL FLOOR PLAN
R-2.4	RECORD ROOF PLAN
R-3.0	RECORD EXTERIOR ELEVATIONS
R-3.1	RECORD EXTERIOR ELEVATIONS
R-3.2	RECORD EXTERIOR GARAGE ELEVATIONS
CIVIL	
C-1	PRELIMINARY GRADING NOTES
C-2	TOPOGRAPHIC SURVEY
C-3	PRELIMINARY GRADING PLAN
C-4	DETAILS & SECTIONS
C-5	CUT / FILL EXHIBIT
LANDSCAPE	
L-1	PRELIMINARY HARDSCAPE PLAN
L-2	PRELIMINARY PLANTING PLAN
L-3	LANDSCAPE LIGHTING PLAN
L-4	LANDSCAPE OPEN SPACE PLAN
L-5	PERMEABLE SPACE PLAN
STRUCTURAL	
S-F1	PRELIMINARY MECHANICAL FOUNDATION PLAN
S-F2	PRELIMINARY MECHANICAL YARD SLAB PLAN
S-F3	PRELIMINARY LOWER LEVEL FOUNDATION PLAN
RENDERINGS	
CA	AERIAL COMPARISON OF CURRENT AND PROPOSED
CS	COLOR SITE PLAN
CE-1	COLOR ELEVATIONS
CE-2	COLOR ELEVATIONS
REVISIONS	
6/6/2019	ZONING CORRECTION
9/24/2019	REVISION
4/15/2020	DRB REVISION
7/27/2020	DRB REVISION
3/11/2022	CCC REVISION



A-2.1

PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



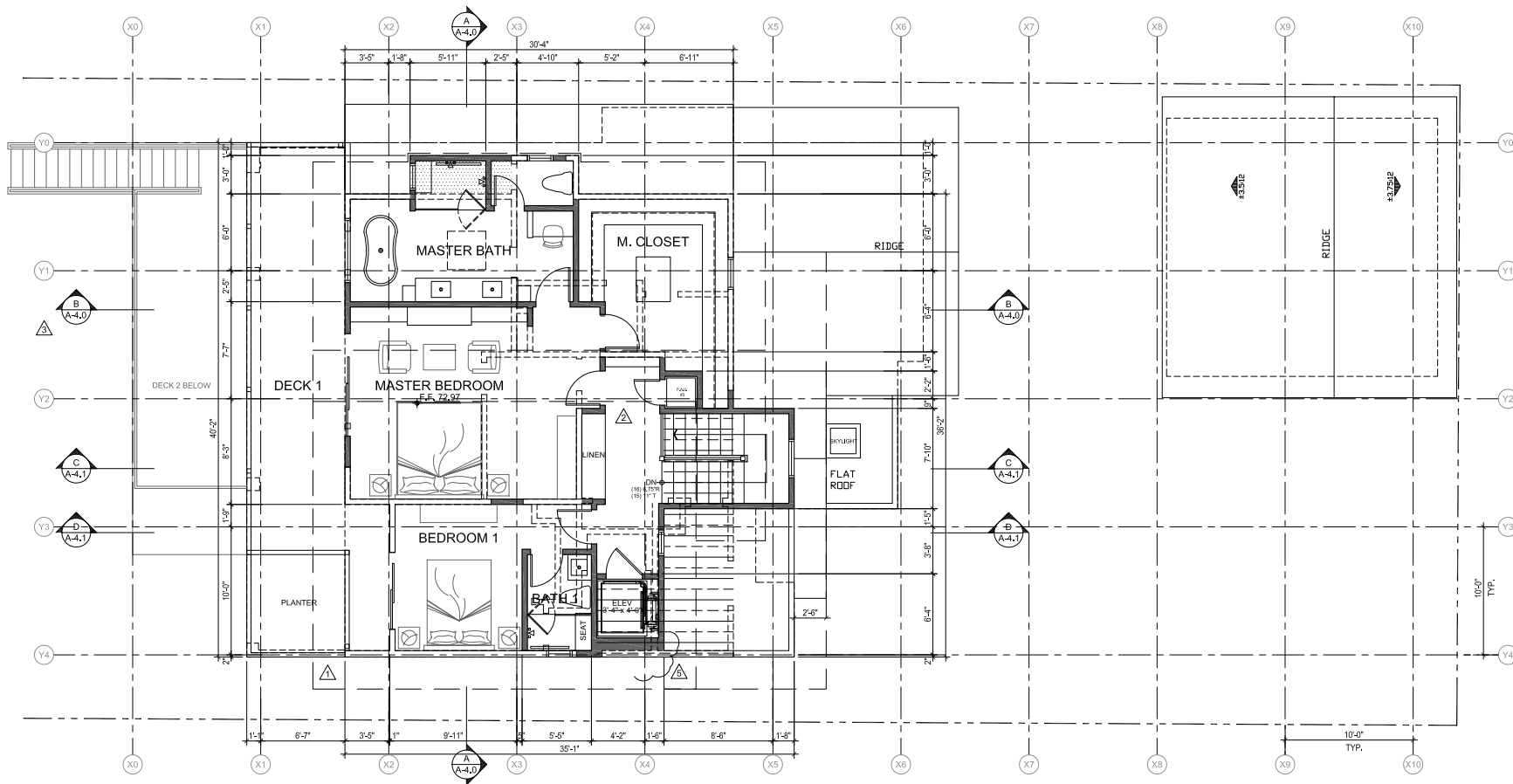
REVISIONS		
NO.	DATE	BY
1	6/6/2019	JL
2	9/24/2019	JL
3	4/15/2020	JL
4	7/27/2020	JL
5	3/11/2022	JL



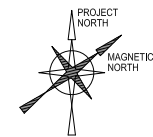
PROPOSED UPPER LEVEL FLOOR PLAN
DONAHUE RESIDENCE
 1225 CLIFF DRIVE
 LAGUNA BEACH, CALIFORNIA 92651

FIRST SUBMITTAL DATE 12-20-18	
DRAWN BY JL	JOB NUMBER 18-004
SHEET NUMBER	

A-2.3



PROPOSED UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



---	EXISTING WALL TO BE REMOVED
---	NEW WALL
---	AREA OF HABITABLE ADDITION
---	AREA OF HABITABLE REMOVAL

REVISIONS

NO.	DATE	BY
1	6/6/2019	JL
2	9/24/2019	JL
3	4/15/2020	JL



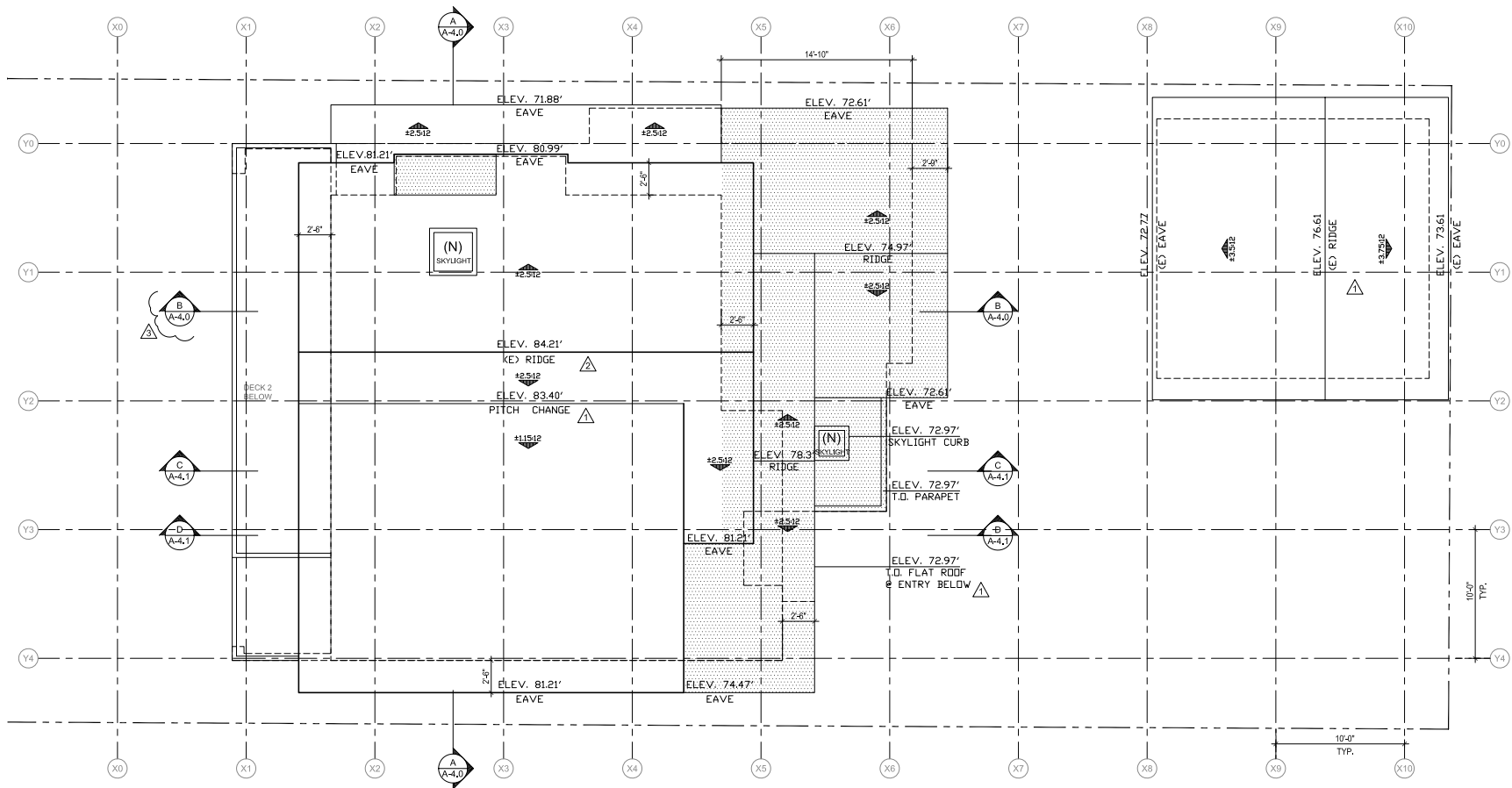
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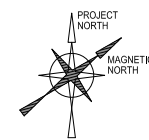
PROPOSED ROOF PLAN
DONAHUE RESIDENCE
1225 CLIFF DRIVE
LAGUNA BEACH, CALIFORNIA 92651

PROJECT SUBMITTAL DATE	12-20-18
DRAWN BY	JL
JOB NUMBER	18-004
SHEET NUMBER	A-2.4

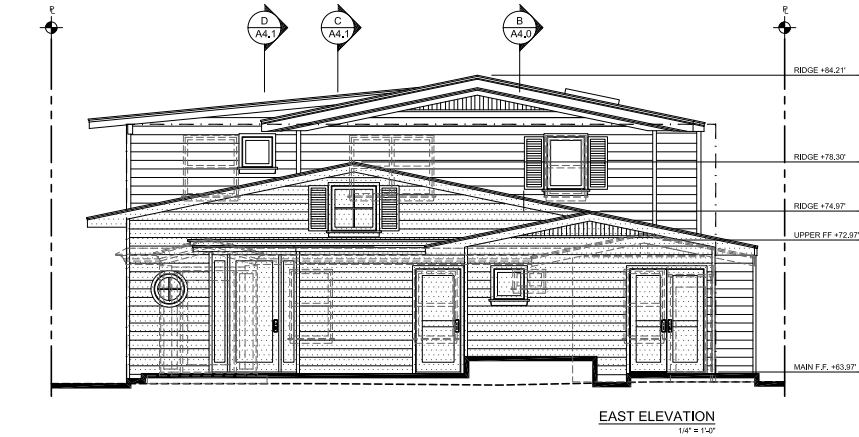
A-2.4



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



DASHED LINES INDICATES REMOVED
AREA OF NEW ROOF



- - - - - INDICATES THE MAXIMUM BUILDING ENVELOPE @ ELEV. +80.80' (15'-0\"/>

REVISIONS		
NO.	DATE	BY
1	6/6/2019	JL
2	9/24/2019	JL
3	4/15/2020	JL
4	7/27/2020	JL



PROPOSED EXTERIOR ELEVATIONS
DONAHUE RESIDENCE
 1225 CLIFF DRIVE
 LAGUNA BEACH, CALIFORNIA 92651

DESIGNED BY	JL	JOB NUMBER	18-004
DRAWN BY	JL	SHEET NUMBER	A-3.0

REVISIONS			
NO.	DATE	BY	
1	8/6/2019	JL	
2	9/24/2019	JL	
3	4/15/2020	JL	
4	7/27/2020	JL	

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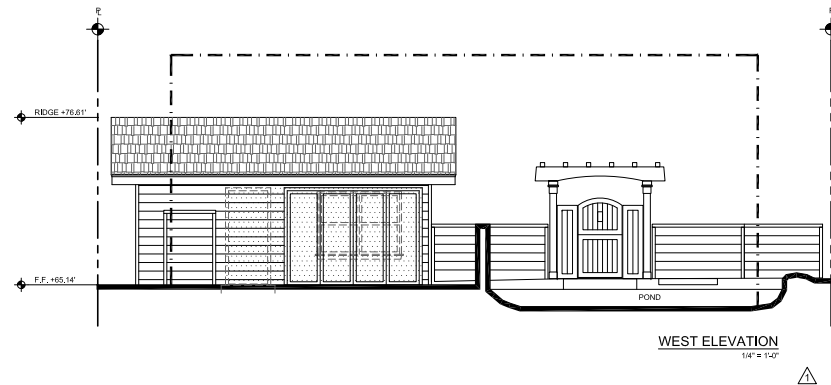
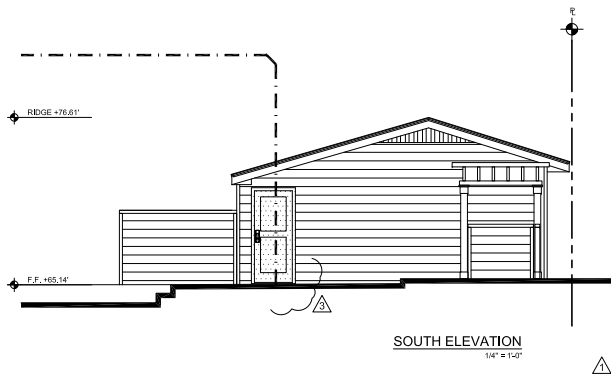
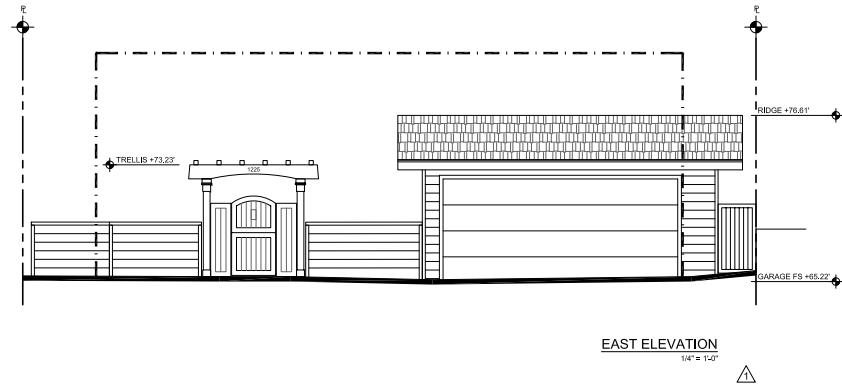
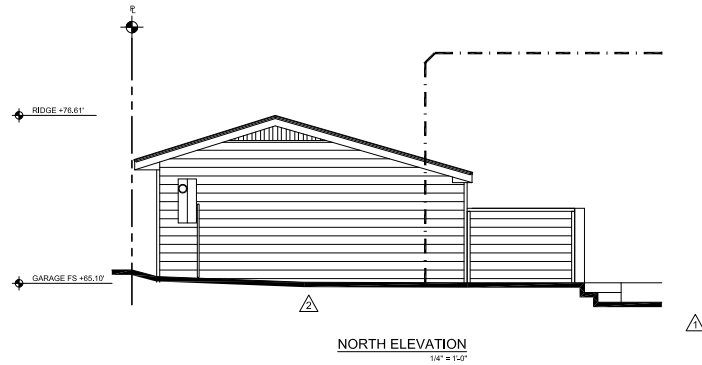
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APPROVED
DATE: 10/10/2020
BY: J. L. JONES

PROPOSED EXTERIOR ELEVATIONS
DONAHUE RESIDENCE
1225 CLIFF DRIVE
LAGUNA BEACH, CALIFORNIA 92651

FIRST SUBMITTAL DATE 12-20-18	
DRAWN BY JL	JOB NUMBER 18-004
SHEET NUMBER A-3.1	





---	INDICATES THE MAXIMUM BUILDING ENVELOPE @ ELEV. +80.00' (15'-0" ABOVE CURB ELEVATION OR 150'-0" ABOVE LOWEST FINISH FLOOR OR NATURAL GRADE) WHATEVER PORTION OF EITHER LINE IS THE MOST RESTRICTIVE.
---	PREVIOUS GRADE
[Pattern]	AREA OF MODIFICATION

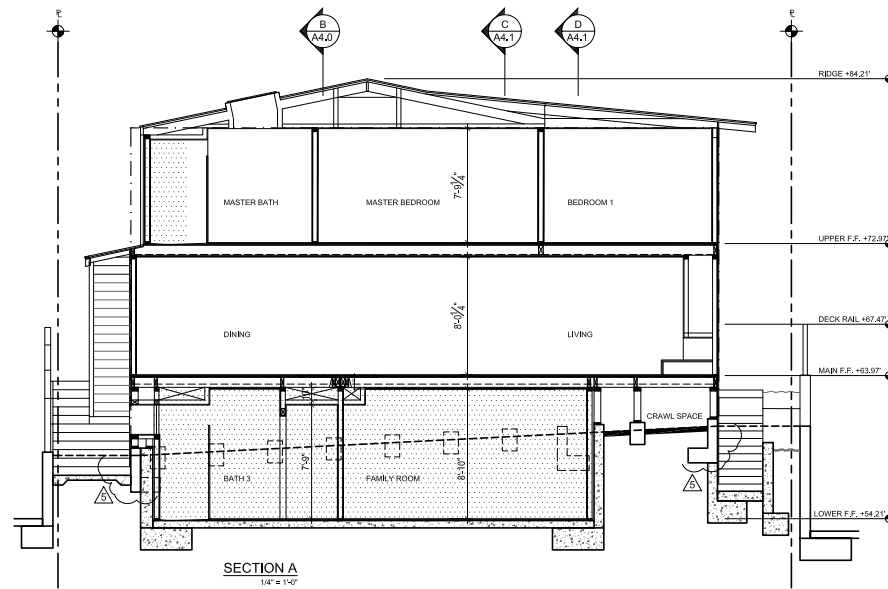
REVISIONS		
NO.	DATE	BY
1	6/8/2019	JL
2	9/24/2019	JL
3	4/15/2020	JL



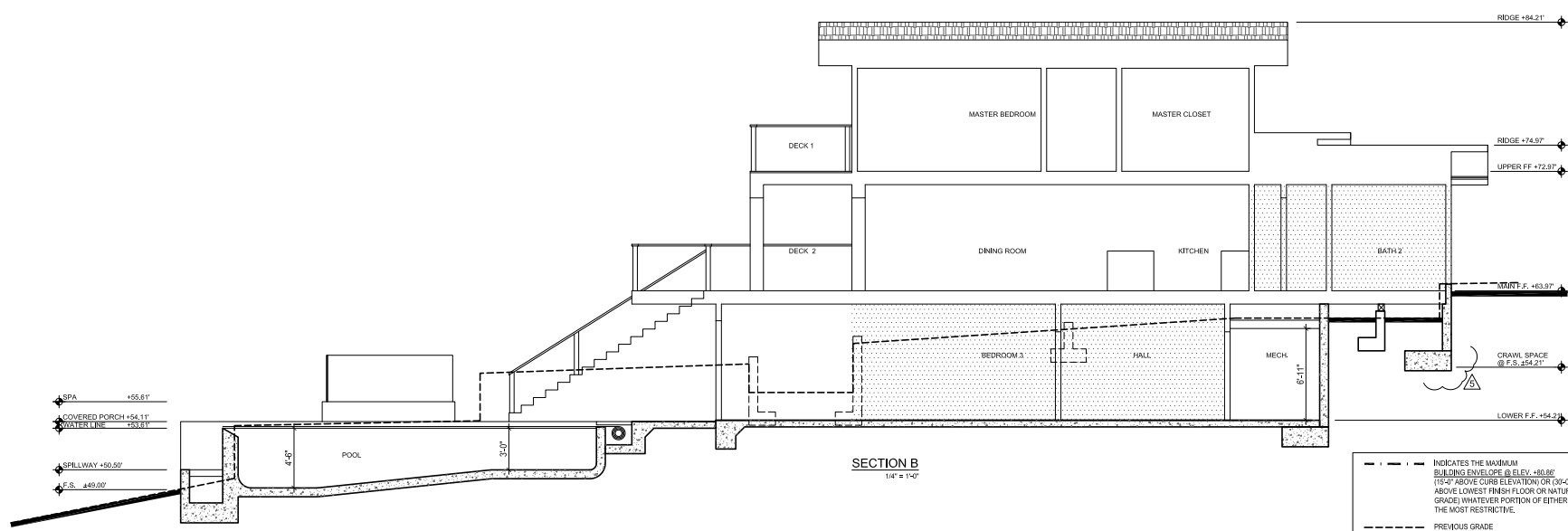
PROPOSED EXTERIOR GARAGE ELEVATIONS
DONAHUE RESIDENCE
1225 CLIFF DRIVE
LAGUNA BEACH, CALIFORNIA 92651

DESIGNED BY	JL	JOB NUMBER	18-004
DRAWN BY	JL	SHEET NUMBER	00

A-3.2



SECTION A
1/4" = 1'-0"



SECTION B
1/4" = 1'-0"

--- INDICATES THE MAXIMUM BUILDING ENVELOPE @ ELEV. +66.88' (15'-0" ABOVE CURB ELEVATION) OR (10'-0" ABOVE LOWEST FINISH FLOOR OR NATURAL GRADE) WHATEVER PORTION OF EITHER LINE IS THE MOST RESTRICTIVE.

--- PREVIOUS GRADE

[Hatched Area] AREA OF HABITABLE ADDITION

NO.	DATE	BY
△ A	6/6/2019	JL
△ A4.1	9/24/2019	JL
△ A	4/15/2020	JL
△ A	7/27/2020	JL
△ A	3/11/2022	JL

MSM
ARCHITECTS
1225 CLIFF DRIVE
LAGUNA BEACH, CA 92651
(714) 766-1111
www.msmarchitects.com

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PROPOSED SECTIONS

DONAHUE RESIDENCE
1225 CLIFF DRIVE
LAGUNA BEACH, CALIFORNIA 92651

FIRST SUBMITTAL DATE 12-20-18	
DRAWN BY JL	JOB NUMBER 18-004
SHEET NUMBER	

00 **A-4.0** △