

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD, SUITE 300  
LONG BEACH, CA 90802-4325  
VOICE (562) 590-5071  
FAX (562) 590-5084



Click here to go  
to staff report

W13d

5-22-0599 (SC Surfside LLC)

NOVEMBER 16, 2022

EXHIBITS

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## Exhibit 1 – Vicinity Map









# Exhibit 2 – City Approved Plans



REAR PERSPECTIVE



REAR SOUTH PERSPECTIVE



FRONT SOUTH PERSPECTIVE



REAR NORTH PERSPECTIVE

## SC SURFSIDE LLC. RESIDENCE

3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

**APPROVED IN CONCEPT**  
by the San Clemente Planning Division. This is a preliminary approval and does not grant the recipient any development rights. When approved by the California Coastal Commission, the City will then process the plans for permits.  
CITY PLANNER roxas DATE



FRONT PERSPECTIVE



FRONT NORTH PERSPECTIVE

REVISIONS:

PLANS PREPARED BY:  
JAMES GLOVER HOME, INC.  
DATE: 10/03/2022  
SCALE: 1/8" = 1'-0"

221 S. CLAY VISTA, STE. 202  
SAN CLEMENTE,  
CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME, INC.

SC SURFSIDE LLC.  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
SC SURFSIDE LLC.  
SCALE:  
DATE: 10/03/2022

G-001

California Coastal Commission

5-22-0599

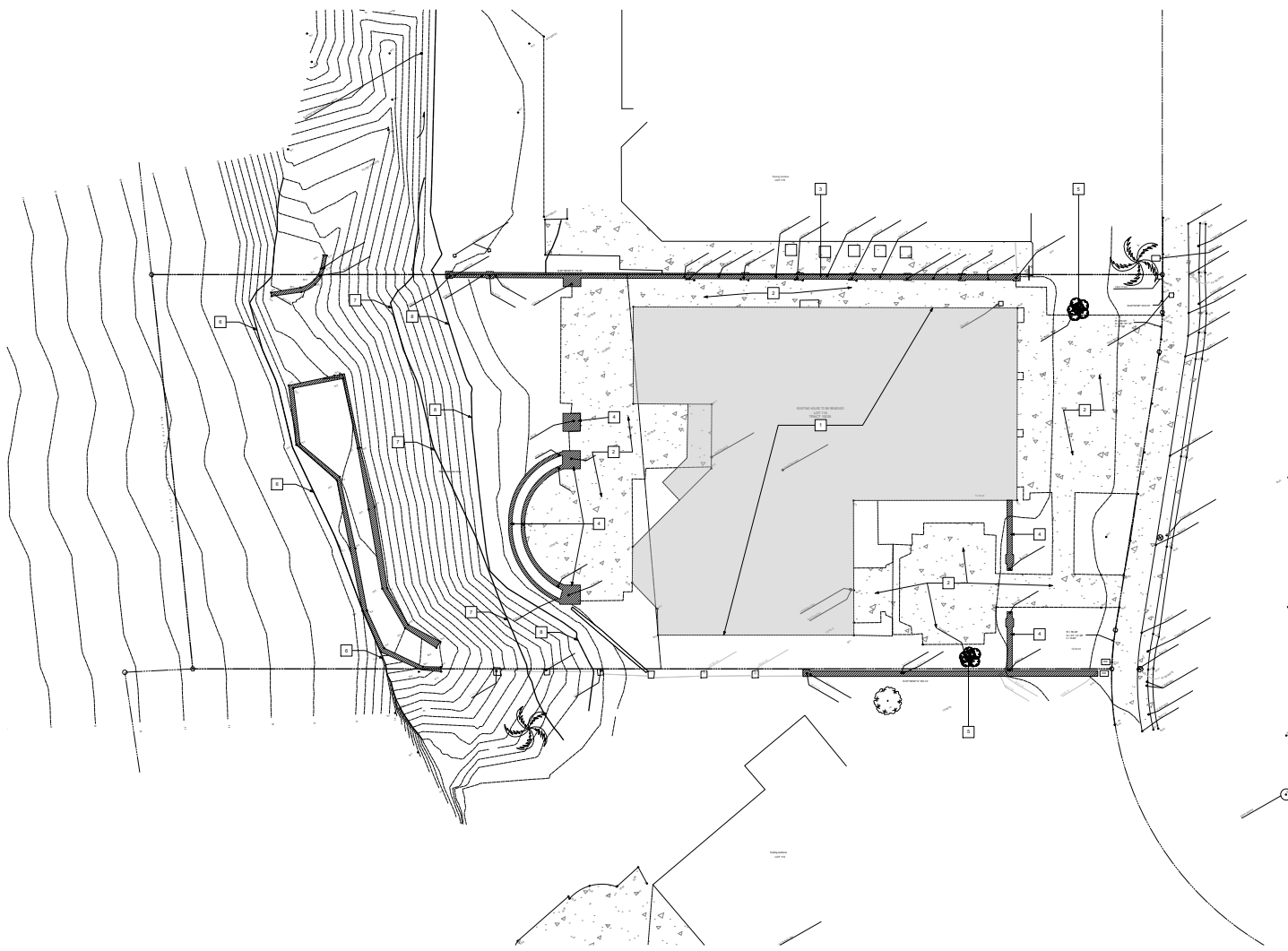
Exhibit 2

Page 1 of 18









**APPROVED IN CONCEPT**  
by the San Clemente Planning Division. This is a preliminary approval and does not grant the recipient any development rights. When approved by the California Coastal Commission, the City will then process the plans for permits.  
CITY PLANNER review DATE \_\_\_\_\_

DEMOLITION PLAN NOTES

REV	KEY	DESCRIPTION
1		EXISTING BUILDING TO BE DEMOLISHED AND REMOVED
2		EXISTING PAVING TO BE DEMOLISHED AND REMOVED
3		EXISTING SITE WALL TO BE DEMOLISHED AND REMOVED
4		EXISTING DECORATIVE WALL TO BE DEMOLISHED AND REMOVED
5		EXISTING TREES TO BE REMOVED
6		TOP OF BLUFF
7		25'-0" BLUFF SETBACK
8		TOP OF SLOPE - FINISH MAP GRADING

REVISIONS:

PLANS PREPARED BY:  
JAMES GLOVER HOME INC.  
DATE: 04/20/21  
SCALE: 1/8" = 1'-0"

221 S. OLIVIA VISTA, STE. 202  
SAN CLEMENTE, CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME INC.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
RING RESIDENCE  
FOCUS  
DATE:  
04/20/21

D-001

DEMO LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED

ADDITIONAL NOTES

A. SEE 'D' SHEETS FOR GENERAL NOTES.

1/8" = 1'-0"

DEMOLITION SITE PLAN

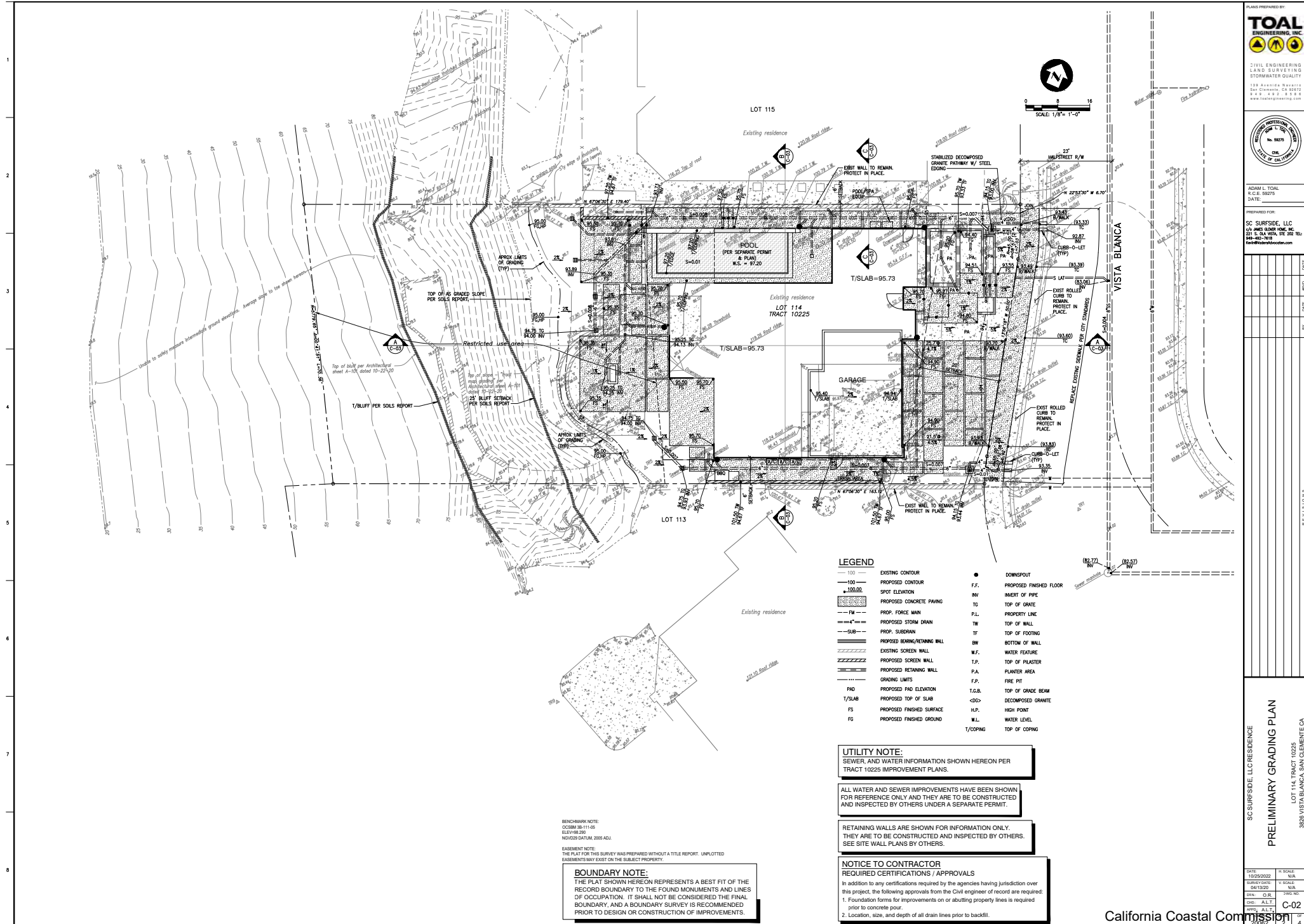


California Coastal Commission









PLANS PREPARED BY:

**TOAL**  
ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
STORMWATER QUALITY

122 Avenida Roberto  
San Clemente, CA 92673  
949.420.8282  
www.toalengineering.com

ADAM L. TOAL  
S.C.E. 59275  
DATE: 10/25/2022

PREPARED FOR:

SC SURFSIDE, LLC  
431 W. 5th St., Suite 100  
San Clemente, CA 92673  
Tel: 949-420-7818  
Fax: 949-420-7819

DATE: 10/25/2022  
BY: [Signature]  
DATE: 10/25/2022  
BY: [Signature]

REVISIONS

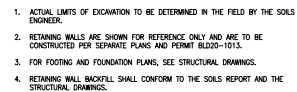
SC SURFSIDE, LLC RESIDENCE

**PRELIMINARY GRADING PLAN**

LOT 114, TRACT 10225  
3526 VISTA BLANCA, SAN CLEMENTE CA

DATE: 10/25/2022  
BY: [Signature]  
DATE: 10/25/2022  
BY: [Signature]

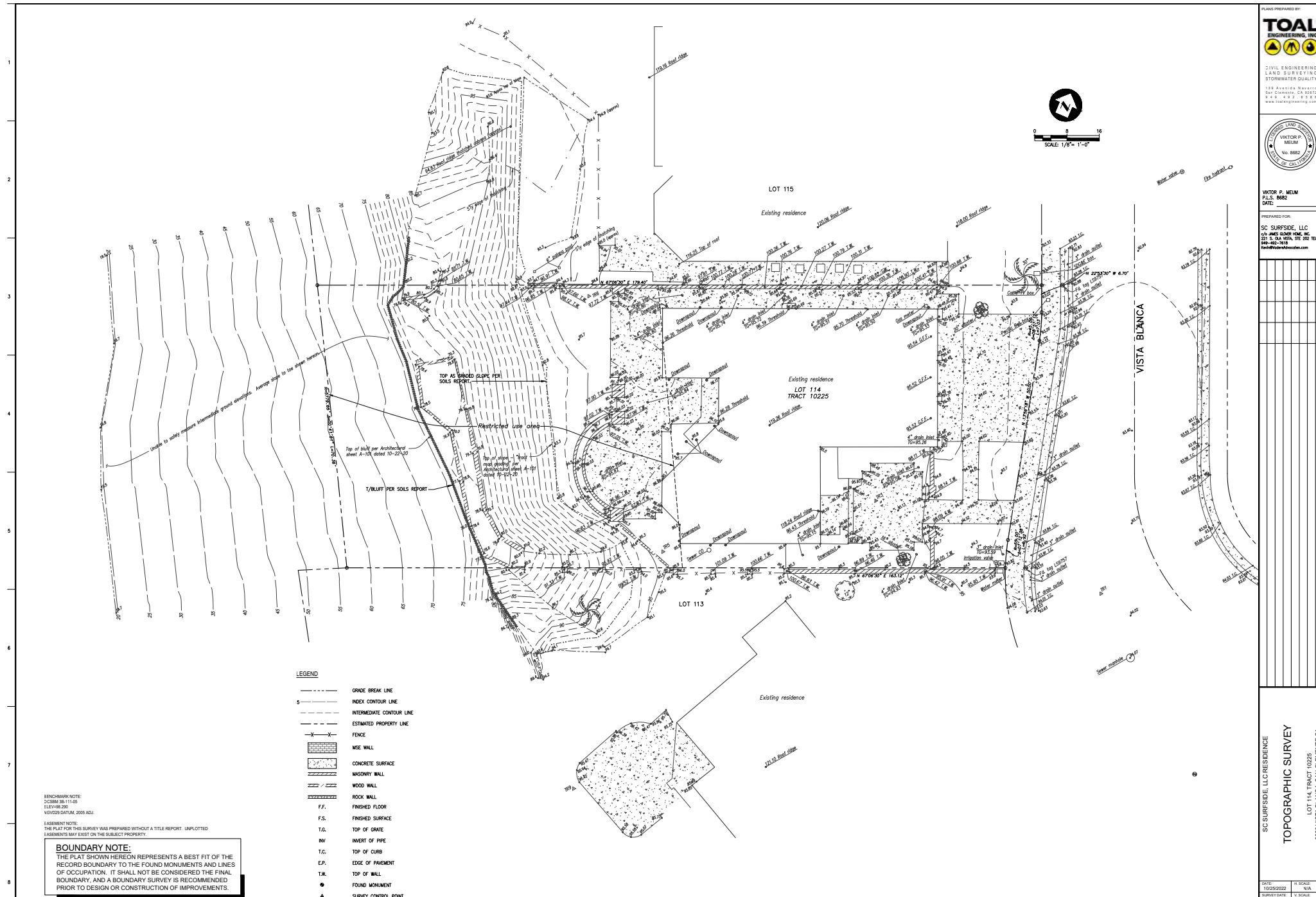
C-02

[illegible]

LOT 114, TRACT 10225  
3826 VISTA BLANCA, SAN CLEMENTE CA

DATE: 10/25/2022	H. SCALE: N/A
SURVEY DATE: 04/13/20	V. SCALE: N/A
DRN: O.R.	DWG. NO.  <b>C-03</b>
CHD: ALT.	
APPD: ALT.	
20062	3 OF 4





BENCHMARK NOTE:  
2028M 38-111-09  
LEV-108-200  
NAD83 DATUM, 2005 ADJ.

EASEMENT NOTE:  
THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

**BOUNDARY NOTE:**  
THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.

- LEGEND**
- GRADE BREAK LINE
  - INDEX CONTOUR LINE
  - INTERMEDIATE CONTOUR LINE
  - ESTIMATED PROPERTY LINE
  - X-X- FENCE
  - [Pattern] MSE WALL
  - [Pattern] CONCRETE SURFACE
  - [Pattern] MASONRY WALL
  - [Pattern] WOOD WALL
  - [Pattern] ROCK WALL
  - F.F. FINISHED FLOOR
  - F.S. FINISHED SURFACE
  - T.G. TOP OF GRADE
  - IN. INVERT OF PIPE
  - T.C. TOP OF CURB
  - EP. EDGE OF PAVEMENT
  - TP. TOP OF WALL
  - FOUND MONUMENT
  - ▲ SURVEY CONTROL POINT

PLANS PREPARED BY:  
**TOAL**  
ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
STORMWATER QUALITY

122 Avenida Realero  
San Clemente, CA 92672  
949.442.8282  
www.toalengineering.com

VICTOR P. MELIM  
P.L.S. 0662  
DATE:

PREPARED FOR:  
SC SURFSIDE, LLC  
450 WEST 500TH ST., SUITE 202  
SAN CLEMENTE, CA 92672  
949.442.8282  
www.sc-surfside.com

NO.	DATE	BY	REVISED
1			
2			
3			
4			
5			
6			
7			
8			

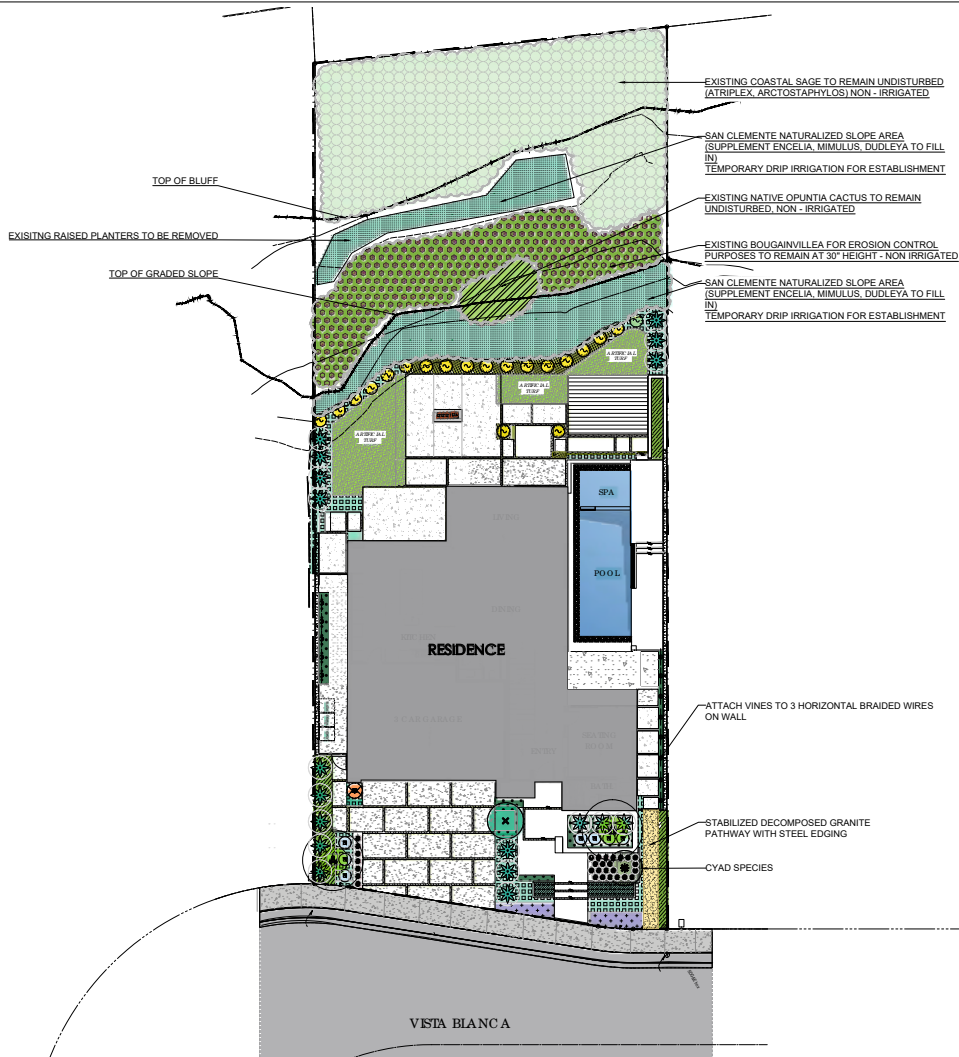
SC SURFSIDE, LLC RESIDENCE  
**TOPOGRAPHIC SURVEY**  
LOT 114, TRACT 10225  
3826 VISTA BLANCA, SAN CLEMENTE CA

DATE	BY	SCALE
10/25/2022	N/A	
04/13/20	N/A	
01/11/20	N/A	

C-04

# SC Surfside LLC. Residence | Preliminary Landscape Plan

3826 VISTA BLANCA, SAN CLEMENTE, CA 92672 | JUNE 3, 2021



## TREE LEGEND

SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
	KING PALM ARCHONTOPHOENIX CUNNINGHAMIANA	60" BOX UPRIGHT TRIPLE	M	2
	KING PALM ARCHONTOPHOENIX CUNNINGHAMIANA	36" BOX UPRIGHT SINGLE	M	1
	CYCAD SPECIMEN - MEDIUM SIZE CYAD	24" BOX STD.	M	1

## SHRUB LEGEND

SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
	AGAVE 'BLUE GLOW' BLUE GLOW AGAVE	15 GAL.	VL	8
	ALOE STRIATA 'GHOST ALOE' GHOST ALOE	5 GAL. @24" O.C.	L	10 (35 LF)
	ALOE VERA 'YELLOW FLOWERING' MEDICINAL ALOE	5 GAL. @4" O.C.	L	20
	CAREX DIVULSA 'BLUE ZINGER' BLUE ZINGER SEDGE	5 GAL. @24" O.C.	L	62 (214 LF)
	DRACAENA MARGINATA 'RED CANDY CANE' DRAGON TREE	24" BOX	L	1
	DYNDIA MARGARETAE SILVER CARPET	4" POT @8" O.C.	L	534 (321 LF)
	ECHEVERIA 'AFTERGLOW' AFTERGLOW ECHEVERIA	1 GAL. @18" O.C.	L	85 (64 LF)
	FURCRAEA MACDOUGALLI MACDOUGALL'S CENTURY PLANT	15 GAL.	L	11
	HESPERALOE PARVIFLORA 'BIRKELIGHTS' BIRKELIGHTS RED YUCCA	5 GAL. @18" O.C.	L	20
	LOMANDRA LONGIFOLIA 'BREEZE' DWARF MAT RUSH	5 GAL. @30" O.C.	L	49 (317 LF)
	OPHIOPOGON JAPONICUS 'NANA' DWARF MONDO GRASS	4" POTS @8" O.C.	L	515 (33 LF)

## VINE LEGEND

SYM	BOTANICAL/COMMON NAME	SIZE	WUCOL	QTY.
	HIBERTIA SCANDENS GUINEA GOLD VINE	15 GAL. @8" O.C.	M	13

HIGH QUALITY ARTIFICIAL TURF WITH CORTEN STEEL EDGING  
CONCRETE PAVING - WHITE COLORED WITH 'RUGUSOL TOP COAT'  
WOOD DECK AREA  
SAN CLEMENTE NATURALIZED SLOPE AREA (SUPPLEMENT ENCELA, MIMULUS, DUDLEYA TO FILL IN) TEMPORARY DRIP IRRIGATION FOR ESTABLISHMENT  
EXISTING COASTAL SAGE TO REMAIN UNDISTURBED (ATRIPLEX, ARCTOSTAPHYLOS) NON-IRRIGATED

## NOTES:

- IRRIGATION DESIGN STATEMENT  
ALL LANDSCAPE WILL BE AUTOMATICALLY IRRIGATED WITH THE LATEST IN WATER EFFICIENT PRODUCTS AND PRACTICES  
AUTOMATIC CONTROLLER (WEATHER BASED)  
LOW VOLUME DRIP IRRIGATION  
HYDROZONE SEPARATION  
SEE PROPOSED MWLO CALCULATION THIS SHEET  
SUBMIT NURSERY PHOTOS TO LANDSCAPE ARCHITECT  
SOIL TEST  
SOILS TEST AND RECOMMENDATIONS SHALL BE PROVIDED AT THE TIME OF CONSTRUCTION DOCUMENTATION SUBMITTAL

FRONT YARD SETBACK CALCULATION  
TOTAL: 1412 SF  
LANDSCAPE: 710 SF (50.3%)  
HARDSCAPE: 702 SF (49.7%)

SCALE: 1" = 10' - 0"



REVISIONS:

PLANS PREPARED BY:  
JAMES GLOVER  
JAMES GLOVER HOME INC.  
DATE: 11/1/2020  
3826 VISTA BLANCA, SAN CLEMENTE, CA 92672  
TEL: (949) 492-7618

221 S. OLA VISTA, STE. 202  
SAN CLEMENTE,  
CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME INC.

SC SURFSIDE LLC.  
RESIDENCE  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

SC SURFSIDE LLC.  
RESIDENCE  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
SC Surfside LLC. Residence  
SCALE:  
1" = 10' - 0"  
DATE:  
6/03/2021  
LP - 1

REVISIONS:

PLANS PREPARED BY:  
JAMES GLOVER  
JAMES GLOVER HOME INC.  
DATE: 11/1/2020  
3826 VISTA BLANCA, SAN CLEMENTE, CA 92672  
TEL: (949) 492-7618

221 S. OLA VISTA, STE. 202  
SAN CLEMENTE,  
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SAN CLEMENTE, CA 92672

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RESIDENCE  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
SC Surfside LLC. Residence  
SCALE:  
1" = 10' - 0"  
DATE:  
6/03/2021  
LP - 1

SC SURFSIDE LLC.  
RESIDENCE  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
SC Surfside LLC. Residence  
SCALE:  
1" = 10' - 0"  
DATE:  
6/03/2021  
LP - 1

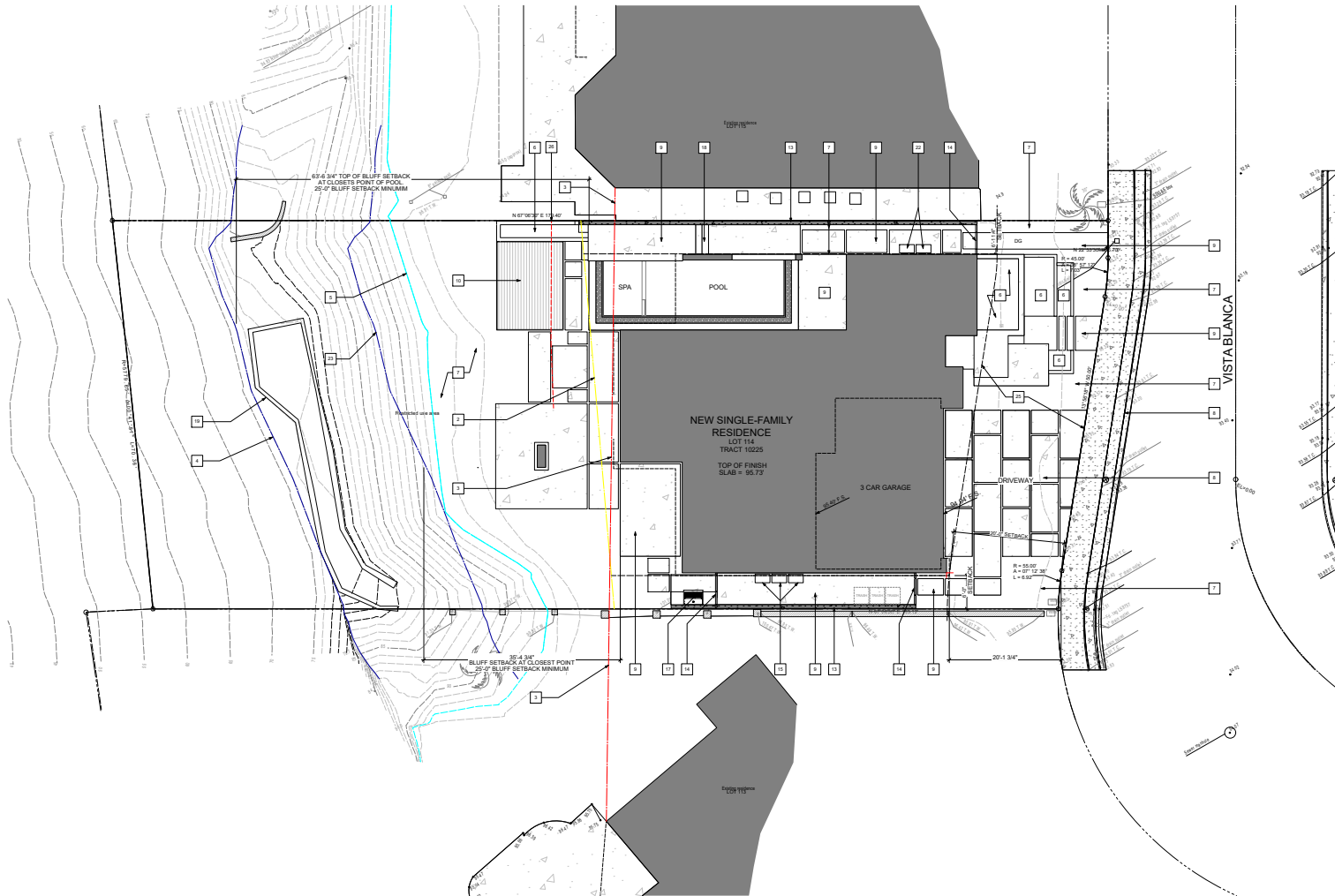
California Coastal Commission

5-22-0599

Exhibit 2

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SITE PLAN



SITE PLAN NOTES

REV	REV	DESCRIPTION
1	1	PROPERTY LINE
2	2	RESTRICTIVE USE AREA PER APPROVED TRACT MAP
3	3	BUILDING STRINGLINE
4	4	TOP OF BLUFF
5	5	TOP OF SLOPE - "TRACT MAP GRADING"
6	6	RAISED PLANTER
7	7	LANDSCAPE AREA
8	8	DRIVEWAY
9	9	PAVING
10	10	WOOD DECKING
11	11	EXISTING ROLLED CURB AND GUTTER
12	12	FORMED CONCRETE 6" MAX HEIGHT FENCE
13	13	6" HIGH WOOD GATE W/ 6" THERMALLY TREATED 1X4" CHANNEL SILING LAD VERTICALLY
14	14	HVAC EQUIPMENT
15	15	FIREPIT
16	16	BUILT-IN BBQ
17	17	CONCRETE STEPS
18	18	EXISTING PLANTER WALLS
19	19	POOL AND SPA EQUIPMENT
20	20	25' BLUFF SETBACK
21	21	PROJECT WILL BE IN COMPLIANCE WITH MIMELD AND THE REQUIRED DOCUMENTATION WILL BE SUBMITTED.
22	22	FRONT YARD SET BACK LANDSCAPE COVERAGE IS 100%. TOTAL FRONT YARD SET BACK IS 14' 0" MEETING THE ZONING REQUIREMENT OF 10% SURFACE THAT REMAINS PERMANENT AND IS TO BE LANDSCAPED AND PERMANENTLY MAINTAINED.
23	23	EXISTING 1.5 FACTOR OF SAFETY LINE.

ADDITIONAL NOTES

REVISIONS:

REV	DESCRIPTION

PLANS PREPARED BY:

JAMES GLOVER HOME INC. DATE: 10/09/2022  
221 S. OLIVIA VISTA, STE. 202  
SAN CLEMENTE, CALIFORNIA 92672  
(949) 492-7618

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
SC SURESIDE LLC  
S004

DATE:  
10/09/2022

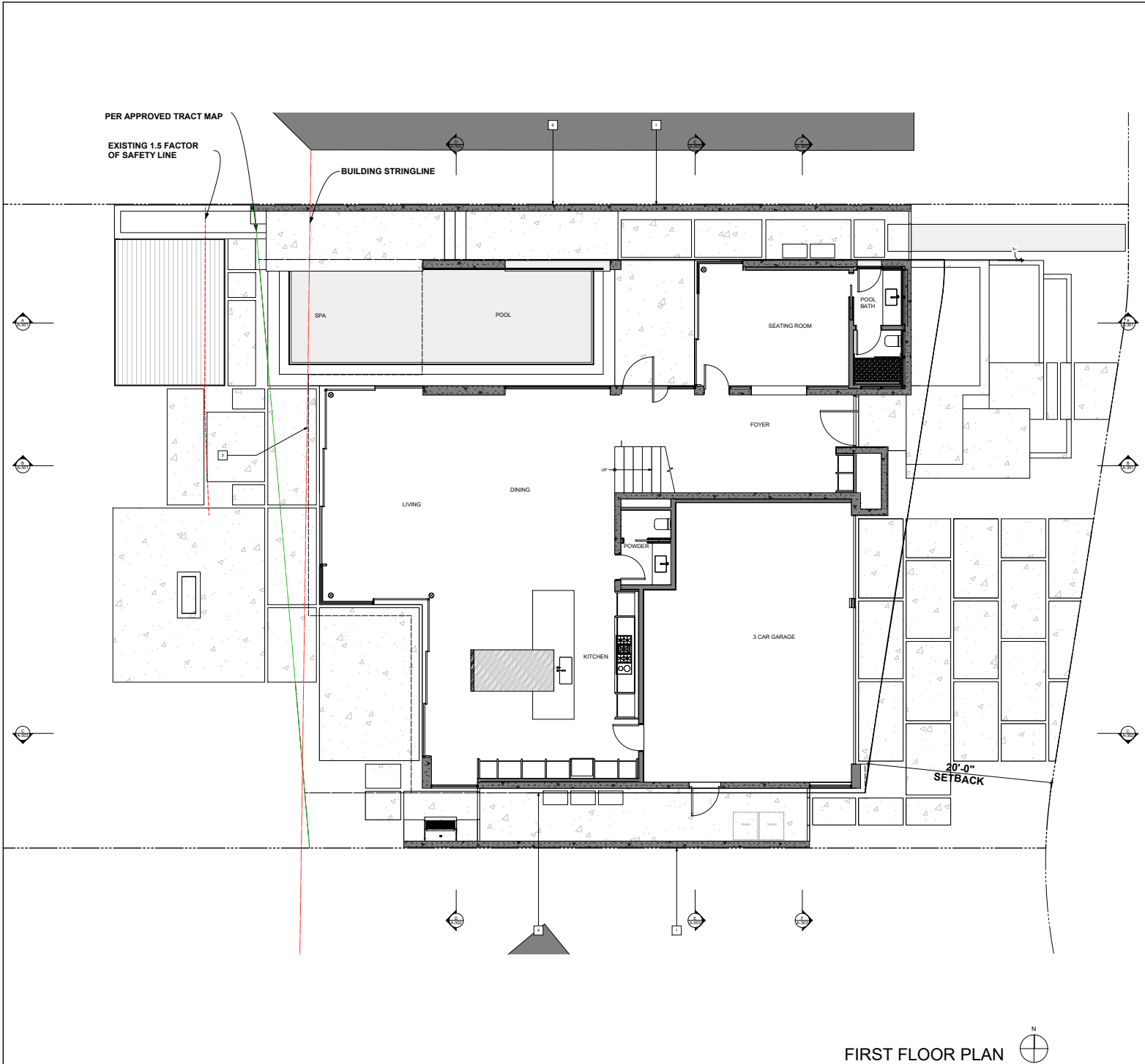
A-101

California Coastal Commission

5-22-0599

Exhibit 2

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FLOOR PLAN NOTES		
REV	KEY	DESCRIPTION
1		PROPERTY LINE
2		REQUIRED BUILDING SETBACK LINE
3		BUILDING STRINGLINE
4		LINE OF FLOORWALL ABOVE
5		LINE OF SAVE ABOVE
6		EXISTING 1.5 FACTOR OF SAFETY LINE

REVISIONS:	

PLANS PREPARED BY:  
JAMES GLOVER HOME INC. DATE: 10/20/2022

221 S. OLIVIA VISTA, STE. 202  
SAN CLEMENTE,  
CALIFORNIA 92672  
(949) 492-7618

**JAMES GLOVER**  
HOME INC.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
HOMING RESIDENCE  
SCALE:  
1/4" = 1'-0"  
DATE:  
10/20/2022

ADDITIONAL NOTES	
A. SEE "D" SHEETS FOR GENERAL NOTES	

**A-103**

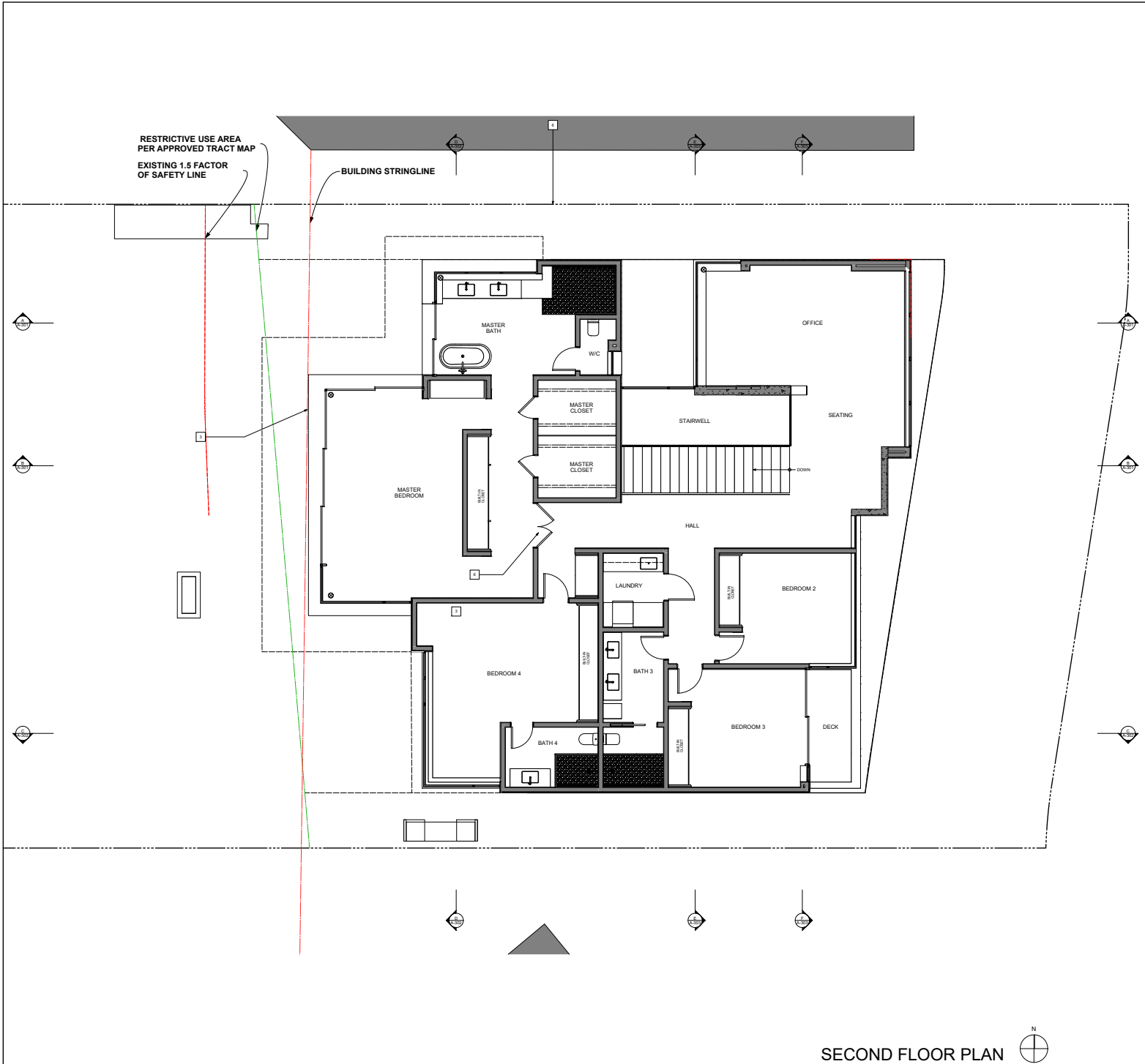
California Coastal Commission

5-22-0599

Exhibit 2

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SECOND FLOOR PLAN

FLOOR PLAN NOTES

REV	KEY	DESCRIPTION
1		PROPERTY LINE
2		REQUIRED BUILDING SETBACK LINE
3		BUILDING STRINGLINE
4		LINE OF FLOORWALL ABOVE
5		LINE OF SAVE ABOVE
6		EXISTING 1.5 FACTOR OF SAFETY LINE

REVISIONS:

PLANS PREPARED BY:  
JAMES GLOVER HOME INC. DATE: 10/20/2022  
10/20/2022  
10/20/2022  
10/20/2022  
10/20/2022

221 S. CLAY VISTA, STE. 202  
SAN CLEMENTE,  
CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME INC.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

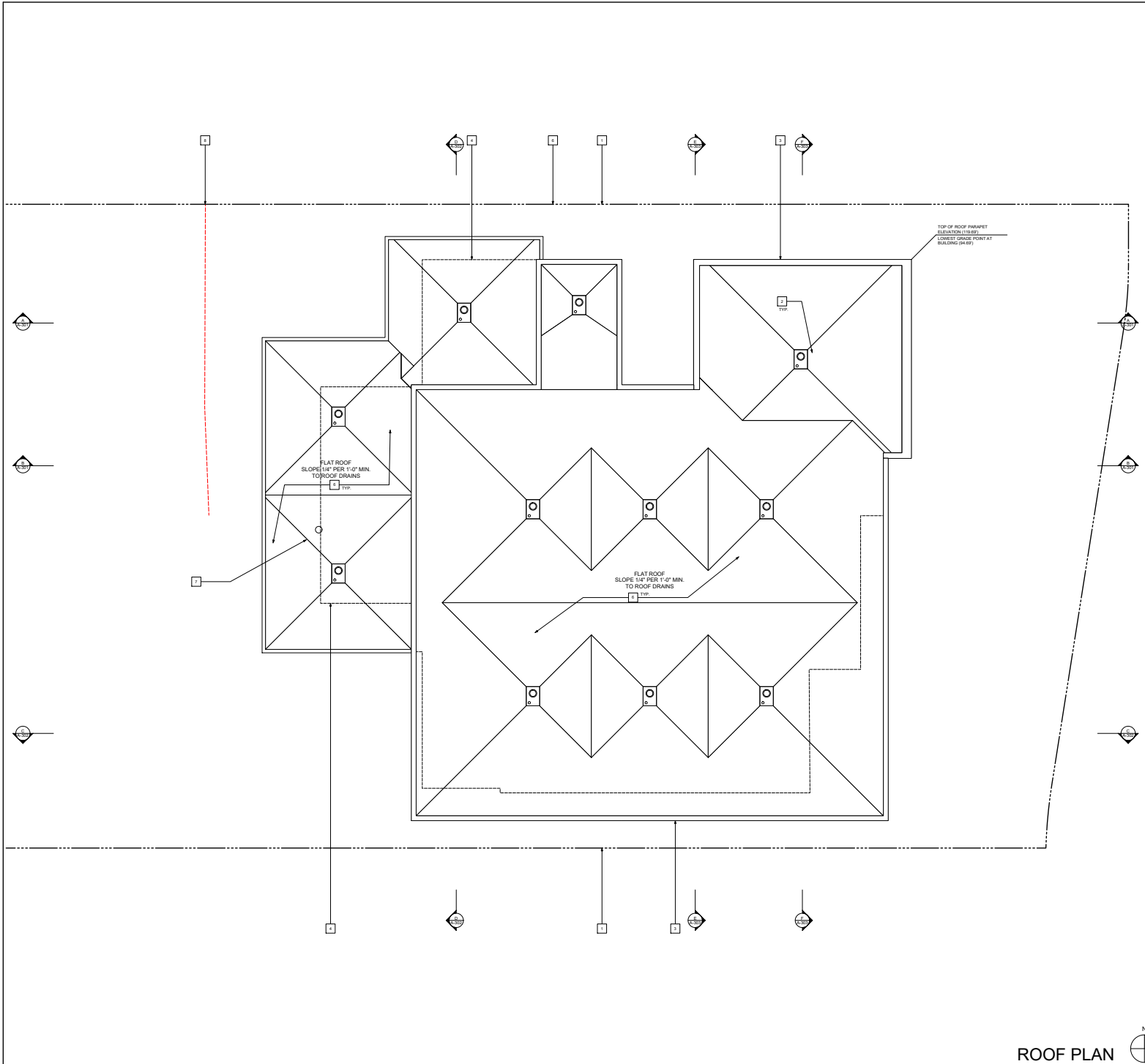
JOB NAME:  
HONG RESIDENCE  
SCALE:  
1/4" = 1'-0"  
DATE:  
10/20/2022

A-104

ADDITIONAL NOTES

A. SEE "D" SHEETS FOR GENERAL NOTES

California Coastal Commission



### ROOF PLAN NOTES

REV	KEY	DESCRIPTION
1		PROPERTY LINE
2		COPPER ROOF DRAIN BY THUNDERBOLT WITH OVERFLOW DRAIN TO CONCEAL DOWNPOT INSIDE CEILING/WALL CAVITY
3		ROOF OUTLINE
4		LINE OF BUILDING BELOW
5		LINE OF DECK BELOW
6		3 PLY HOT MOPPED BUILT UP ROOFING CLASS A ASSEMBLY: GAF CORP. RUBEROD N-1-2, 20MILG. GC-88B 12% GRAIN PAPER, GRADUALLY SEE IN FLOOD COAT OF TYPE IV ASPHALT INSTALL PER MANUFACTURER INSTRUCTIONS. SLOPE IS A MIN. 1/4" PER FOOT. TAPERED RIGID INSULATION, SLOPED 1/4" INCH PER LINEAL FOOT TO GUTTERS. ATLAS ACFORM II, FN STD. MINIMUM, WITH CLOSURE/ALU. TISS.
7		CUSTOM FIREPLACE CHIMNEY SHROUD
8		EXISTING 1.5 FACTOR OF SAFETY

### ROOF HEIGHT ANALYSIS

THE HIGHEST ROOF ELEVATION IS 119.69' AND THE LOWEST EXISTING GRADE ELEVATION AT BUILDING FOOT PRINT AND/OR FOOT PRINTS AT ROOF IS 95.69'

HIGHEST ROOF ELEVATION 119.69' - LOWEST GRADE AT ROOF FOOT PRINT 94.69' = 25'-0"

### ADDITIONAL NOTES

A. SEE 'G' SHEETS FOR GENERAL NOTES.

B. COORDINATE CONNECTION OF ROOF DRAIN AND OVERFLOW PIPING WITH SITE DRAIN PIPING. INSTALLATION TO DIRECT ROOF DRAINAGE TO STREET IN NON-EXPLOSIVE SURFACES AND/OR DEVICES.

C. ALL VENTS, VENT PIPES, EXHAUST PIPES OR OTHER ITEMS FIXED TO THE ROOF SHALL BE PAINTED THE COLOR OF THE ROOF FINISH.

REVISIONS:


PLANS PREPARED BY:  
JAMES GLOVER HOME INC. DATE: 10/20/2022  
221 S. OLIVIA VISTA, STE. 202  
SAN CLEMENTE, CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME INC.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672  
JOB NAME:  
SC SURESIDE LLC  
SCALE:  
1/8" = 1'-0"  
DATE:  
10/20/2022

A-105

ROOF PLAN

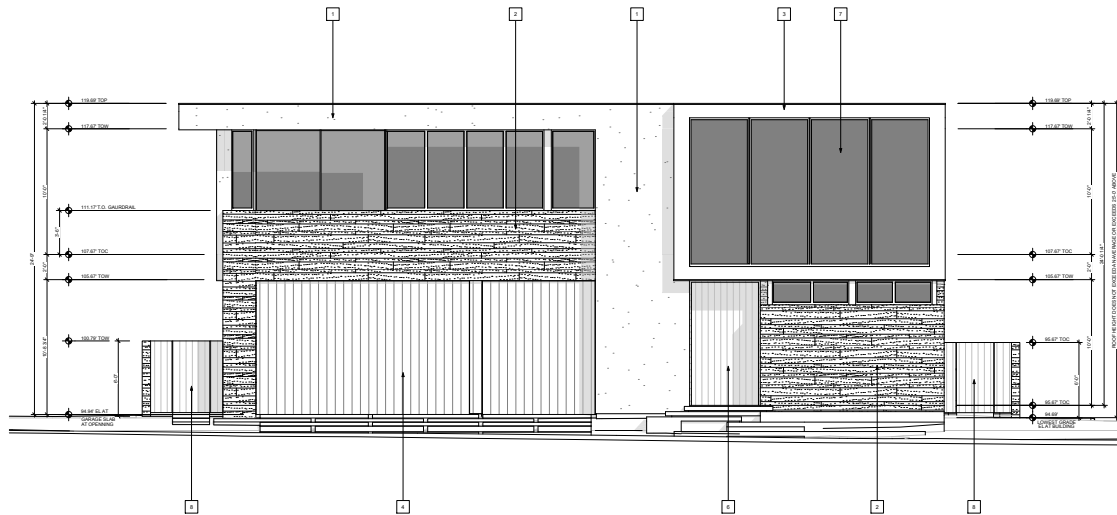
California Coastal Commission

5-22-0599

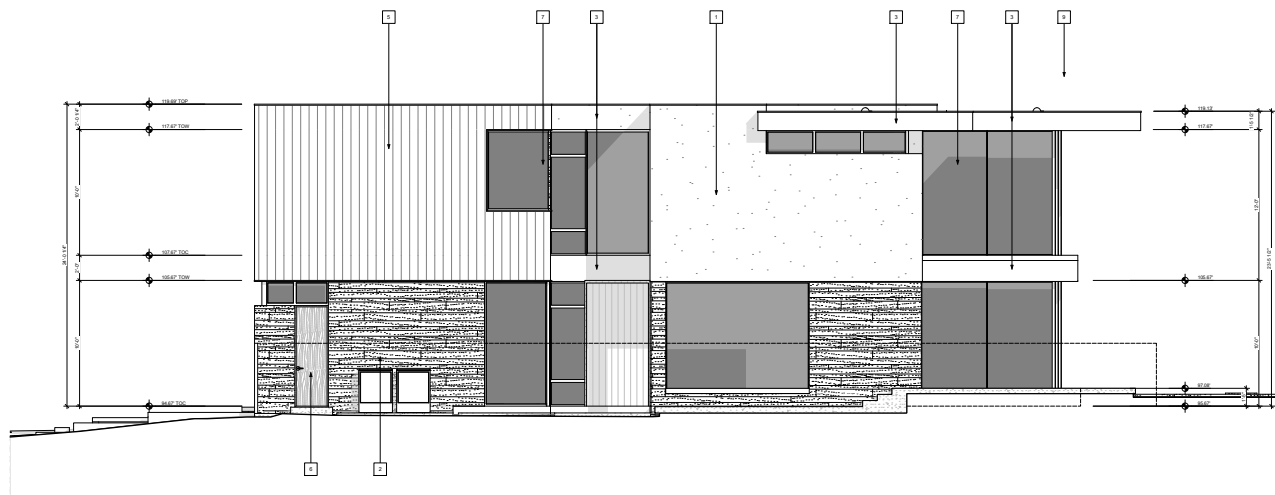
Exhibit 2

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EAST FACING ELEVATION



SOUTH FACING ELEVATION

## ELEVATION NOTES

REV	KEY	DESCRIPTION
1		SMOOTH ACRYLIC PLASTER (COLOR: ALL WHITE)
2		EXPOSED FORM BOARD CONCRETE WALL
3		POWDER COATED ALUMINUM METAL CLADDING (COLOR: DARK CHARCOAL)
4		THERMALLY TREATED ASH CHANNEL SIDING AT GARAGE DOORS WITH NATURAL OIL MUSHROOM FINISH
5		POWDER COATED ALUMINUM RANDOM WIDTH SIDING (COLOR: DARK CHARCOAL)
6		WALNUT DOOR WITH NATURAL OIL MUSHROOM FINISH
7		ALUMINUM WINDOW AND DOOR SYSTEM POWDER COATED MATTE BLACK
8		THERMALLY TREATED ASH CHANNEL SIDING AT FENCE AND GATES WITH NATURAL OIL MUSHROOM FINISH
9		POWDER COATED DECORATIVE METAL CHIMNEY SHROUD

## REVISIONS:

PLANS PREPARED BY:  
JAMES GLOVER HOME INC. DATE: 10/20/2022  
3000 S. GLOVER AVE. SUITE 100  
SAN CLEMENTE, CA 92672

221 S. OLIVIA AVE. STE. 202  
SAN CLEMENTE, CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME INC.

## ADDITIONAL NOTES

- SEE 'G' SHEETS FOR GENERAL NOTES
- CONTRACTOR TO VERIFY ALL EXTERIOR WALL TO GROUND CONNECTIONS. CONTRACTOR TO PROVIDE STUCCO FINISH BELOW WEIRP SCREEN AT ALL EXTERIOR SURFACES. SEE TYPICAL DETAIL.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
HONG PRESENCE  
SHEET:  
14" x 11"  
DATE:  
10/20/2022

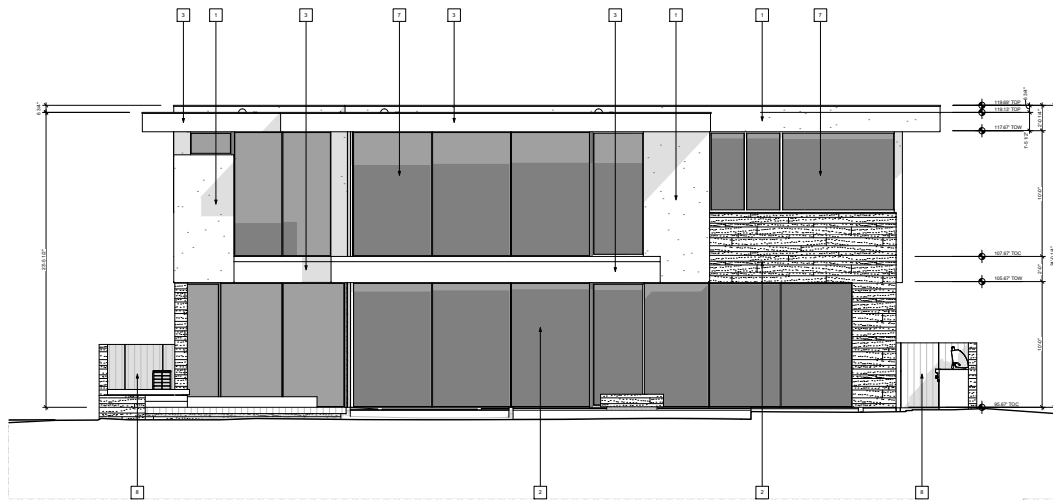
California Coastal Commission

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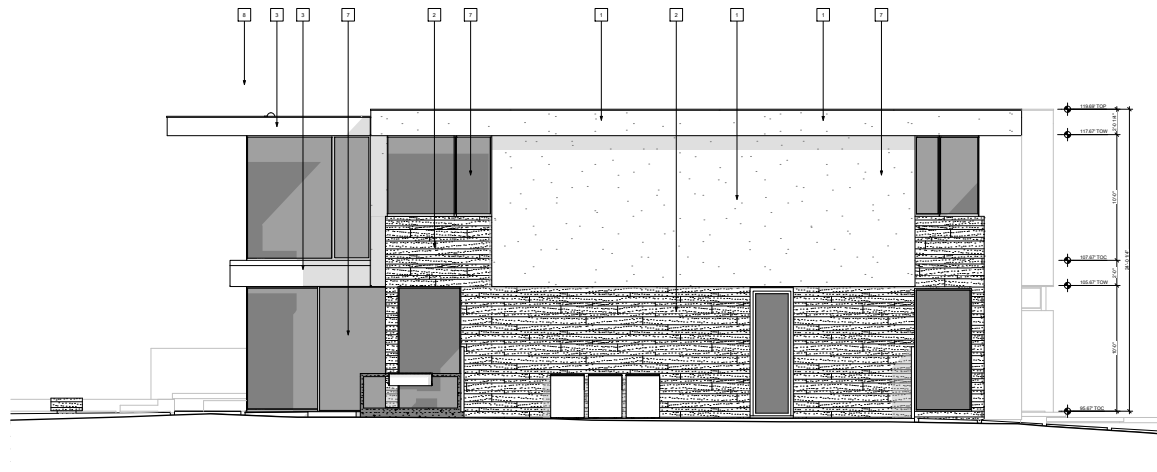
5-22-0599

Exhibit 2


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WEST FACING ELEVATION



NORTH FACING ELEVATION

ELEVATION NOTES			REVISIONS:
REV	KEY	DESCRIPTION	
1		SMOOTH ACRYLIC PLASTER (COLOR: ALL WHITE)	
2		EXPOSED FORM BOARD CONCRETE WALL	
3		POWDER COATED ALUMINUM METAL CLADDING (COLOR: DARK CHARCOAL)	
4		THERMALLY TREATED ASH CHANNEL SIDING AT GARAGE DOORS WITH NATURAL OIL MUSHROOM FINISH	
5		POWDER COATED ALUMINUM RANDOM WIDTH SIDING (COLOR: DARK CHARCOAL)	
6		WALNUT DOOR WITH NATURAL OIL MUSHROOM FINISH	
7		ALUMINUM WINDOW AND DOOR SYSTEM POWDER COATED MATTIE BLACK	
8		THERMALLY TREATED ASH CHANNEL SIDING AT FENCE AND GATES WITH NATURAL OIL MUSHROOM FINISH	
9		POWDER COATED DECORATIVE METAL CHIMNEY SHROUD	
			<div> <div>PLANS PREPARED BY:</div>  <div> <div>JAMES GLOVER HOME INC.</div> <div>DATE: 10/20/2022</div> <div>BY: JAMES GLOVER</div> </div> </div> <div> <div>221 S. OLIVIA VISTA, STE. 202</div> <div>SAN CLEMENTE, CALIFORNIA 92672</div> <div>(949) 492-7618</div> </div>
			<div> <div>JAMES GLOVER</div> <div>HOME INC.</div> </div>
			<div> <div>SC SURESIDE LLC</div> <div>3826 VISTA BLANCA</div> <div>SAN CLEMENTE, CA 92672</div> </div>
			<div> <div>JOB NAME:</div> <div>WING RESIDENCE</div> <div>SCALE:</div> <div>1/4" = 1'-0"</div> <div>DATE:</div> <div>10/20/2022</div> </div>
ADDITIONAL NOTES			
<p>A. SEE '10' SHEETS FOR GENERAL NOTES</p> <p>B. CONTRACTOR TO VERIFY ALL EXTERIOR WALL TO GROUND CONNECTIONS. CONTRACTOR TO PROVIDE STUCCO FINISH BELOW WEIRP SCREED AT ALL EXTERIOR SURFACES. SEE TYPICAL DETAIL.</p>			

California Coastal Commission

5-22-0599

Exhibit 2

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SECTION



SECTION

### SECTION NOTES

REV	KEY	DESCRIPTION
1		
2		
3		
4		
5		

### ADDITIONAL NOTES

A. SEE "D" SHEETS FOR GENERAL NOTES

#### REVISIONS:


PLANS PREPARED BY:  
  
**JAMES GLOVER HOME INC.**  
221 S. CLAY ST., STE. 202  
SAN CLEMENTE, CA 92672  
(949) 492-7618

**JAMES GLOVER**  
HOME INC.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

JOB NAME:  
HOMERESIDENCE  
SCALE:  
1/4" = 1'-0"  
DATE:  
10/05/2022

California Coastal Commission

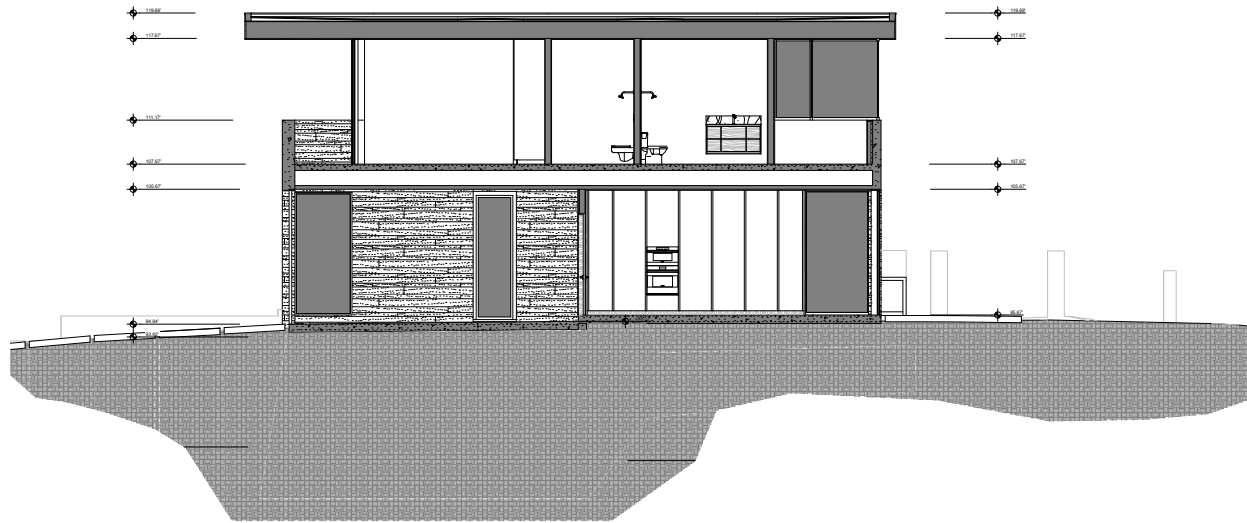
A-301

5-22-0599

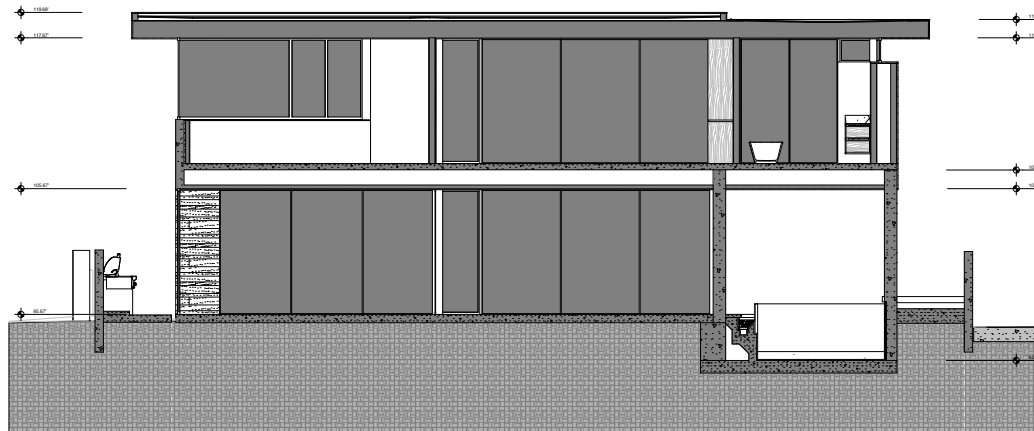
Exhibit 2

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SECTION "C"



SECTION "D"

## SECTION NOTES

REV	KEY	DESCRIPTION
1		DESCRIPTION
2		
3		
4		
5		

## REVISIONS:


PLANS PREPARED BY:  
JAMES GLOVER HOME INC. DATE: 10/20/2010  
10/20/2010

221 S. OLIVIA VISTA, STE. 202  
SAN CLEMENTE,  
CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER  
HOME INC.

SC SURESIDE LLC  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

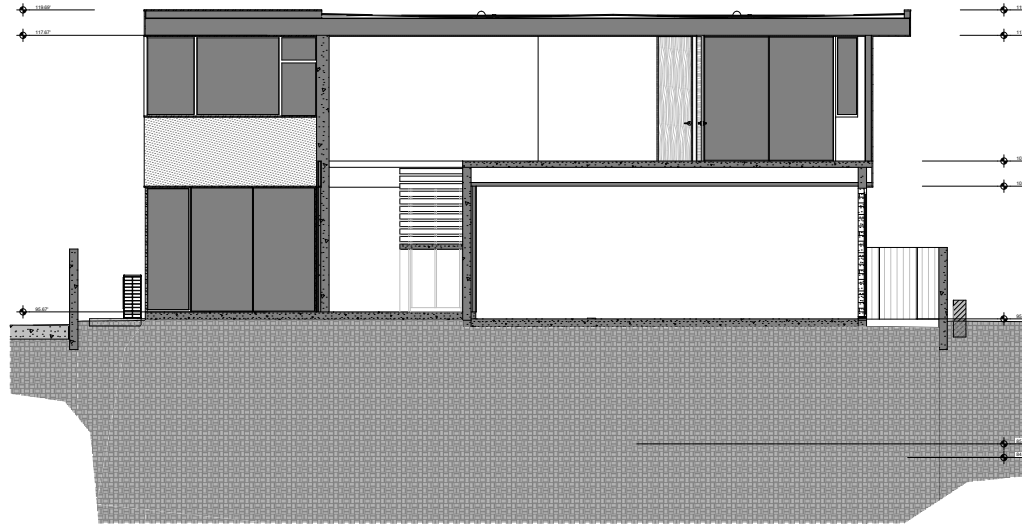
JOB NAME:  
HONG RESIDENCE  
SCALE:  
1/4" = 1'-0"  
DATE:  
10/20/2010

A-302

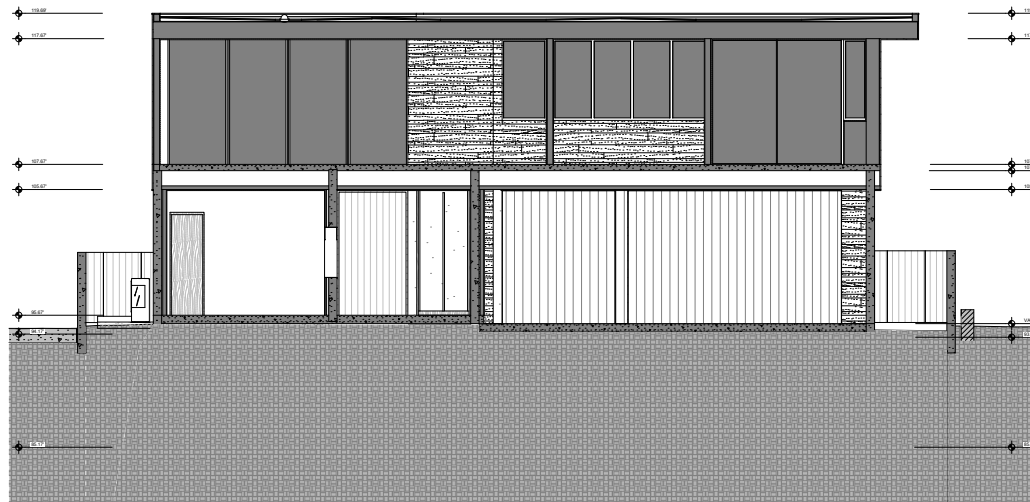
## ADDITIONAL NOTES

A. SEE "D" SHEETS FOR GENERAL NOTES

California Coastal Commission



## SECTION "E"



SECTION "F"

SECTION NOTES

REV	KEY	DESCRIPTION
	1	DESCRIPTION
	2	
	3	
	4	
	5	


**JAMES GLOVER HOME INC.**      DATE: 10/25/2022  
 The entity of James Glover Home Inc. is a real estate firm located at 10000 1st Avenue, Glenview, Illinois. The  
 principals of the firm are James Glover and his wife, Mary Glover. The firm is a sole proprietorship and is  
 not a corporation. The firm is not a partnership. The firm is not a limited liability company. The firm is not a  
 limited liability partnership. The firm is not a limited liability company. The firm is not a limited liability  
 partnership. The firm is not a limited liability company. The firm is not a limited liability partnership.

221 S. OLAVIA, STE. 202  
SAN CLEMENTE,  
CALIFORNIA 92672  
(949) 492-7618

JAMES GLOVER

SC SURFSIDE LLC,  
3826 VISTA BLANCA  
SAN CLEMENTE, CA 92672

NAME:  
WORKING RESIDENCE:  
TITLE:  
T = T-O  
E:  
25/2022

A-303  
Session

California Coastal Commission

5-22-0599

Exhibit 2

Page 17 of 18

# FOUNDATION NOTES

1. CONCRETE WALL CONTINUOUS FOOTINGS SHALL HAVE A MINIMUM WIDTH OF 24" AND BE EMBEDDED A MINIMUM DEPTH OF 30" BELOW LOWEST ADJACENT FINAL GRADE.
2. ALL OTHER CONTINUOUS FOOTINGS SHALL HAVE A MINIMUM WIDTH OF 18" AND BE EMBEDDED A MINIMUM DEPTH OF 30" BELOW LOWEST ADJACENT FINAL GRADE.
3. SLABS ON GRADE SHALL BE A MINIMUM OF 5" THICK.
4. FLOORWORK / HARDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT (IF APPLICABLE) OR JURISDICTIONAL STANDARDS.
5. BOTTOM OF ALL FOOTINGS SHALL MAINTAIN 7'-0" DISTANCE TO DAYLIGHT (UNLESS SPECIFIED DIFFERENTLY BY A GEOTECHNICAL REPORT). HORIZONTAL DISTANCE SHALL BE MEASURED FROM THE BOTTOM LEADING EDGE OF THE FOOTING.
6. THE STRUCTURE SHALL BE LOCATED IN ENGINEERED FILL.

GEOTECHNICAL ENGINEER OF RECORD: GEORFM  
 PROJECT NUMBER: 750702  
 REPORT NUMBER: 224191  
 DATED: 04/03/22



**JAMES GLOVER  
HOME, INC.**  
 www.jamesglover.com  
 (949) 492-7616

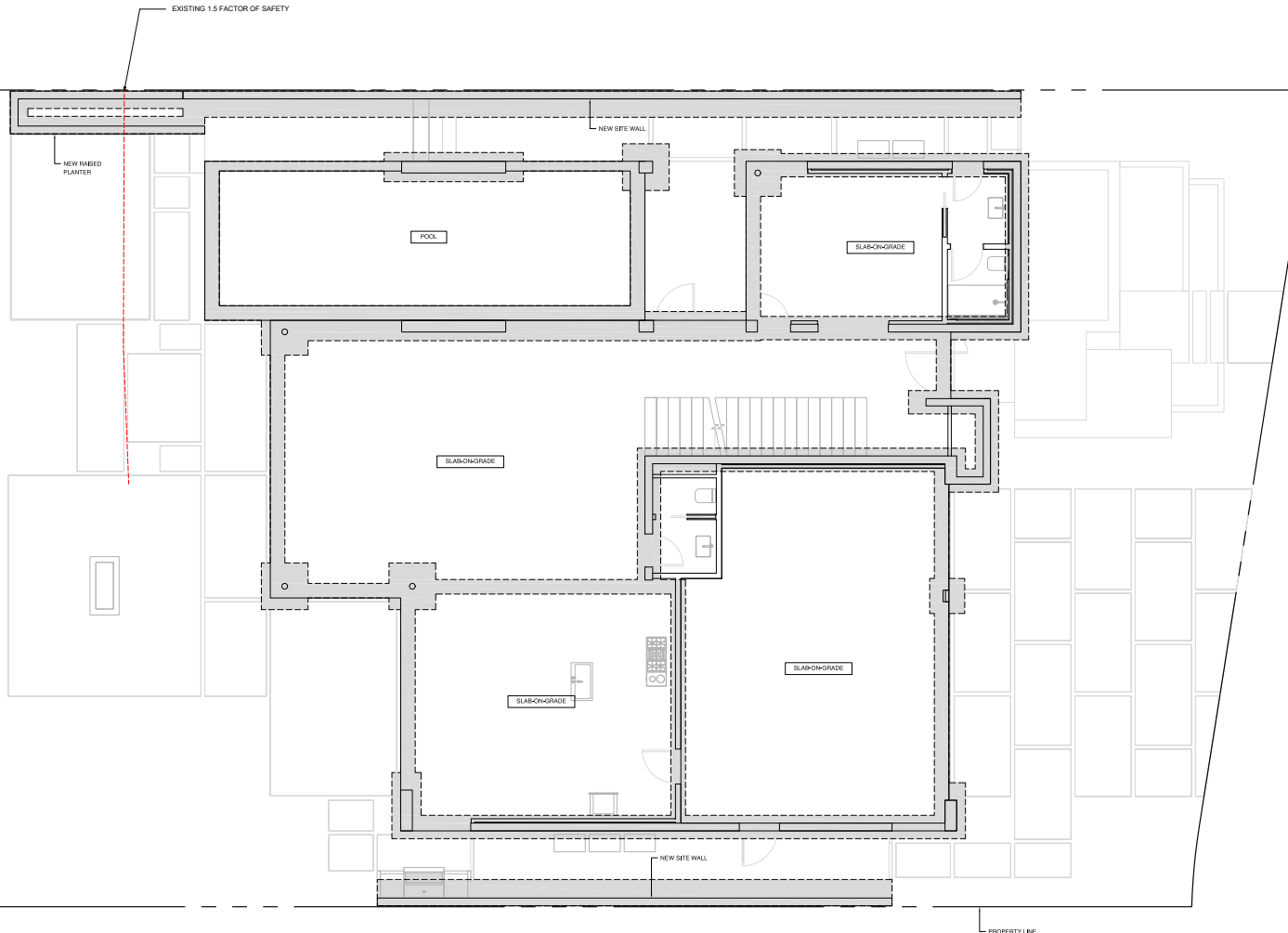
**SC SURFSIDE LLC**  
 3826 VISTA BLANCA SAN CLEMENTE CA 92672

## REVISIONS

PROJECT #: 20-095  
 ENGINEER: M.J.I.  
 DATE: 10/21/2022  
 SCALE: 1/4" = 1'-0"

**PRELIMINARY  
FOUNDATION  
PLAN**

**S1**  
 5-22-0599  
 Exhibit 2  
 Page 18 of 18

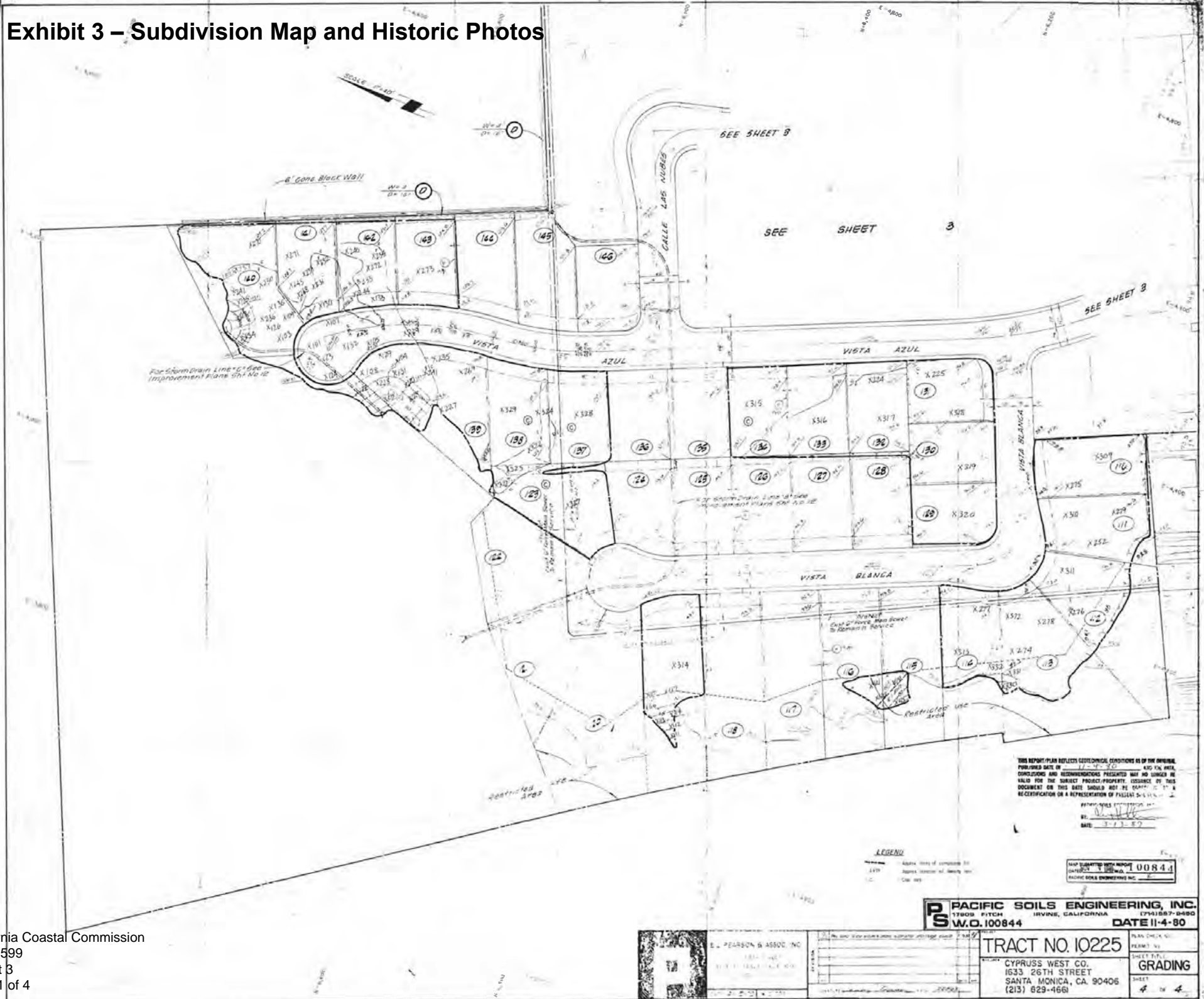


PRELIMINARY FOUNDATION PLAN



California Coastal Commission

### Exhibit 3 – Subdivision Map and Historic Photos





5-29-38-142

AAA-1:20,000-AXN-38-44  
AXK

King Residence  
3826 Vista Blanca  
San Clemente

Adapted from USGS Geologic Maps, San Clemente Quadrangle, Not to Scale



### 1938 Aerial Photograph, Flight AXK-1938, Frame 38-44

JOB NO.:

72497-01/80

DATE:

September 2021

FIGURE:

1



5-29-38

AXN-38-45  
AXK

King Residence  
3826 Vista Blanca  
San Clemente

Adapted from USGS Geologic Maps, San Clemente Quadrangle, Not to Scale



5-22-0599

Exhibit 3

Page 3 of 4

### 1938 Aerial Photograph, Flight AXK-1938, Frame 38-45

JOB NO.:

72497-01/80

DATE:

September 2021

FIGURE:

2





1938 Aerial Photograph,  
Frame 38-45 Parcel Overlay

JOB NO.:  
72497-01/80

DATE:  
Sept 2021

FIGURE NO.: 3



## Exhibit 4 – Unpermitted Development

