

## **CALIFORNIA COASTAL COMMISSION**

NORTH CENTRAL COAST DISTRICT  
455 MARKET STREET, SUITE 300  
SAN FRANCISCO, CA 94105  
PHONE: (415) 904-5260  
FAX: (415) 904-5400  
WEB: WWW.COASTAL.CA.GOV



# **F12b**

**2-21-0329 (QUAGLIERI/GROOMS SFD)**

**MARCH 11, 2022**

### **EXHIBITS**

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#### **EXHIBITS**

Exhibit 1 – Location Map

Exhibit 2 – Site Photos

Exhibit 3 – Proposed Project Plans

Exhibit 4 – Marin County Design Review Decision

Exhibit 5 – Proposed Septic Plan

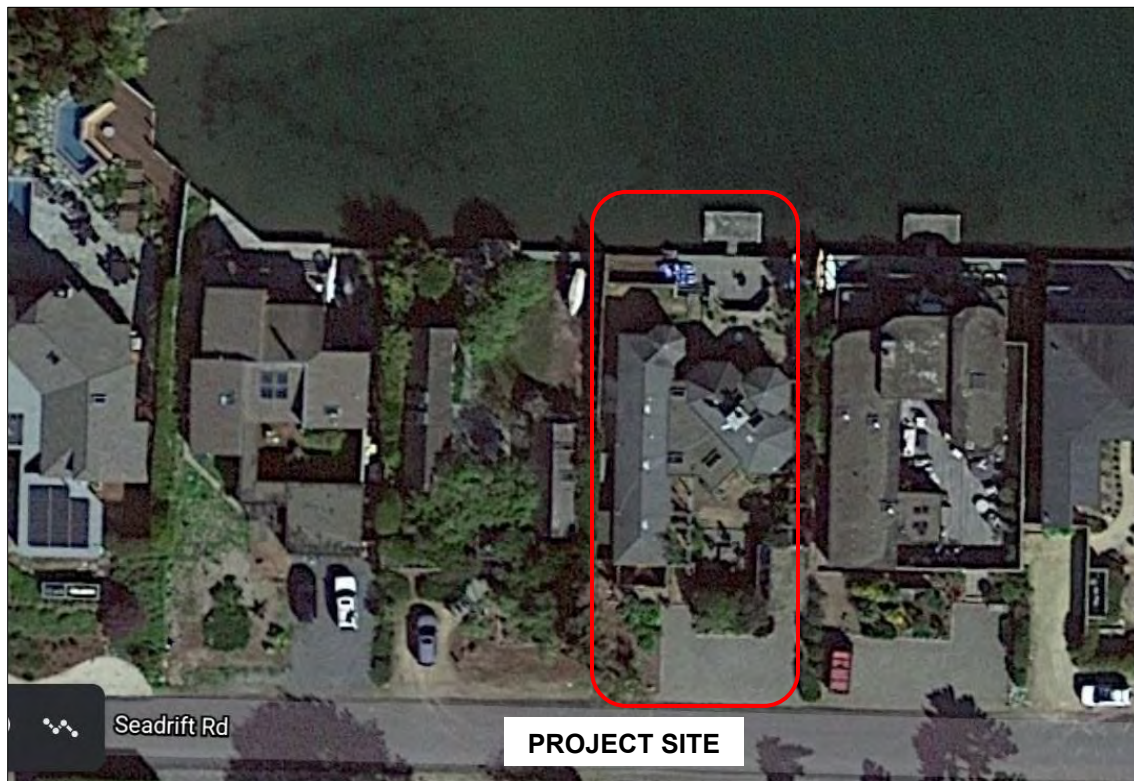
Exhibit 6 – FEMA Flood Hazard Map

297 SEADRIFT – LOCATION MAP  
MARIN COUNTY






## 297 SEADRIFT – SITE PHOTOS MARIN COUNTY

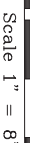


*Photo above: Coastal Records Project, 2019*

DATE	B/1/2021
SCALE	
DRAWING	MM
JOBS	
SHEET	
OP	SHEETS

STINSON BEACH, CA

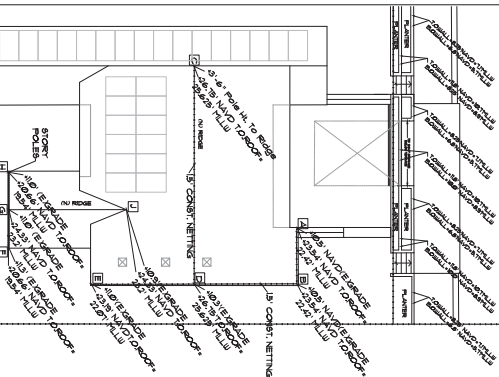
**(N) SITE PLAN 1/8" = 1'-0"**



**(E) SITE PLAN 1/16" = 1'-0"**



## VICINITY MAP



### STORY POLE PLAN & RET. WALLS



METAL ROOF



## WINDOWS & DOORS



CEDAR SIDING, STAINED



LIGHT FIXTURE: B



LIGHT FIXTURE: A



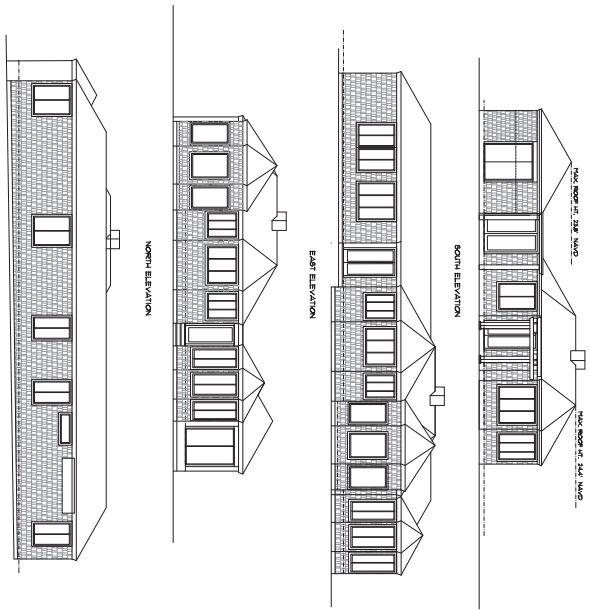
GLASS RAIL



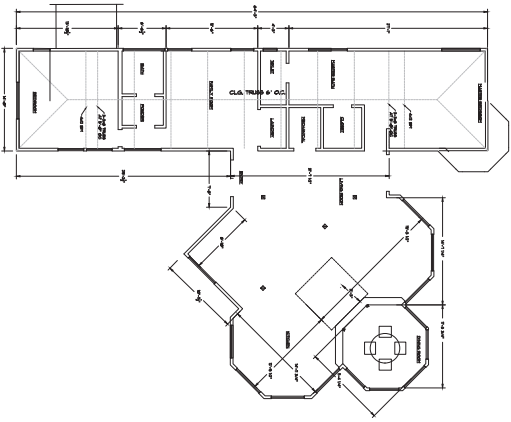
TERRACE SURFACE

## MATERIALS & COLORS

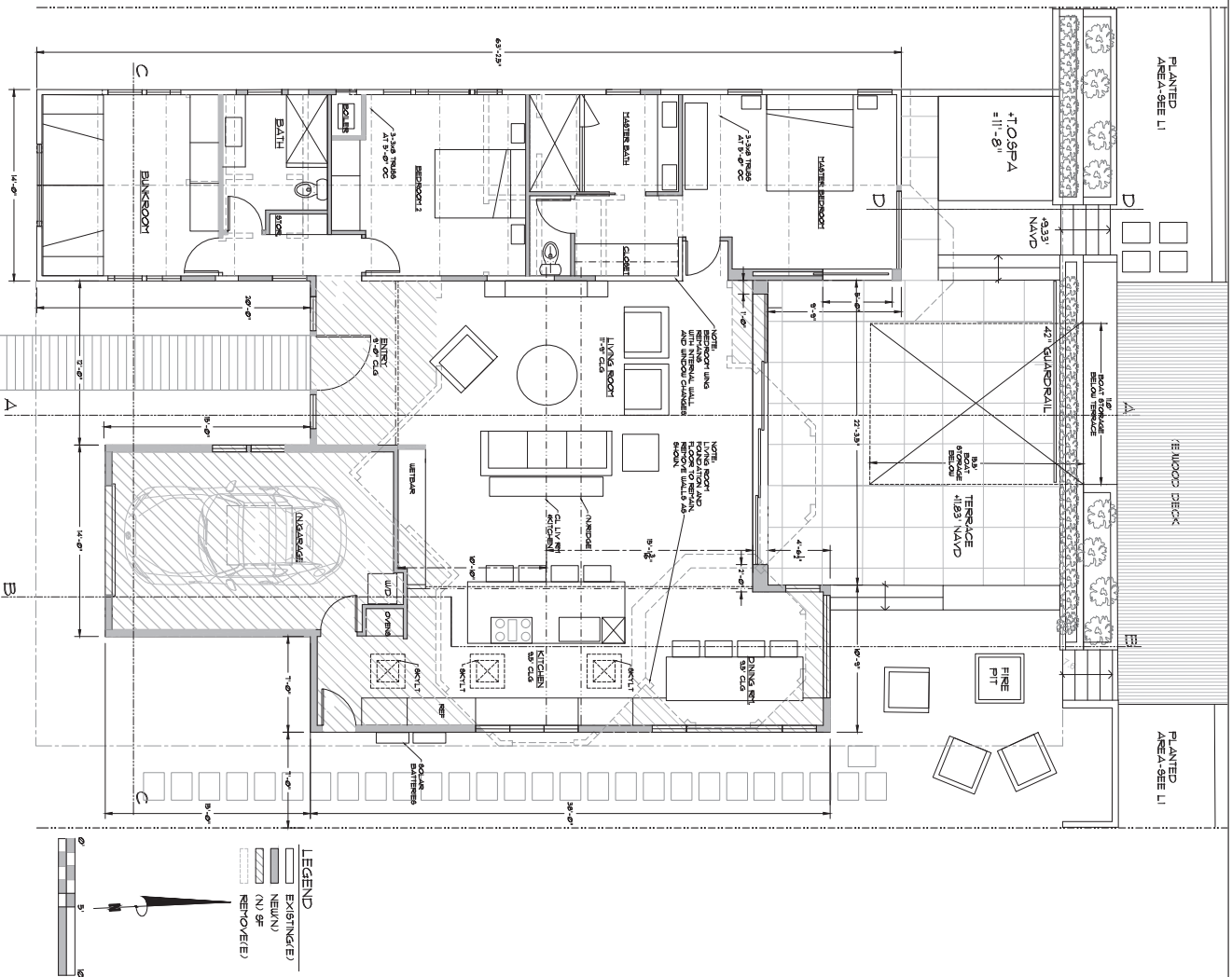
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EXISTING ELEVATIONS 1/8"=1'-0"



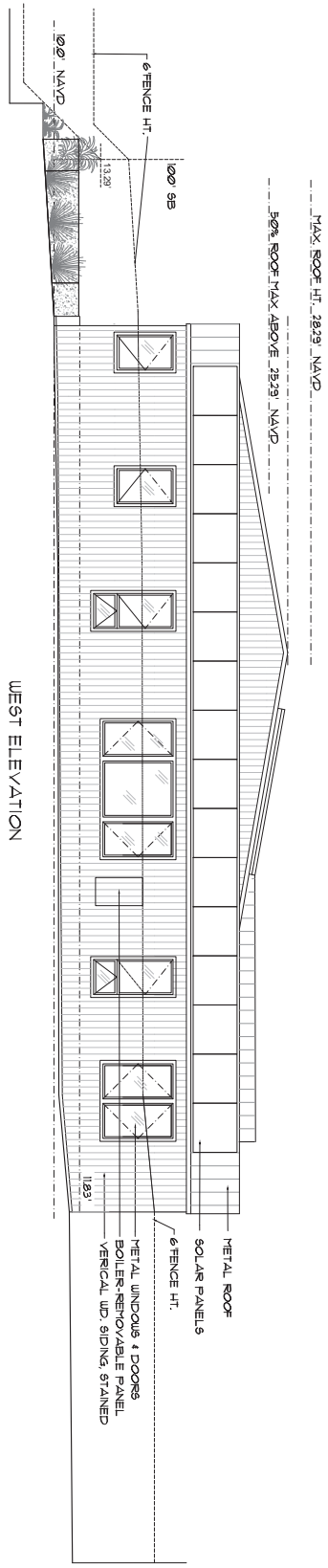
EXISTING FLOOR PLAN 1/8"=1'-0"



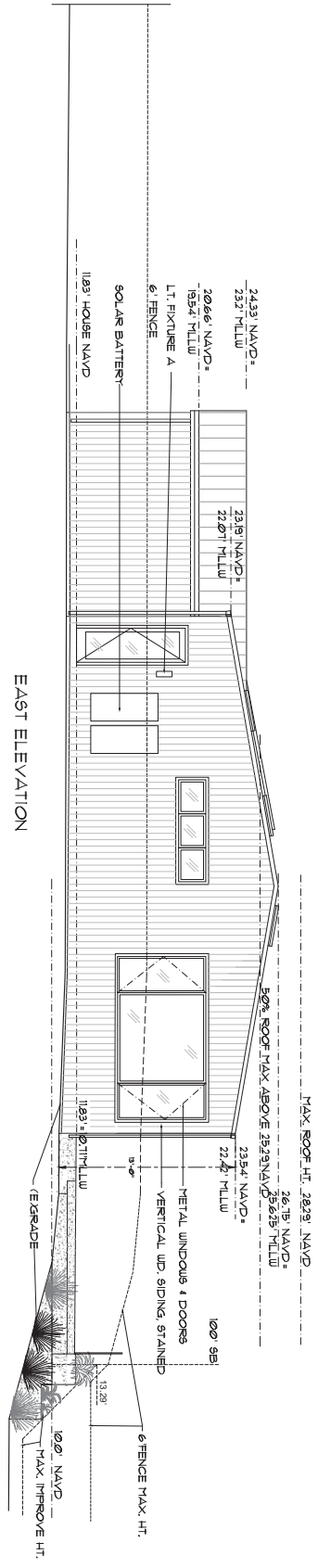
PROPOSED FLOOR PLAN 1/4"=1'-0"



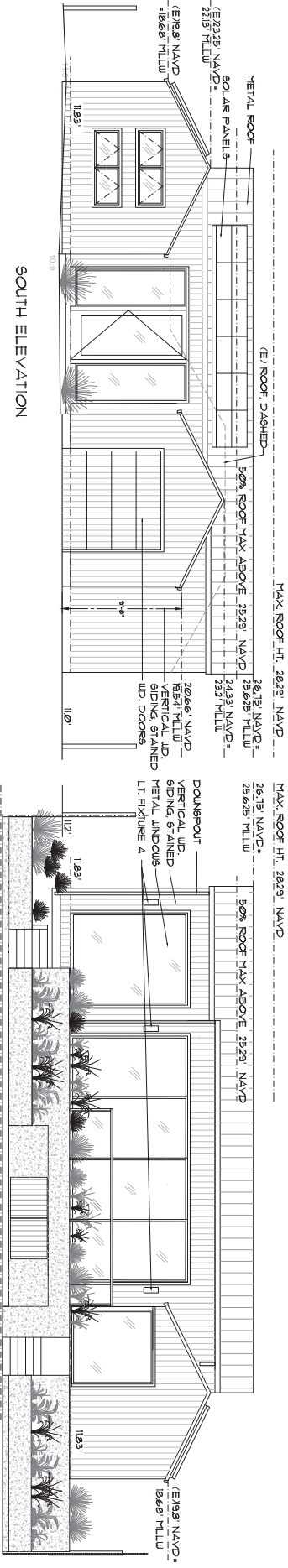




WEST ELEVATION



EAST ELEVATION



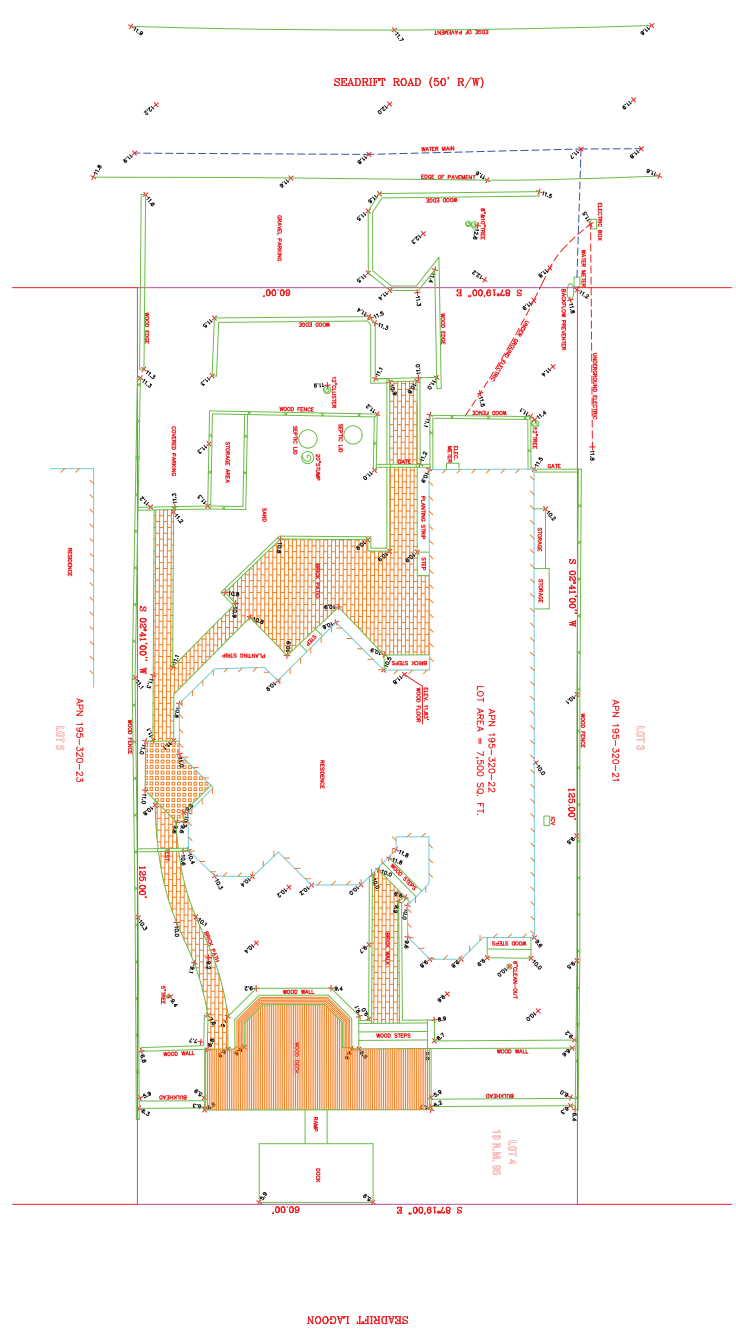
SOUTH ELEVATION

NORTH ELEVATION

PROPOSED ELEVATIONS 1/4"=1'-0"

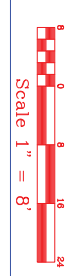






NOTES:  
ELEVATIONS ARE BASED ON NAD 83 DATUM  
FENCE LINE  
TREE AS NOTED  
APN ASSASSOR PARCEL NUMBER  
+0.00 SPOT ELEVATION

PROPERTY BOUNDARIES SHOWN ARE BASED ON SURVEY OF MAP OF SEADRIFT LAGOON, SUBD. NO. ONE,  
TO R.A. 50, FROM BOUNDARIES SHOWN THEREON



**MARIN COUNTY PLANNING DIVISION  
ADMINISTRATIVE DECISION  
Grooms Design Review**

**Decision:  
Date:**

**Approved with Conditions  
July 15, 2021**

Project ID No: P3083

Applicant(s): Stacey Ford  
Owner(s): Scott and Loren Grooms  
Assessor's Parcel No(s): 195-320-22  
Property Address: 297 Seadrift Road, Stinson Beach  
Project Planner: Kathleen Kilgariff  
415.473.7173  
kkilgariff@gmail.com

Signature: *Kathleen Kilgariff*

Countywide Plan Designation: C-SF4 (Coastal Single Family, 1-2 units/acre)  
Community Plan Area: Stinson Beach  
Zoning District: Residential Single Family Planned, 1.4 units/acre)  
Environmental Determination: Categorically Exempt per CEQA Guidelines Section 15301, Class 1

## PROJECT SUMMARY

The applicant requests Design Review approval to remodel and expand an existing residence on a 7,500 square foot developed lot in Stinson Beach. The existing 1,795 square foot residence would be enlarged by 225 square feet. Additionally, a new attached 297 square foot garage is proposed. Overall proposed development would result in a floor area ratio of 26.9%.

The proposed building would reach a maximum height of 16 feet, 11.5 inches above surrounding grade. The finished floor of the proposed improvements would be 10 feet, 8.5 inches above Mean Lower Low Water (MLLW) line, and the maximum roof height of the residence would be 26 feet, 9.5 above MLLW.

The exterior walls would have the following setbacks: 25 feet from the southern front property line; 6 feet from the eastern side property line; 6 feet from the western side property line; and more than 30 feet from the northern rear property line.

Design Review approval is required because the project entails improvements within a planned zoning district pursuant to Section 22.82.010I of the Marin County Code.

## COUNTYWIDE PLAN CONSISTENCY

The proposed project is consistent with the Marin Countywide Plan (CWP) for the following reasons:

- A. The project is consistent with the CWP woodland preservation policy (BIO-1.3) because the project would not entail the irreplaceable removal of a substantial number of mature, native trees.
- B. The project is consistent with the CWP special-status species protection policy (BIO-2.2) because the subject property does not provide habitat for special-status species of plants or animals.
- C. The project is consistent with the CWP natural transition and connection policies (BIO 2.3 and BIO 2.4) because the project would not substantially alter the margins along riparian corridors, wetlands, baylands, or woodlands.
- D. The project is consistent with the CWP stream and wetland conservation policies (BIO-3.1 and CWP BIO-4.1) because the proposed development would not encroach into any Stream Conservation Areas or Wetland Conservation Areas.
- E. The project is consistent with CWP water quality policies and would not result in substantial soil erosion or discharge of sediments or pollutants into surface runoff (WR-1.3, WR-2.2, WR-2.3) because the grading and drainage improvements would comply with the Marin County standards and best management practices required by the Department of Public Works.
- F. The project is consistent with CWP seismic hazard policies (CWP Policies EH-2.1, EH-2.3, and CD-2.8) because it would be constructed in conformance with County earthquake standards, as verified during review of the Building Permit application and the subject property is not constrained by unusual geotechnical problems, such as existing fault traces.
- G. The project is consistent with CWP fire hazard management policies (EH-4.1, EH-4.2, EH-4.5) because it would meet all fire safety requirements, as verified by the local fire protection district during review of the Building Permit application.
- H. The project is consistent with CWP aesthetic policies and programs (DES-4.1 and DES-4.e) because it would protect scenic quality and views of ridgelines and the natural environment from adverse impacts related to development.
- I. The project is consistent with CWP residential design policies and programs (DES-3.b and DES-4c) because it would fit within the context of the neighborhood, minimize the perception of mass and bulk, and comply with the Single-family Residential Design Guidelines.

#### **STINSON BEACH COMMUNITY PLAN CONSISTENCY**

The proposed project is consistent with the Stinson Beach Community Plan for the following reasons:

- A. The project is consistent with the Environmental Goals and Policies related to tree protection (3.0 A, B, G, and H) because no large cypress, bay, or alder trees would be removed.

- B. The project is consistent with the Land Use Goals and Policy related to building height (4.0 G) because the project would not exceed the height limit for a residence in the area.

## **DEVELOPMENT CODE CONSISTENCY**

### **Mandatory Findings for Design Review (Marin County Code Section 22.42.060)**

The project is consistent with the mandatory findings for Design Review approval for the reasons discussed below.

- A. The proposed development is consistent with the Design Guidelines and Discretionary Development Standards because it is designed to avoid adversely affecting natural resources and the character of the local community. Further, the exterior materials proposed for the development would complement the project design and the surrounding area. There are no standards provided in Chapter 22.14 that apply to the project.
- B. The proposed architectural design, massing, and scale of the project are compatible with the site surroundings and the community. Further, a standard condition of approval requires that exterior lighting installed for the project be unobtrusive to surrounding properties.
- C. The proposed site layout and design avoids eliminating sunlight, blocking primary views, or invading the privacy enjoyed on surrounding properties.
- D. The proposed development would not encroach into any streets or pathways and would not detract from the appeal of the streetscape.
- E. The proposed development would provide appropriate separation between buildings, retain healthy native vegetation and other natural features, and be adequately landscaped consistent with fire safety requirements.

## **ACTION**

The project described in condition of approval 1 below is authorized by the Marin County Planning Division and is subject to the conditions of project approval.

This planning permit is an entitlement to apply for construction permits, not a guarantee that they can be obtained, and it does not establish any vested rights. This decision certifies the proposed project's conformance with the requirements of the Marin County Development Code and in no way affects the requirements of any other County, State, Federal, or local agency that regulates development. In addition to a Building Permit, additional permits and/or approvals may be required from the Department of Public Works, the appropriate Fire Protection Agency, the Environmental Health Services Division, water and sewer providers, Federal and State agencies.

## **CONDITIONS OF PROJECT APPROVAL**

### **CDA-Planning Division**

1. This Design Review approval authorizes the remodel and expansion of an existing residence on a 7,500 square foot developed lot in Stinson Beach. The existing 1,795 square foot



residence would be enlarged by 225 square feet. Additionally, a new attached 297 square foot garage is proposed. Overall proposed development would result in a floor area ratio of 26.9%.

The proposed building would reach a maximum height of 16 feet, 11.5 inches above surrounding grade. The finished floor of the proposed improvements would be 10 feet, 8.5 inches above Mean Lower Low Water (MLLW) line, and the maximum roof height of the residence would be 26 feet, 9.5 above MLLW.

The exterior walls would have the following setbacks: 25 feet from the southern front property line; 6 feet from the eastern side property line; 6 feet from the western side property line; and more than 30 feet from the northern rear property line.

2. Plans submitted for a Building Permit shall substantially conform to plans identified as Exhibit A, entitled "Grooms Residence," consisting of 10 sheets prepared by Stacey Nichol Ford, received in final form on July 1, 2021, and on file with the Marin County Community Development Agency, except as modified by the conditions listed herein.
3. The project shall conform to the Planning Division's "Uniformly Applied Conditions 2021" with respect to all of the standard conditions of approval.

## **VESTING**

Unless conditions of approval establish a different time limit or an extension to vest has been granted, any permit or entitlement not vested within two years of the date of the approval shall expire and become void. The permit shall not be deemed vested until the permit holder has actually obtained any required Building Permit or other construction permit and has substantially completed improvements in accordance with the approved permits, or has actually commenced the allowed use on the subject property, in compliance with the conditions of approval.

## **RIGHT TO APPEAL**

This decision is final unless appealed to the Planning Commission. A Petition for Appeal and the required fee must be submitted in the Community Development Agency, Planning Division, Room 308, Civic Center, San Rafael, no later than five business days from the date of this decision (July 27, 2021).

cc: *{Via email to County departments and Design Review Board}*

CDA – Assistant Director

CDA – Planning Manager

DPW – Land Development

Stinson Beach County Water District

Attachments:

1. Marin County Uniformly Applied Conditions 2021
2. Planning Application Review, Department of Public Works, April 15, 2021

**MARIN COUNTY UNIFORMLY APPLIED CONDITIONS  
FOR PROJECTS SUBJECT TO DISCRETIONARY PLANNING PERMITS**

**2021**

**STANDARD CONDITIONS**

1. The applicant/owner shall pay any deferred Planning Division fees as well as any fees required for mitigation monitoring or condition compliance review before vesting or final inspection of the approved project, as determined by the Director.
2. The applicant/owner shall defend, indemnify, and hold harmless the County of Marin and its agents, officers, attorneys, or employees from any claim, action, or proceeding, against the County or its agents, officers, attorneys, or employees, to attack, set aside, void, or annul an approval of this application, for which action is brought within the applicable statute of limitations. The County of Marin shall promptly notify the applicant/owner of any claim, action, or proceeding that is served upon the County of Marin, and shall cooperate fully in the defense.
3. Exterior lighting for the approved development shall be located and shielded to avoid casting glare into the night sky or onto nearby properties, unless such lighting is necessary for safety purposes.
4. Building Permit applications shall substantially conform to the project that was approved by the planning permit. All Building Permit submittals shall be accompanied by an itemized list of any changes from the project approved by the planning permit. The list shall detail the changes and indicate where the changes are shown in the plan set. Construction involving modifications that do not substantially conform to the approved project, as determined by the Community Development Agency staff, may be required to be halted until proper authorization for the modifications is obtained by the applicant.

**SPECIAL CONDITIONS**

1. BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall submit a signed Statement of Conformance prepared by a certified or licensed landscape design professional indicating that the landscape plan complies with the State of California's Model Water Efficient Landscape Ordinance and that a copy of the Landscape Documentation Package has been filed with the Community Development Agency.
2. BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall mark or call out the approved building setbacks on the Building Permit plans indicating the minimum distance of the building from the nearest property line or access easement at the closest point and any of the following features applicable to the project site: required tree protection zones, Wetland Conservation Areas, or Stream Conservation Areas.

3. BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall revise the plans to depict the location and type of all exterior lighting for review and approval of the Community Development Agency staff. Exterior lighting visible from off-site shall consist of low-wattage fixtures, and shall be directed downward and shielded to prevent adverse lighting impacts to the night sky or on nearby properties. Exceptions to this standard may be allowed by the Community Development Agency staff if the exterior lighting would not create night-time illumination levels that are incompatible with the surrounding community character and would not shine on nearby properties.
4. BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall record a Waiver of Public Liability holding the County of Marin, other governmental agencies, and the public harmless related to losses experienced due to geologic and hydrologic conditions and other natural hazards.
5. BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant shall submit written confirmation that the property owner has recorded the "Disclosure Statement Concerning Agricultural Activities," as required by Section 23.03.050 of the Marin County Code.
6. BEFORE ISSUANCE OF A BUILDING PERMIT for any of the work identified in the project approval, the applicant shall install 3-foot high temporary construction fencing demarcating established tree protection zones for all protected trees that are not being removed in the vicinity of any area of grading, construction, materials storage, soil stockpiling, or other construction activity. The applicant shall submit a copy of the temporary fencing plan and site photographs confirming installation of the fencing to the Community Development Agency. Acceptable limits of the tree protection zones shall be the dripline of the branches or a radius surrounding the tree of one foot for each one inch diameter at breast height (4.5 feet above grade) of the tree trunk. The fencing is intended to protect existing vegetation during construction and shall remain until all construction activity is complete. If encroachment into the tree protection zone is necessary for development purposes, additional tree protection measures shall be identified by a licensed arborist, forester, or botanist, and the tree specialist shall periodically monitor the construction activities to evaluate whether the measures are being properly followed. A report with the additional measures shall be submitted for review and approval by the Planning Division before any encroachment into a tree protection zone occurs.
7. BEFORE FINAL INSPECTION, if encroachments into a tree protection zone have been approved, then the tree specialist shall submit a letter to the Planning Division verifying that the additional tree protection measures were properly implemented during construction activities.
8. BEFORE ISSUANCE OF A BUILDING PERMIT, temporary construction fencing shall be installed on the subject property at edge of the Wetland Conservation Area and/or Stream Conservation Area, as applicable to the site. The applicant shall submit a copy of the temporary fencing plan and site photographs confirming installation of the fencing to the Community Development Agency. The construction fencing shall remain until all construction activity is complete. No parking of vehicles, grading, materials/equipment storage, soil stockpiling, or other construction activity is allowed within the protected area. If encroachment into the protected area is necessary for development purposes, additional protection measures shall be identified by a qualified biologist and the biologist shall periodically monitor the construction activities to evaluate whether the measures are being properly followed. A

report with the additional measures shall be submitted for review and approval by the Planning Division before any encroachment into a protected area occurs.

9. BEFORE FINAL INSPECTION, if encroachments into a protected area have been approved, then the biologist shall submit a letter to the Planning Division verifying that the additional protection measures were properly implemented during construction activities.
10. BEFORE ISSUANCE OF A BUILDING PERMIT, the applicant must provide written evidence that all appropriate permits and authorizations have been secured for this project from the Bay Conservation and Development Commission, the California Department of Fish and Game, the Regional Water Quality Control Board, the California Coastal Commission, the California State Lands Commission, the Bay Area Air Quality Management District, and/or the United States Army Corps of Engineers.
11. BEFORE CLOSE-IN INSPECTION, the applicant shall have a licensed land surveyor or civil engineer with proper surveying certification prepare and submit written (stamped) Floor Elevation Certification to the Planning Division confirming that the building's finished floor elevation conforms to the floor elevation that is shown on the approved Building Permit plans, based on a benchmark that is noted on the plans.
12. BEFORE FINAL INSPECTION, the project shall substantially conform to the requirements for exterior materials and colors, as approved herein. Approved materials and colors shall substantially conform to the materials and colors samples shown in "Exhibit A" unless modified by the conditions of approval. The exterior materials or colors shall conform to any modifications required by the conditions of approval. All flashing, metalwork, and trim shall be treated or painted an appropriately subdued, non-reflective color.
13. BEFORE FINAL INSPECTION, the applicant shall install all approved landscaping that is required for the following purposes: (1) screening the project from the surrounding area; (2) replacing trees or other vegetation removed for the project; (3) implementing best management practices for drainage control; and, (4) enhancing the natural landscape or mitigating environmental impacts. If irrigation is necessary for landscaping, then an automatic drip irrigation system shall be installed. The species and size of those trees and plants installed for the project shall be clearly labeled in the field for inspection.
14. BEFORE FINAL INSPECTION, the applicant shall submit a Certificate of Completion prepared by a certified or licensed landscape design professional confirming that the installed landscaping complies with the State of California's Model Water Efficient Landscape Ordinance and the Landscape Documentation Package on file with the Community Development Agency.
15. BEFORE FINAL INSPECTION, the applicant shall submit written verification from a landscape design professional that all the approved and required landscaping has been completed and that any necessary irrigation has been installed.
16. BEFORE FINAL INSPECTION, utilities to serve the approved development shall be placed underground except where the Director determines that the cost of undergrounding would be so prohibitive as to deny utility service to the development.
17. BEFORE FINAL INSPECTION, the applicant shall call for a Community Development Agency staff inspection of approved landscaping, building materials and colors, lighting and



compliance with conditions of project approval at least five business days before the anticipated completion of the project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent reinspections.

### CODE ENFORCEMENT CONDITIONS

1. Within 30 days of this decision, the applicant must submit a Building Permit application to legalize the development. Requests for an extension to this timeline must be submitted in writing to the Community Development Agency staff and may be granted for good cause, such as delays beyond the applicant's control.
2. Within 60 days of this decision, a Building Permit for all approved work must be obtained. Requests for an extension to this timeline must be submitted in writing to the Community Development Agency staff and may be granted for good cause, such as delays beyond the applicant's control.
3. Within 120 days of this decision, the applicant must complete the approved construction and receive approval of a final inspection by the Building and Safety Division. Requests for an extension to this timeline must be submitted in writing to the Community Development Agency staff and may be granted for good cause, such as delays beyond the applicant's control.

# PLANNING APPLICATION REVIEW

## DEPARTMENT OF PUBLIC WORKS

### Inter-office Memorandum - First Transmittal

DATE: 4/15/2021DUE: 4/12/2021TO: Kathleen KilgariffFROM: Tyler BylowAPPROVED: RE: Grooms Design ReviewProject ID P3083APN: 195-320-22ADDRESS: 297 Seadrift RdStinson Beach, CA**TYPE OF DOCUMENT**☒ DESIGN REVIEW☐ COASTAL PERMIT☐ LAND DIVISION☐ VARIANCE☐ USE PERMIT☐ ADU PERMIT☐ ENVIRONMENTAL REV.☐ OTHER:

Department of Public Works Land Use Division  
has reviewed this application for content and:

☒ Find it **COMPLETE**☐ Find it **INCOMPLETE**, please submit items listed below☐ Find it **NEEDS SUBSTANTIAL MODIFICATIONS TO CONFORM**

Comments Included (Inc.) or  
Attached (Att.) from other DPW  
Divisions:

☐ Traffic☐ Flood Control☐ Other: \_\_\_\_\_**Merit Comments****Prior to Issuance of a Building Permit:****Parking:**

1. Per Marin County Code § 24.04.380(a), head-in parking spaces shall be a minimum eight and one-half feet by eighteen feet. Parallel spaces shall be a minimum eight feet by twenty feet. For constrained locations such as garages serving single-family dwellings, spaces shall be a minimum nine feet by twenty feet. Demonstrate compliance.
2. **Grading & Drainage Plans:** Provide the following information on the drainage and grading plan:
  - a. Plan shall provide existing and proposed topographic contours, or a sufficient number of spot elevations, to describe drainage patterns. The proposed project shall maintain existing drainage patterns.
  - b. Plan shall show and label all existing and proposed drainage features and improvements. Improvements may include down spouts, footing and foundation drains, area drains and catch basins, piping and out fall structures or means of dispersion. Note that 2016 California Plumbing Code (CPC) §1101.12.1 requires roof areas of buildings to be drained by roof drains and gutters. Note as well that CPC §1101.6.5(2) indicates that the point of discharge shall not be less than 10 feet from the property line.
  - c. Per 2016 California Residential Code § R401.3, lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum 2 percent away from the building. Demonstrate compliance.
  - d. Indicate means of restoring all disturbed areas.
  - e. Add a note on the plans indicating that the plan preparer shall certify to the County in writing upon the completion of work that all grading and drainage improvements were installed in

accordance with the approved plans and field direction. Be aware that a DPW Engineer will need to inspect and accept work after receipt of certification letter. Certification letters shall reference building permit number or numbers for specific work being certified, the address of the property and the Assessor's Parcel Number (APN), and shall be signed and stamped by the certifying professional.

**Best Management Practices:**

3. Per Marin County Code § 24.04.625(a)(c)(g)(k), provide a plan indicating construction-phase best management practices (BMPs) include erosion and sediment controls and pollution prevention practices. Erosion control BMPs may include, but are not limited to, scheduling and timing of grading activities, timely re-vegetation of graded areas, the use of hydroseed and hydraulic mulches, and installation of erosion control blankets. Sediment control may include properly sized detention basins, dams, or filters to reduce entry of suspended sediment into the storm drain system and watercourses, and installation of construction entrances to prevent tracking of sediment onto adjacent streets. Pollution prevention practices may include: designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices. You may refer to the Marin County Stormwater Pollution Prevention Program's website, <https://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosionsediment-control-measures-for-small-construction-projects-2015.pdf?la=en>

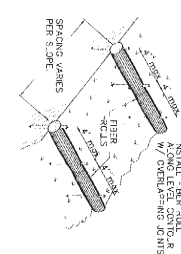
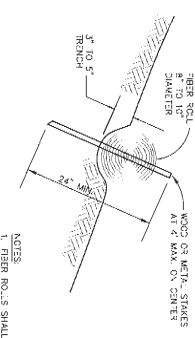
**Stormwater Control Plans:**

4. Provide a Stormwater Control Plan as required by Marin County Code § 24.04.627 Permanent Stormwater Controls for New and Redevelopment. You may refer to the BASMAA Post Construction Manual which you can access at the County's website for post-construction stormwater management requirements, publications and resources at: <http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/new-and-redevelopment-projects?panelnum=2> . **Direction for this project is in Appendix C of the BASMAA manual, Stormwater Control Plans for Small Projects / Single Family Homes.**
5. The plans shall provide details for the spa drainage and demonstrate that the drainage would comply with MCC 23.18 (Urban Runoff Pollution Prevention Code). Discharge into a watercourse is prohibited pursuant to MCC 23.18.094. You may refer to the Marin County Stormwater Pollution Prevention Program's website, [www.mcstoppp.org](http://www.mcstoppp.org), for more information.

**-END-**

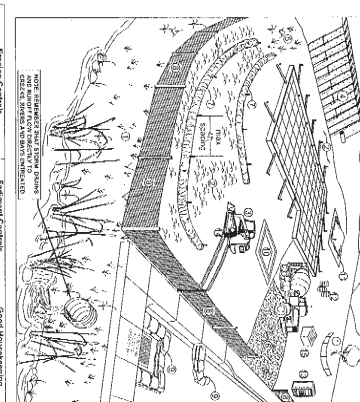


Marin County Stormwater Pollution Prevention Program  
For Small Construction Projects

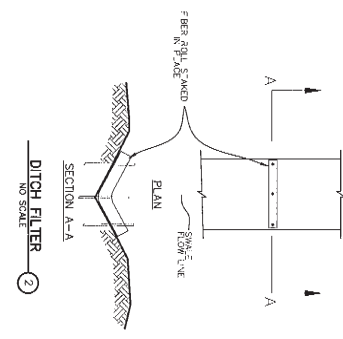


- NOTES:
1. FIBER ROLL SHALL BE INSTALLED AT TOP OF SLOPE FROM INLET.
  2. FIBER ROLL MUST BE PLACED ALONG SLOPE CORNERS (LEVEL).
  3. PLACE ADJACENT MATS TIGHTLY TOGETHER OVERLAPING.

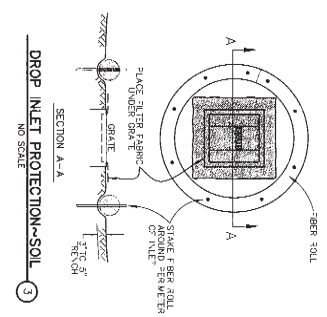
FIBER ROLL INSTALLATION  
NO SCALE



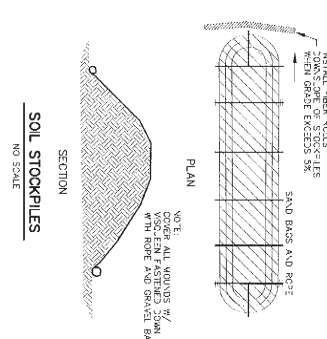
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2. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
3. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
4. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
5. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
6. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
7. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
8. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
9. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
10. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
11. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
12. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
13. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
14. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
15. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
16. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
17. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
18. SOIL TYPE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18



DITCH FILTER  
NO SCALE



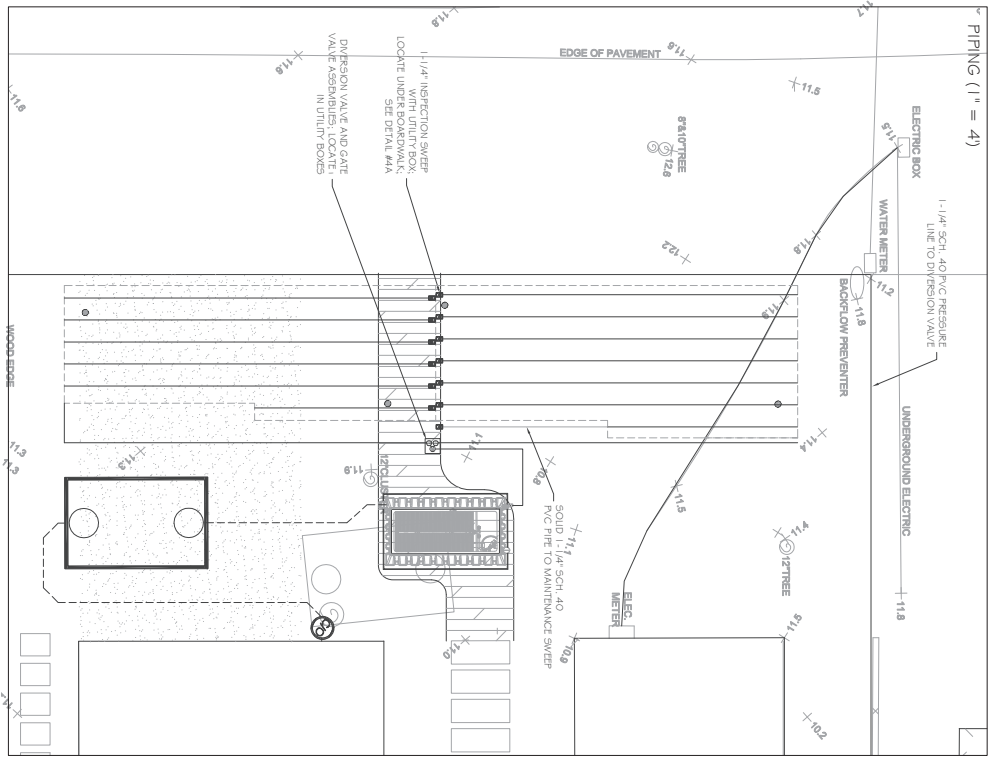
DROP INLET PROTECTION-SOL  
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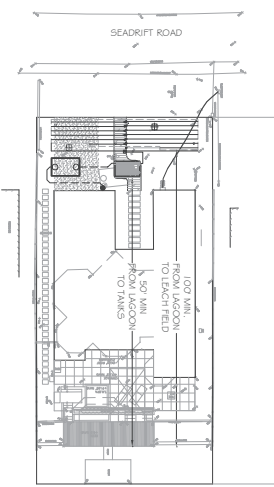
SOIL STOCKPILES  
NO SCALE

- EROSION AND SEDIMENT CONTROL NOTES
1. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL BE IN ACCORDANCE WITH THESE PLANS.
  2. ALL STORM DRAIN INLETS IN THE VICINITY OF EXCAVATION ACTIVITIES SHALL BE PROTECTED.
  3. CONSTRUCTION SHALL PROVIDE SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES DURING EXCAVATION.
  4. CONSTRUCTION SHALL PROVIDE SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES DURING EXCAVATION.
  5. ALL EXPOSED SOIL AND DIRT SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER.
  6. THE SITE SHALL BE MAINTAINED SO THAT NO SEDIMENT ENTERS THE STORM DRAINAGE SYSTEM. CONSTRUCTION SHALL TAKE TOOLS, EQUIPMENT AND MATERIALS TO PROVIDE EROSION CONTROL MEASURES NECESSARY FOR ANY CONSTRUCTION OPERATION ON THE SITE BEFORE BEGINNING ANY WORK.
  7. FIBER ROLLS AND/OR SILT FENCES SHALL BE INSTALLED BELOW ALL BARE SOIL AREAS TO PROTECT SEDIMENT FROM LEAVING THE WORK ZONE.
  8. THIS PLAN IS INTENDED TO SERVE AS A CONCEPTUAL GUIDE FOR THE INSTALLATION OF EFFECTIVE EROSION AND SEDIMENTATION CONTROL MEASURES. THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED AT THE DISCRETION OF THE ENGINEER. THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED AT THE DISCRETION OF THE ENGINEER. THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED AT THE DISCRETION OF THE ENGINEER.
  9. UNLESS DIRECTED OTHERWISE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY OCTOBER 15 AND MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION. THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED AT THE DISCRETION OF THE ENGINEER. THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED AT THE DISCRETION OF THE ENGINEER.
  10. ALL SILT CONTAMINANT FEATHERS SHALL BE CLEARED AND READY TO FUNCTION AT THE START OF PROPOSED STORM EVENTS. REMOVE SEDIMENT WHEN ACCUMULATIONS REACH ONE THIRD OF THE HEIGHT OF THE BARRIER.
  11. LANDSCAPING HAS BEEN ESTABLISHED TO PREVENT EROSION.
  12. PROTECTED FROM SEDIMENTATION AND EROSION DAMAGE.
  13. ALL VEHICLES TRAVELING ONTO A PUBLIC HIGHWAY FROM THIS SITE SHALL HAVE CLEAN TIRES. EROSION CONTROL PLANS SHALL REQUIRE REMOVAL OF ALL SEDIMENT FROM THE SITE. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
  14. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
  15. SITE DAMAGE - PROVIDE ADEQUATE DAMAGE OF THE WORK AREA AT ALL TIMES CONSISTENT WITH EROSION CONTROL PRACTICES. DISTURBED AREAS THAT WILL REMAIN UNWORKED FOR 30 DAYS OR MORE, ALL TEMPORARY SEDIMENT DEVICES AT THE CONCLUSION OF CONSTRUCTION BUT NOT BEFORE GROWTH OF PERMANENT GROUND COVER.
  16. DUST CONTROL - KEEP ALL SOIL STOCKPILES ADEQUATELY PROTECTED TO PREVENT WIND FROM CARRYING DUST. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
  17. HOUSEKEEPING - KEEP ALL SOILS AND FILLS MATERIAL STORED AT THE CONSTRUCTION SITE IN A CLEAN AND ORDERLY MANNER. DO NOT LET EXCESS SOILS ACCUMULATE ON PAVED OR CONCRETE SURFACES. SWEEP OR CONTAIN EXCESS SOILS AT THE END OF EVERY WORKDAY.
  18. PROVIDE SUBMITTALS FOR ALL EROSION CONTROL MATERIALS FOR REVIEW BY ENGINEER.





PROPERTY BOUNDARIES (1" = 20')

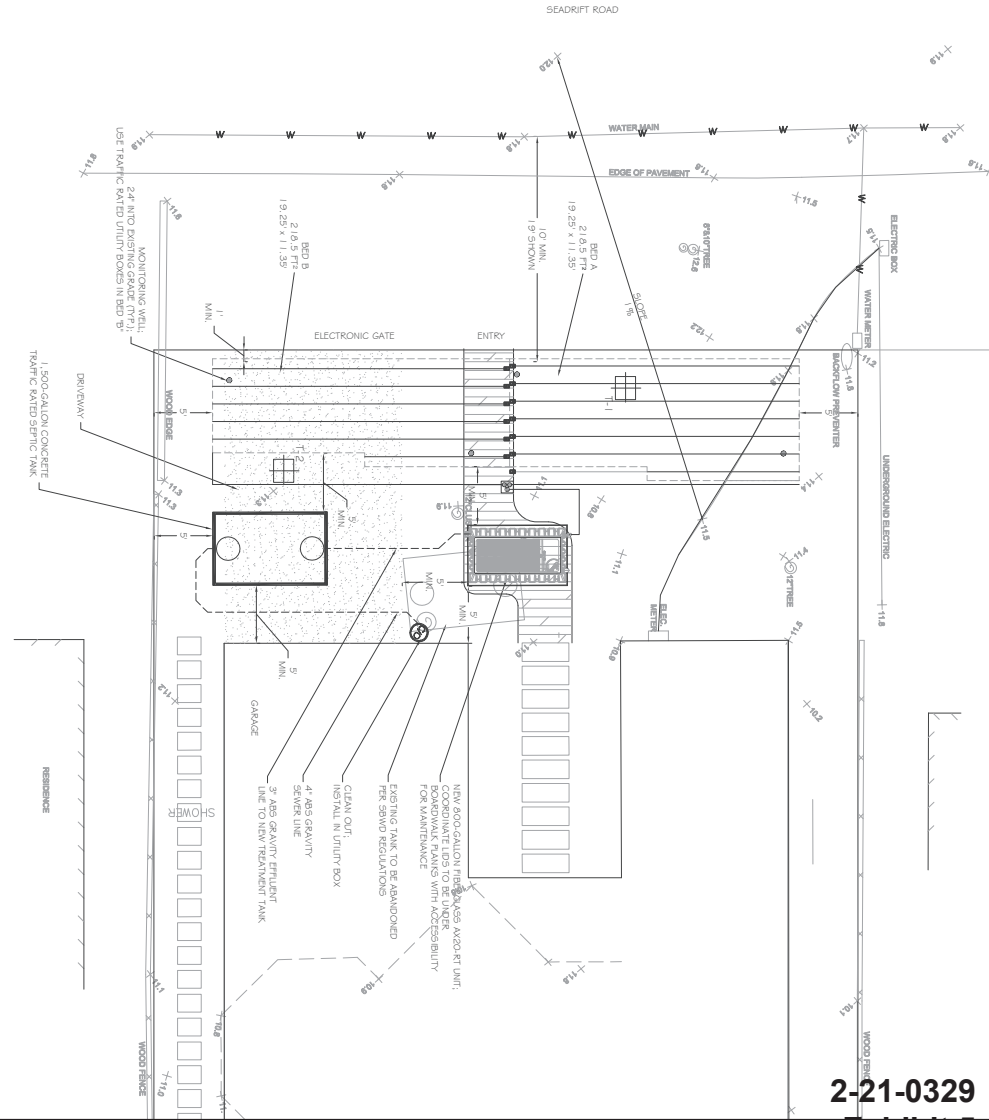
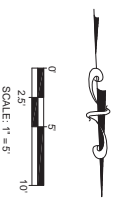


LEGEND

- Soil Profile Trench
- Percolation Test
- Montgomery Well
- Clean Out
- Gravity Line
- Pressure Line

NOTES

- Site survey provided by owner. EED assumes no responsibility.
- 300 GPD System



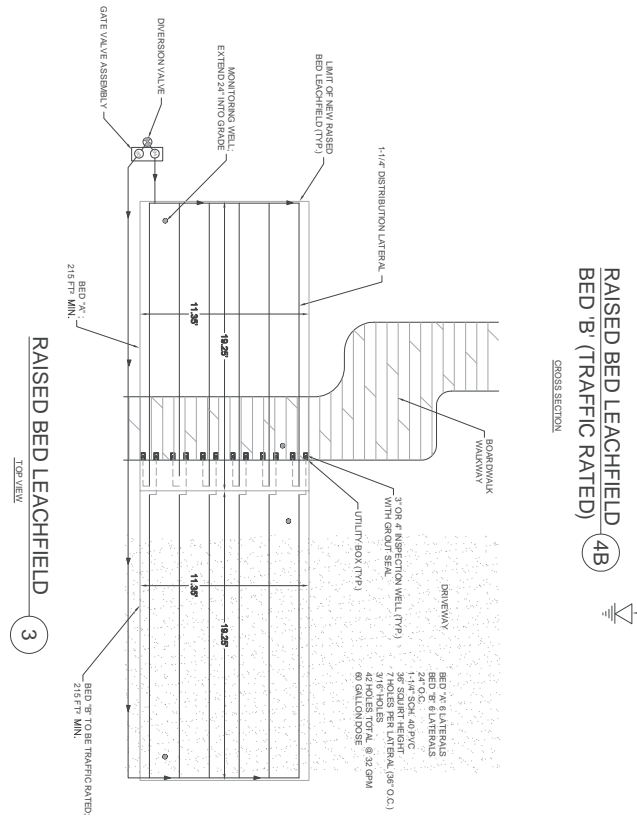
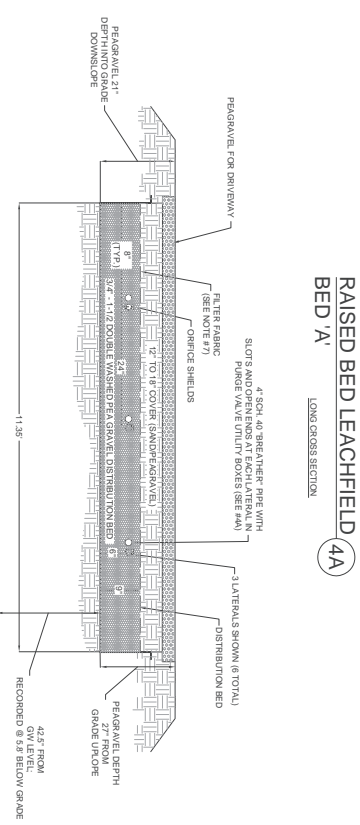
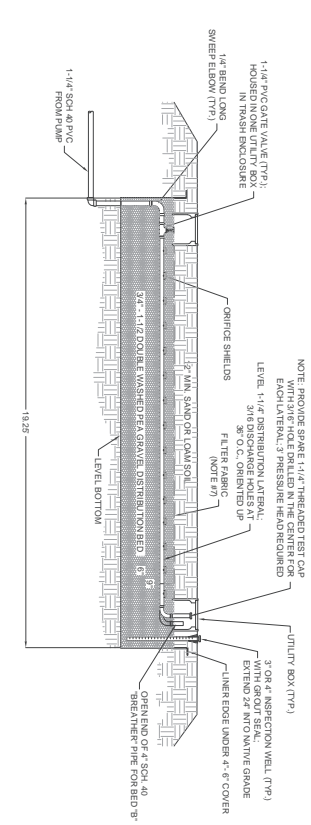
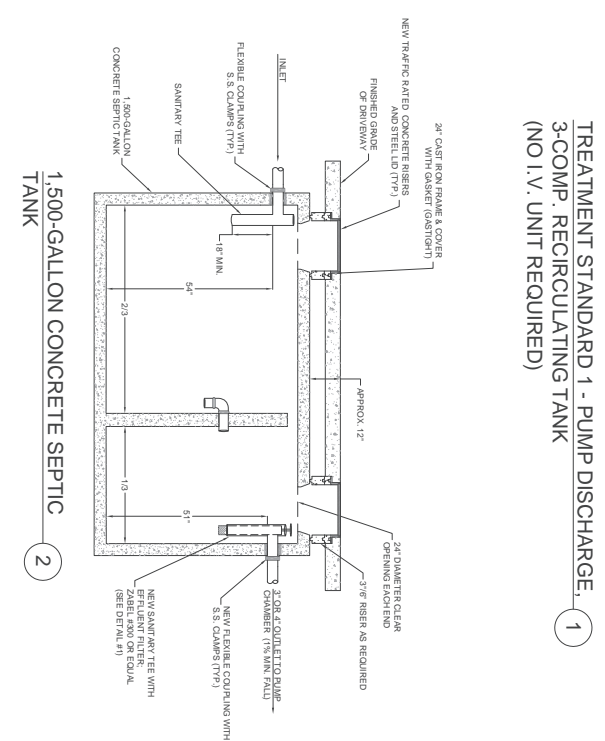
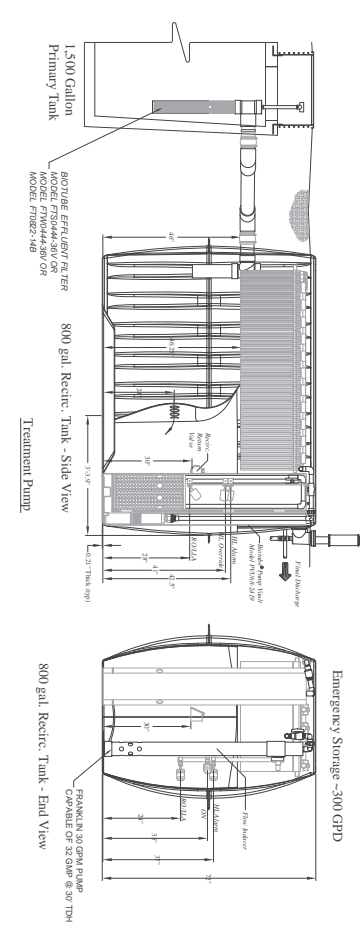
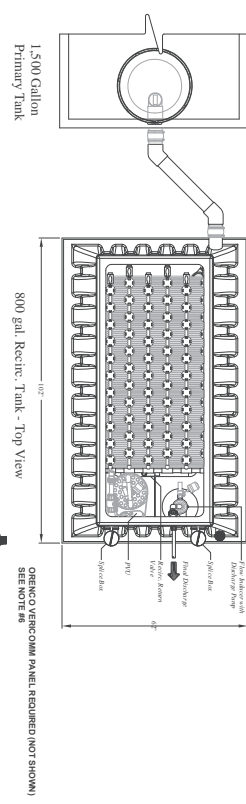
100 Shoreline Highway  
Box B, Suite 610  
Mill Valley, CA 94941  
510.390.3962  
eckman environmental  
designs, inc



QUAGLIERI RESIDENCE  
297 SEADRIFT ROAD  
STINSON BEACH, CALIFORNIA

300 GPD WATER DISCHARGE  
ON-SITE WASTEWATER SYSTEM  
SITE PLAN

2-21-0329  
Exhibit 5  
Page 2 of 4  
DATE / REV. 01-10-2021 / D  
SHEET 1 of 3



2-21-0329

CONSTRUCTION SPECIFICATIONS

GENERAL

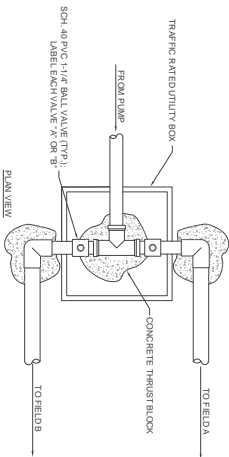
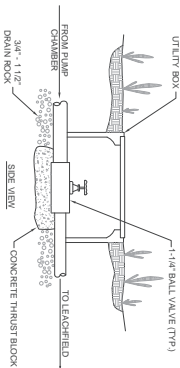
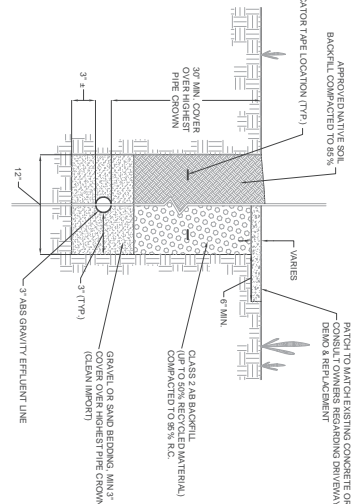
1. Plan Changes: Changes in plans or specifications shall be made only after consultation with and approval of the Designer and SHWD.
2. Erosion Control: Proper lines shown on drawings are from licensed surveyor.
3. Construction Methods: Construction methods to be used by the Designer shall be subject to the approval of the Designer. Construction methods shall be subject to the approval of the Designer. Construction methods shall be subject to the approval of the Designer.

MATERIALS

4. General: All construction materials shall be approved by the Designer prior to their placement.
5. Backfill: Backfill shall be compacted and double checked.
6. Distribution Box: All piping for the delivery and pressure distribution network shall be Schedule 40 PVC and have a minimum pressure rating of 150 psi unless otherwise specified. All joints shall be solvent cement socket type conforming to AS/NZS D-3972.
7. Manholes: Manholes shall be 18" or approved equal. Manholes shall be constructed of concrete or approved equal. Manholes shall be constructed of concrete or approved equal. Manholes shall be constructed of concrete or approved equal.

TRAFFIC RATED PIPE  
TRENCH TYPE 1

5



DIVERSION VALVE

6

CONSTRUCTION INSPECTION SCHEDULE

In accordance with requirements of Shasta County Water District, the following construction activities will be inspected by the Designer and Water District staff:

INSPECTION #1

On-site preconstruction conference to discuss project with contractor.

Grading of site, including all existing and proposed structures.

Grading of site, including all existing and proposed structures.

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Grading of site, including all existing and proposed structures.

2-21-0329

Exhibit 5

Page 4 of 4

ON-SITE WASTEWATER SYSTEM PLAN  
CONSTRUCTION DETAILS

QUAGLIERI RESIDENCE  
297 SEADRIFT ROAD  
STINSON BEACH, CALIFORNIA



100 Shoreline Highway  
Bld B, Suite 610  
Mill Valley, CA 94041  
510.390.3962

eckman environmental  
designs, inc



# National Flood Hazard Layer FIRMette



122°40'39" W 37°54'14" N



## Legend

SEE HIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)
- Zone A, V, AE9
- With BFE or Depth Zone AE
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard Zone X
- 1% Annual Chance Flood Hazard Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- NO SCREEN
- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**Cross Sections with 1% Annual Chance Water Surface Elevation**

- 20.2
- 17.5

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/3/2022 at 5:43 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and undetermined areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet

Basemap: USGS National Map: Orthoimagery. Data refreshed October, 2020