

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD, SUITE 300
LONG BEACH, CA 90802-4325
VOICE (562) 590-5071
FAX (562) 590-5084



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to staff report

Th15e

5-21-0681

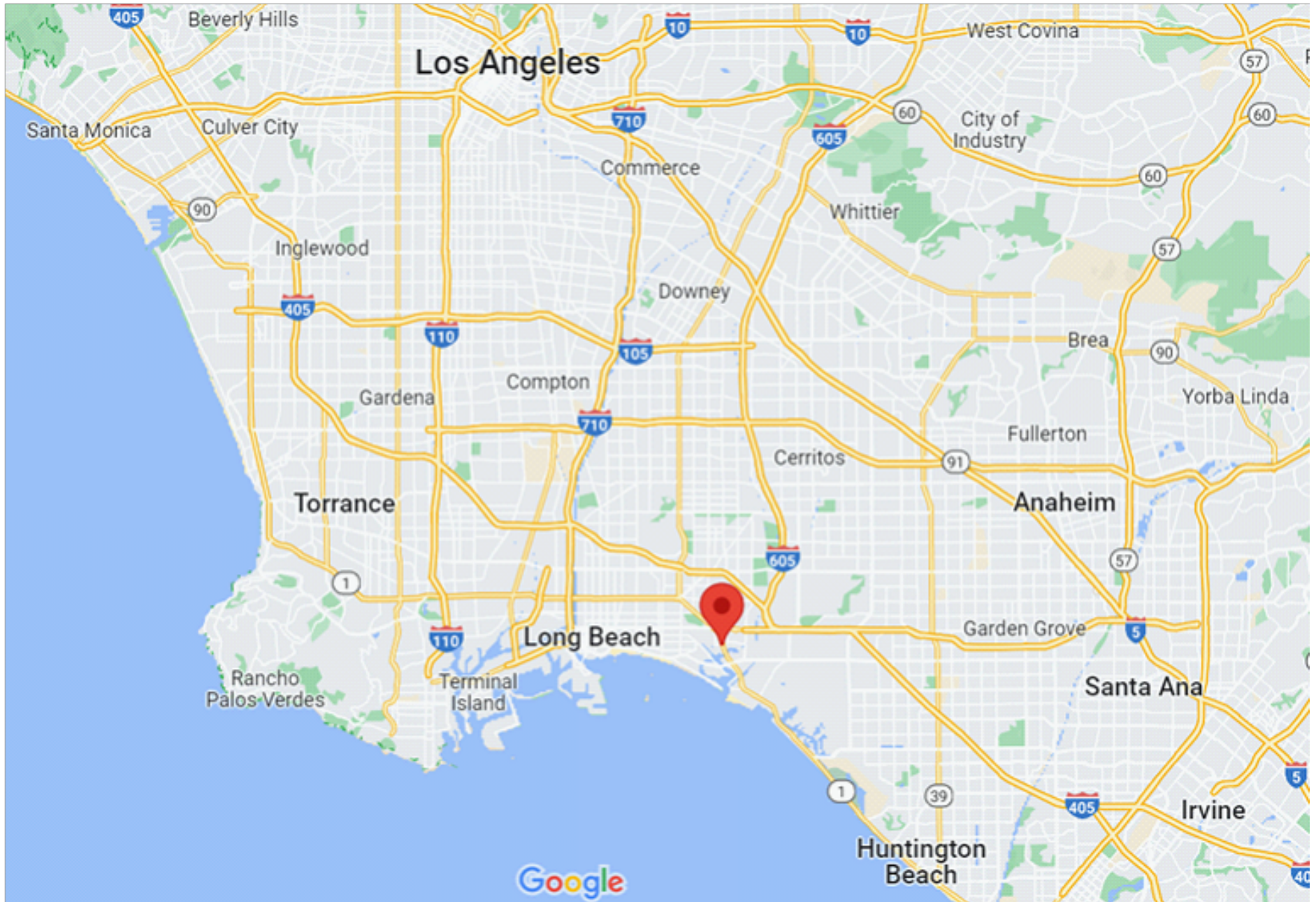
(Costa Del Sol Boat Slip Owners Association)

MARCH 11, 2022

EXHIBITS

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Exhibit 1 – Vicinity Map



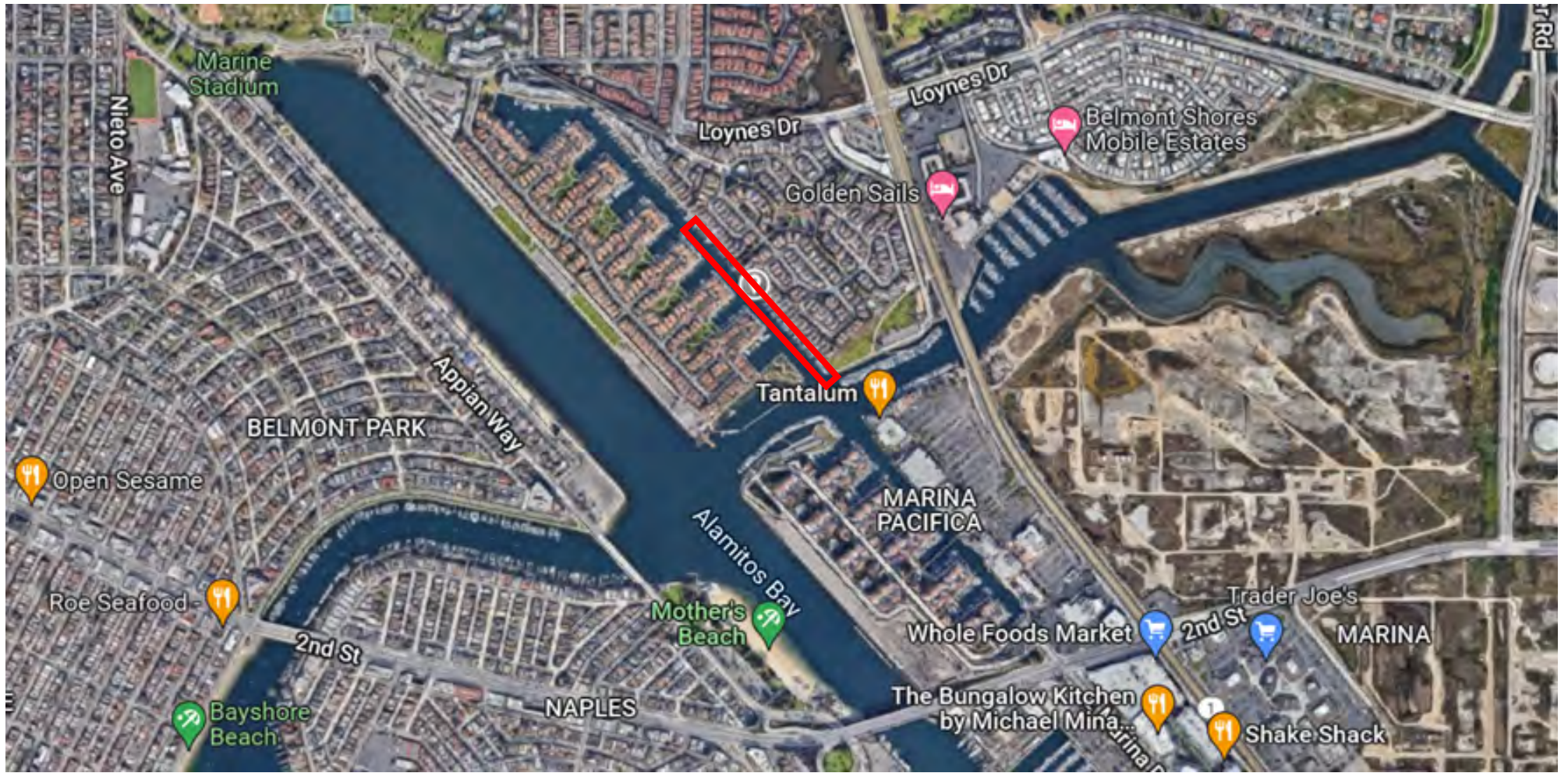




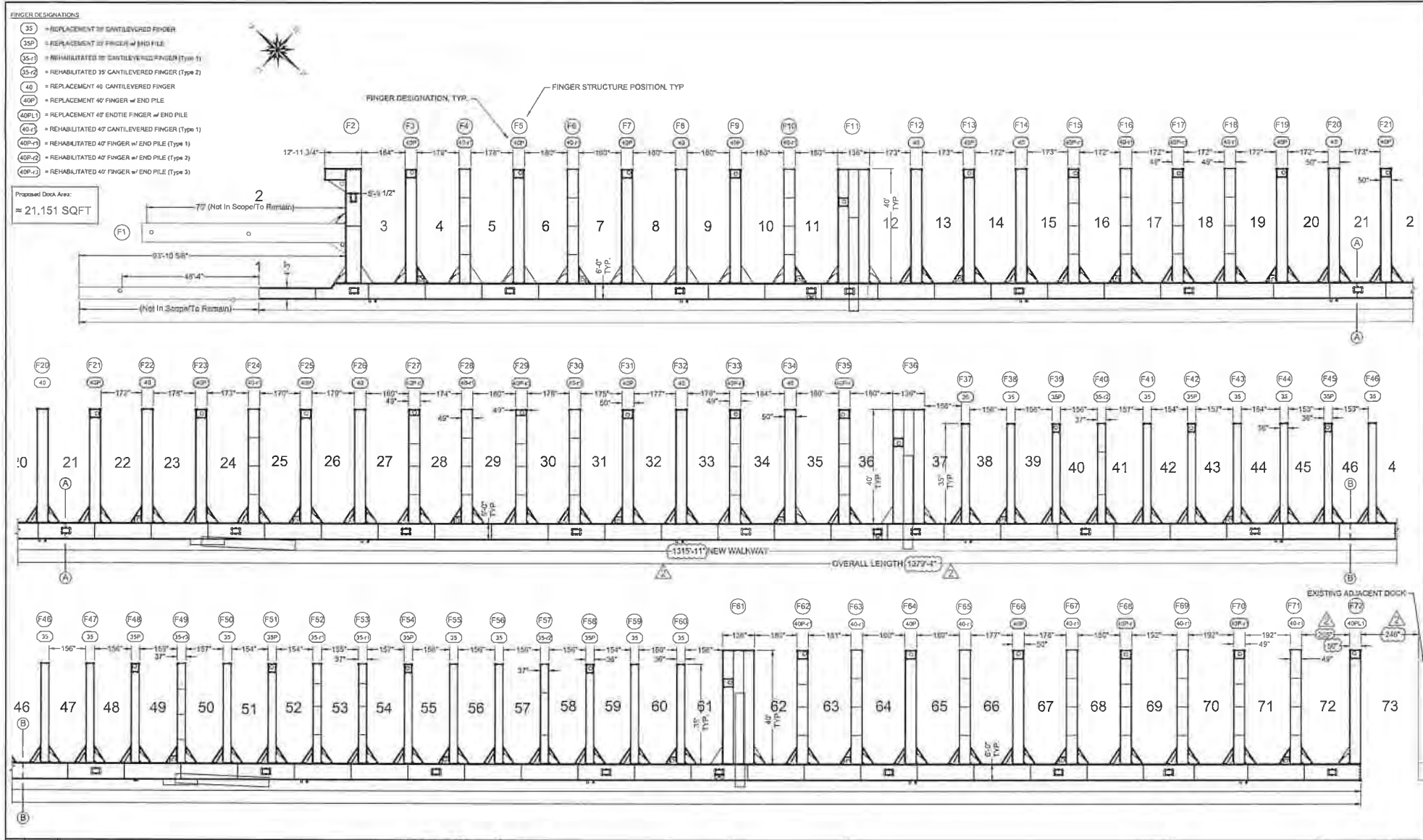
Exhibit 2 – Site Plan

PERMIT DRAWING



<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION																<p>Bellingham MARINE</p> <p>THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER</p>	<p><small>SOUTHWEST DIVISION CA LICENSE 8442489 8810 SANDHOG LANE SUNNYVALE, CA 94087 TEL: (925) 878-2783 FAX: (925) 898-1796</small></p> <p><small>THIS DRAWING CONTAINS PROPRIETARY INFORMATION WHICH IS THE PROPERTY OF BELLINGHAM MARINE INDUSTRIES, INC. AND SHALL NOT BE COPIED, REPRODUCED OR MADE AVAILABLE TO THIRD PARTIES WITHOUT PRIOR WRITTEN PERMISSION FROM BELLINGHAM MARINE INDUSTRIES, INC. UNLESS DATE, UNLESS DATE, UNLESS DATE AND IS BELLINGHAM MARINE INDUSTRIES, INC.</small></p>	<p>PROJECT NUMBER: 7269</p>	<p>Costa Del Sol Marina Rehab</p> <p>Lots 9 & 10 of Tract 36414 Long Beach, CA</p>	<p>SCALE: 1" = 60' (Sheet Size 24" x 36")</p>
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		<p>ENGINEER / DESIGNER: LUSMITA FOAUREL</p> <p>PROJECT MANAGER: LUSMITA FOAUREL</p> <p>CHECKED BY:</p>	<p>OVERALL LAYOUT</p>	<p>DRAWN BY: CM</p> <p>DATE: 04-02-09</p> <p>DRAWING: 011</p> <p>SHEET NO.: 1</p>																				

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NO.	DATE	DESCRIPTION	BY
1	3-20-20	SLIP ADJUSTMENTS PER CLIENT LAYOUT COMMENTS.	DM
2	4-30-20	COVERBOARD REMOVED FROM FINGER 72 (11.10'). SLIP 73 DISTANCE ADDED. OVERALL WALKWAY LENGTHENED BY 4". SLIP 72 WIDENED BY 4".	DM

Bellingham MARINE
 THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
 CA LICENSE #442499
 4810 SPARKLING LAKE
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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
LUSMITA POKHREL

PROJECT MANAGER:
LUSMITA POKHREL

CHECKED BY:

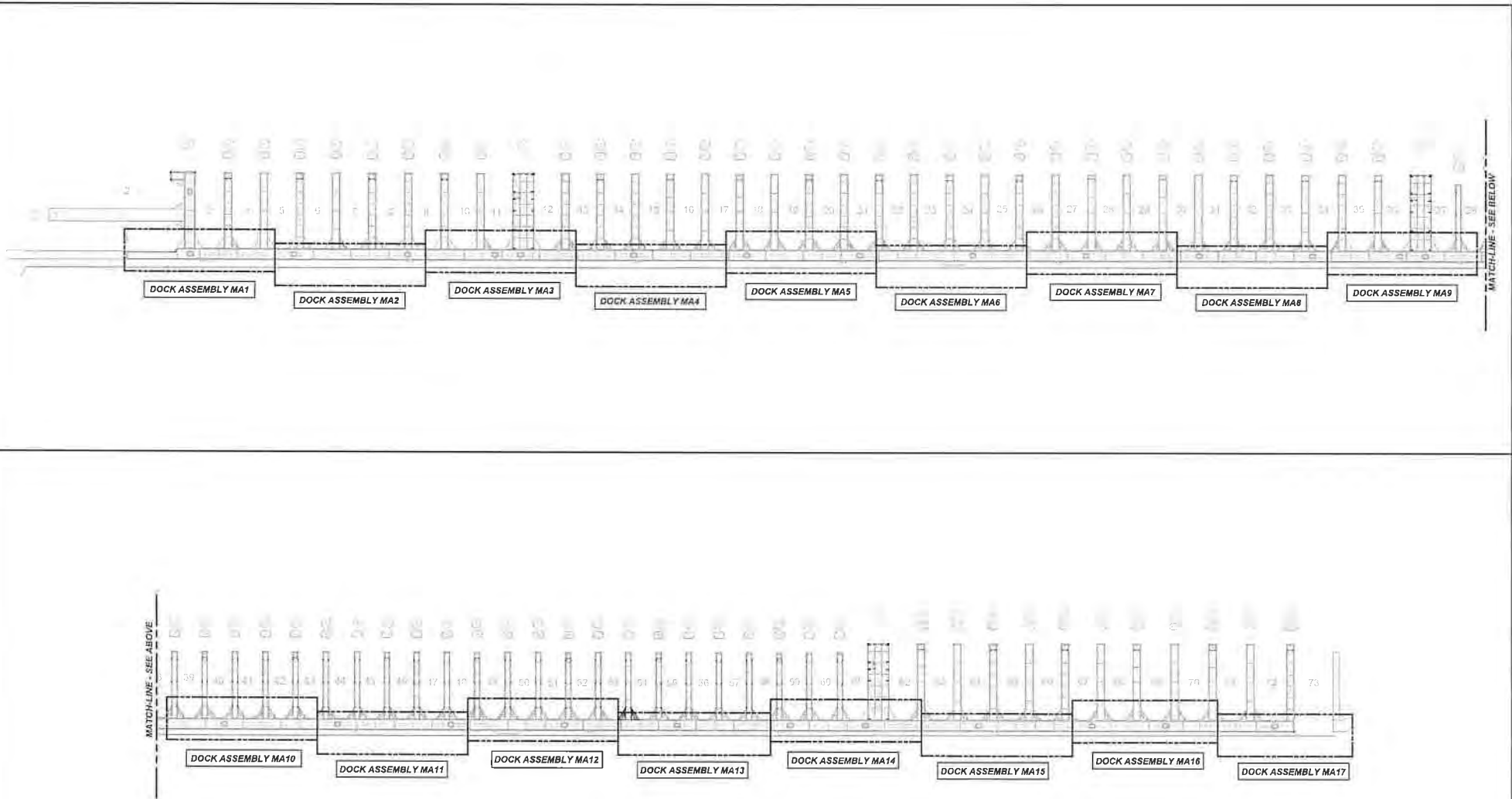
Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
 Long Beach, CA

DIMENSIONAL LAYOUT

SCALE:	1" = 15' (Sheet Size 24" x 36")
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DATE:	4-30-2020
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SHEET NO.:	5

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PROJECT NUMBER:
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ENGINEER / DESIGNER:
 PROJECT MANAGER:
 USMITA FORGHREL
 CHECKED BY:

Costa Del Sol Marina Rehab
 Lots 9 & 10 of Tract 36414
 Long Beach, CA

DOCK ASSEMBLIES - WALKWAYS

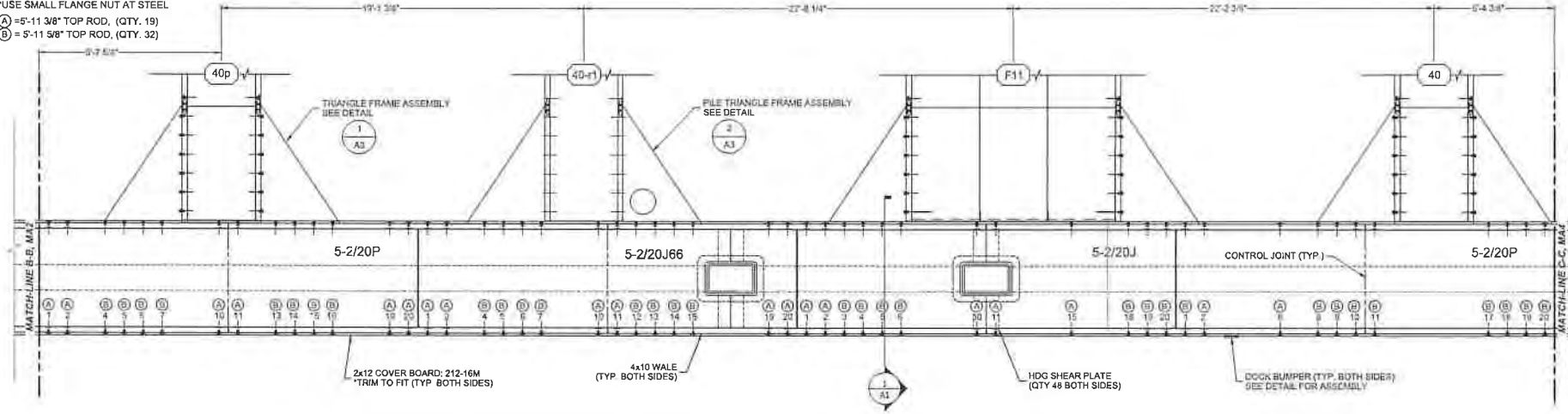
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DRAWN BY:	THO
DATE:	03-06-20
DRAWING:	DA0
SHEET NO.:	18 1

PERMIT DRAWING

SUBASSEMBLY MA3

3/4" FRP THRU ROD w/ WALE NUT
*USE SMALL FLANGE NUT AT STEEL

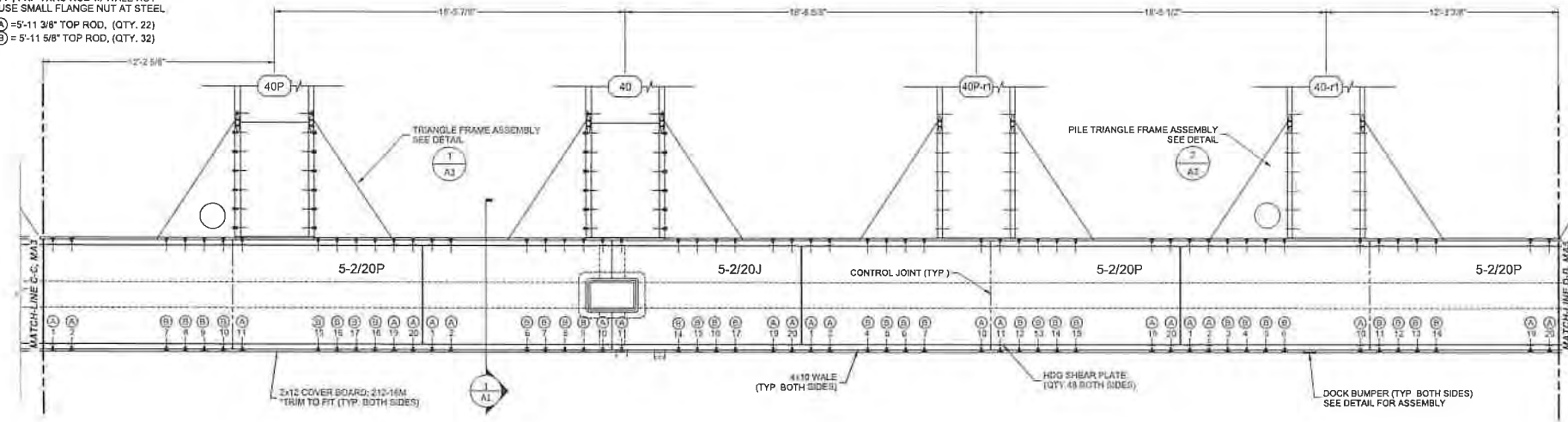
(A) = 5'-11 3/8" TOP ROD, (QTY. 19)
(B) = 5'-11 5/8" TOP ROD, (QTY. 32)



SUBASSEMBLY MA4

3/4" FRP THRU ROD w/ WALE NUT
*USE SMALL FLANGE NUT AT STEEL

(A) = 5'-11 3/8" TOP ROD, (QTY. 22)
(B) = 5'-11 5/8" TOP ROD, (QTY. 32)



NO.	DATE	DESCRIPTION	BY
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SOUTHWEST DIVISION
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DIXON, CA 95620
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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
USMITA POKHREL

PROJECT MANAGER:
USMITA POKHREL

CHECKED BY:

Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
Long Beach, CA

DOCK ASSEMBLIES - WALKWAYS

SCALE: 3/8" = 1'-0"
(Sheet Size 24" x 36")

DRAWN BY: THO

DATE: 03-06-20

DRAWING: DA2

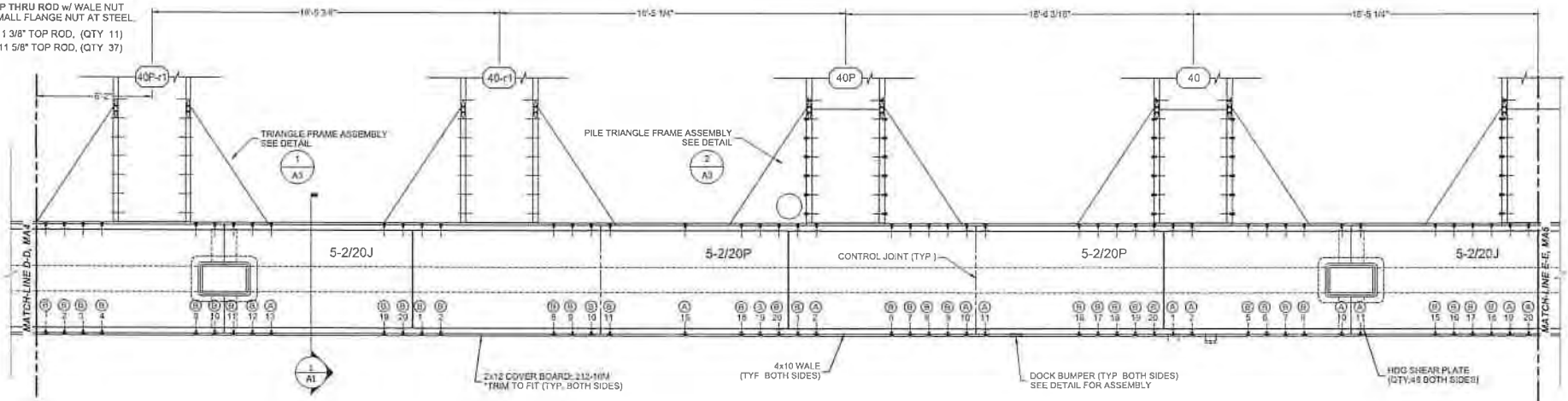
SHEET NO.: 20

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SUBASSEMBLY MA5

3/4" FRP THRU ROD w/ WALE NUT
*USE SMALL FLANGE NUT AT STEEL

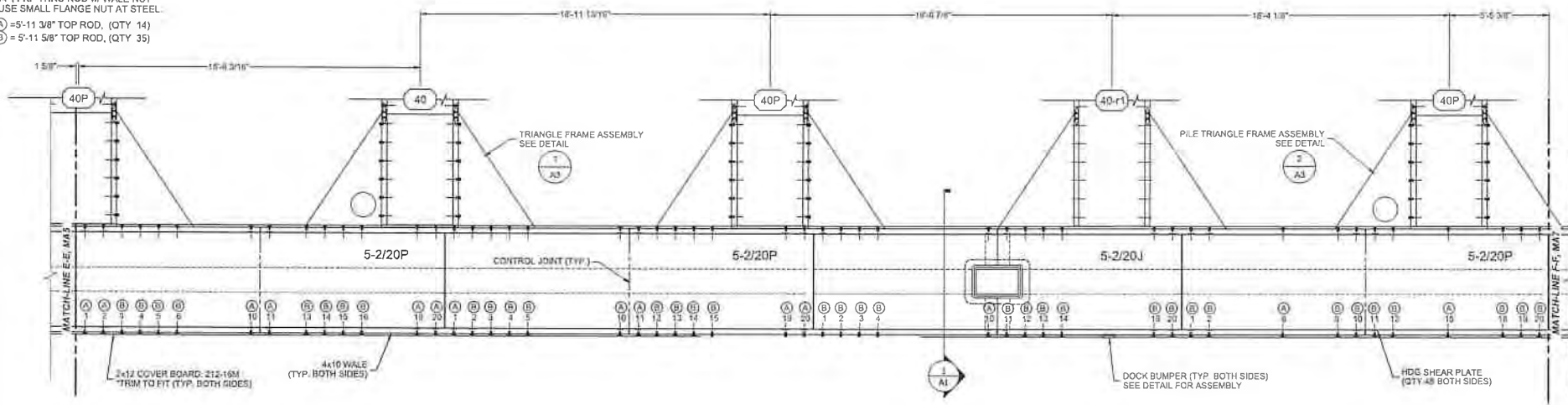
- (A) = 5'-11 3/8" TOP ROD, (QTY 11)
- (B) = 5'-11 5/8" TOP ROD, (QTY 37)



SUBASSEMBLY MA6

3/4" FRP THRU ROD w/ WALE NUT
*USE SMALL FLANGE NUT AT STEEL

- (A) = 5'-11 3/8" TOP ROD, (QTY 14)
- (B) = 5'-11 5/8" TOP ROD, (QTY 35)



NO.	DATE	DESCRIPTION	BY
REVISIONS			

Bellingham MARINE
THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
CA LICENSE #442499
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DIXON, CA 95920
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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
LUSMITA POHARIEL

PROJECT MANAGER:
LUSMITA POHARIEL

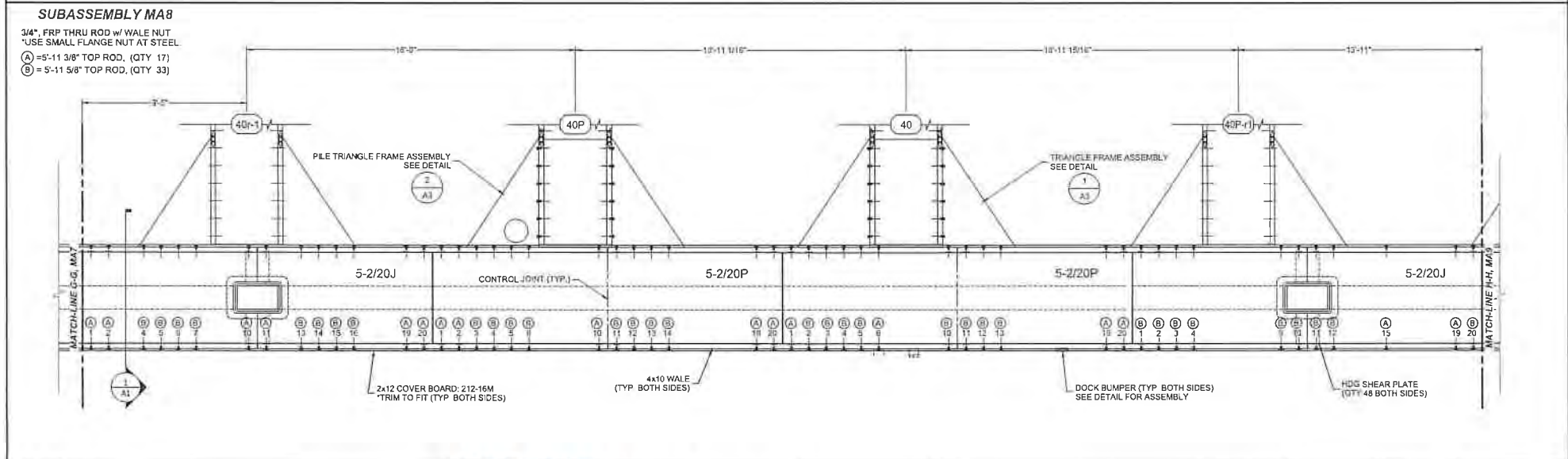
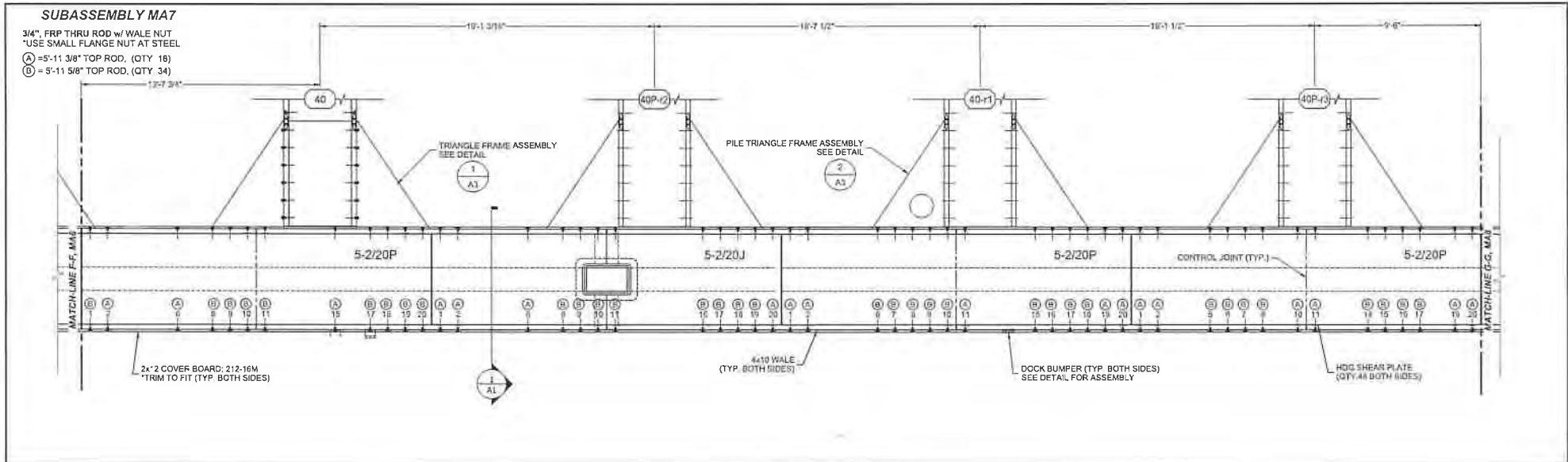
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Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
Long Beach, CA

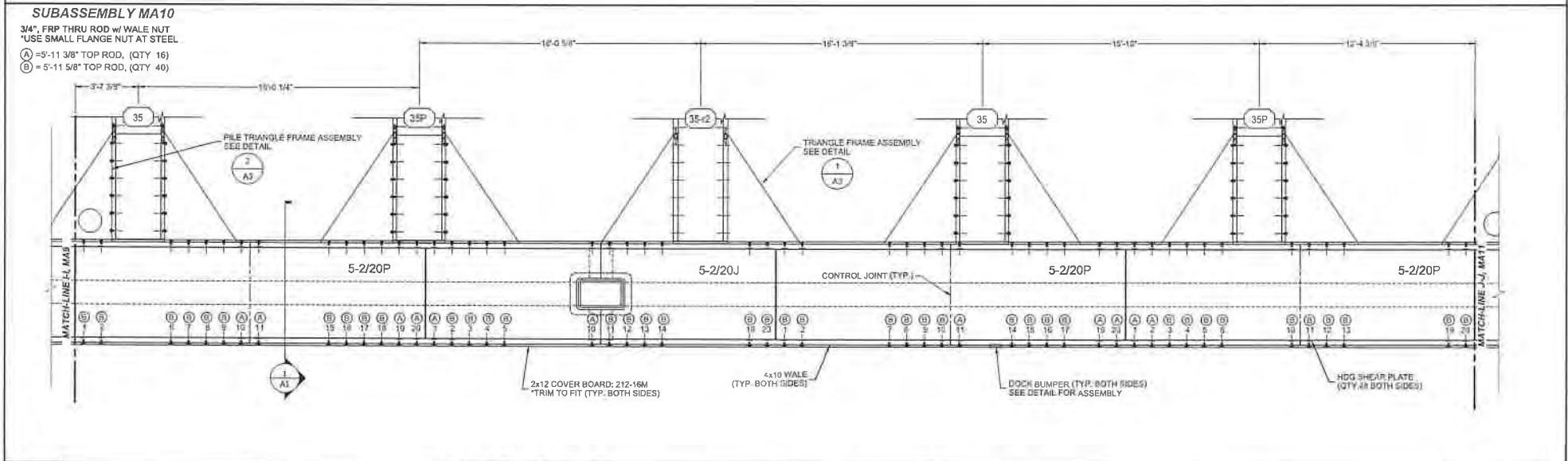
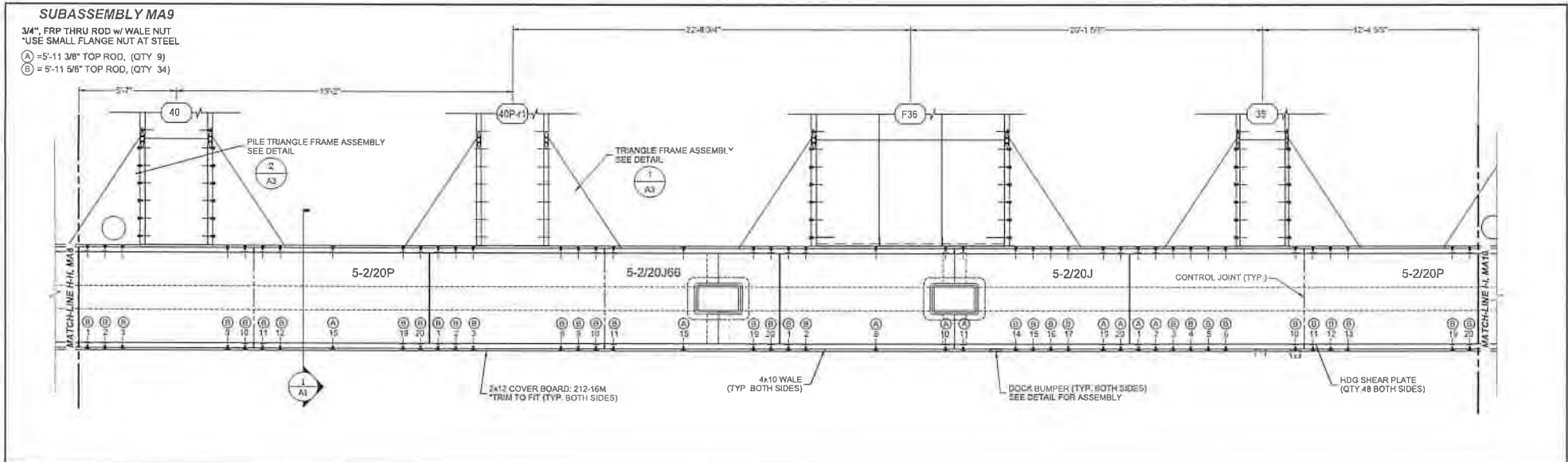
DOCK ASSEMBLIES - WALKWAYS

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DATE: 03-06-20
DRAWING: DA3
SHEET NO. 21



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							CHECKED BY:	DOCK ASSEMBLIES - WALKWAYS	SHEET NO: 22

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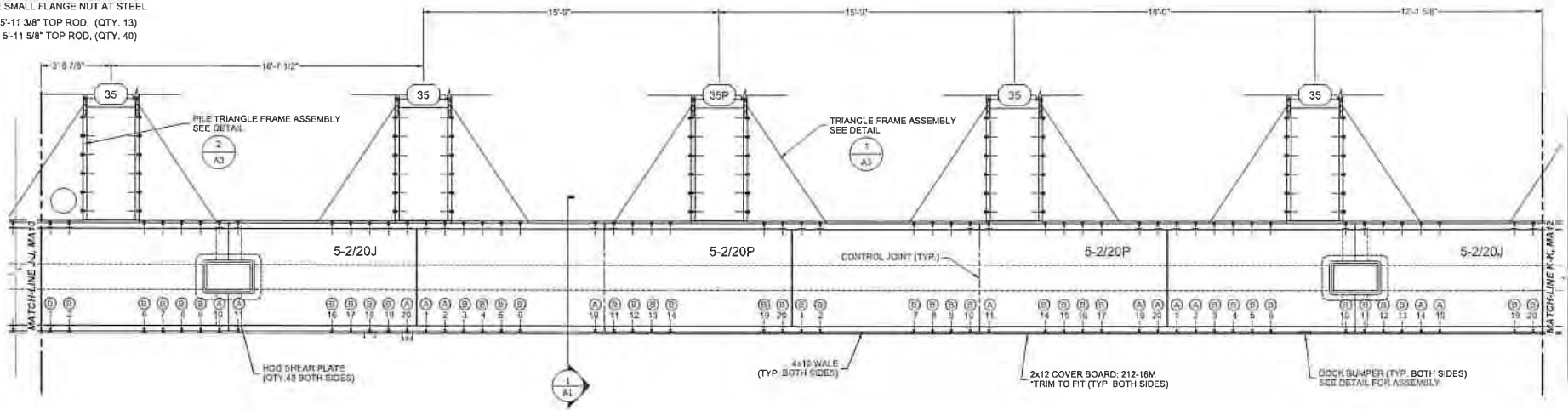


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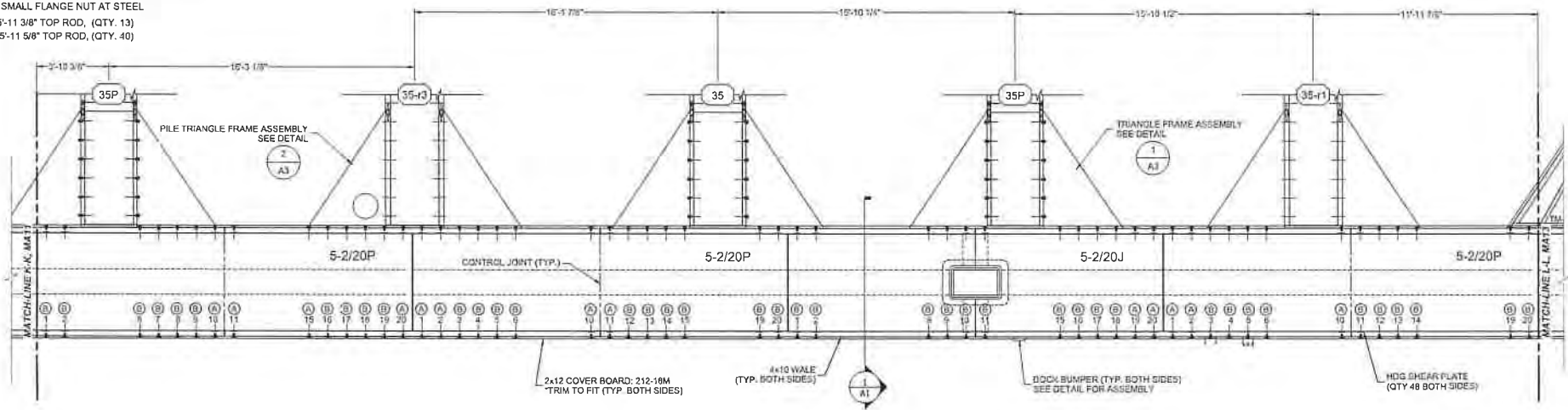
SUBASSEMBLY MA11

3/4" FRP THRU ROD w/ WALE NUT
 *USE SMALL FLANGE NUT AT STEEL
 (A) = 5'-11 3/8" TOP ROD, (QTY. 13)
 (B) = 5'-11 5/8" TOP ROD, (QTY. 40)



SUBASSEMBLY MA12

3/4" FRP THRU ROD w/ WALE NUT
 *USE SMALL FLANGE NUT AT STEEL
 (A) = 5'-11 3/8" TOP ROD, (QTY. 13)
 (B) = 5'-11 5/8" TOP ROD, (QTY. 40)



NO.	DATE	DESCRIPTION	BY

Bellingham MARINE
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SOUTHWEST DIVISION
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 DIXON, CA 95620
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PROJECT NUMBER:	7269
ENGINEER / DESIGNER:	USMITA POKHREL
PROJECT MANAGER:	USMITA POKHREL
CHECKED BY:	

Costa Del Sol Marina Rehab
 Lots 9 & 10 of Tract 36414
 Long Beach, CA

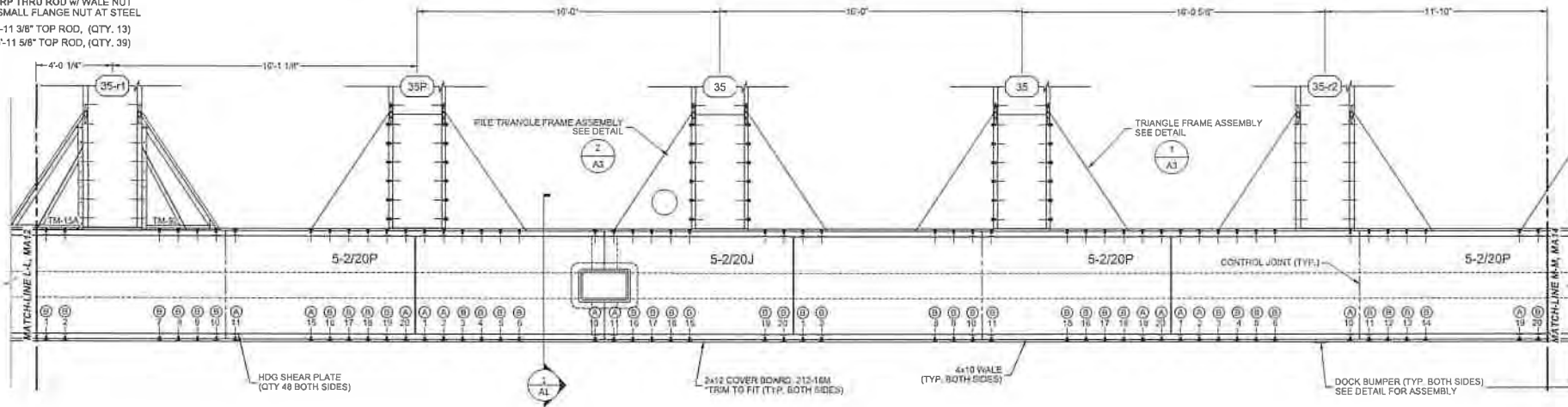
DOCK ASSEMBLIES - WALKWAYS

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DATE:	03-06-20
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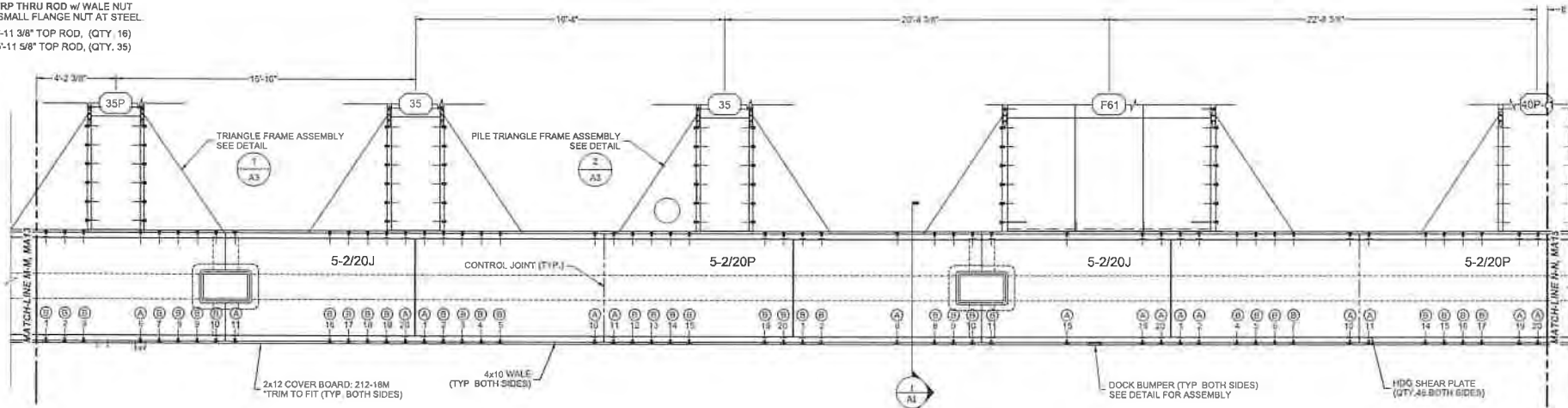
SUBASSEMBLY MA13

3/4" FRP THRU ROD w/ WALE NUT
 *USE SMALL FLANGE NUT AT STEEL
 (A) = 5'-11 3/8" TOP ROD, (QTY. 13)
 (B) = 5'-11 5/8" TOP ROD, (QTY. 39)



SUBASSEMBLY MA14

3/4" FRP THRU ROD w/ WALE NUT
 *USE SMALL FLANGE NUT AT STEEL
 (A) = 5'-11 3/8" TOP ROD, (QTY. 16)
 (B) = 5'-11 5/8" TOP ROD, (QTY. 35)



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SOUTHWEST DIVISION
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 8810 SPARLING LANE
 DIXON, CA 95620
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 FAX: (707) 878-1760

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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
 PROJECT MANAGER:
 CHECKED BY:

Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
 Long Beach, CA

DOCK ASSEMBLIES - WALKWAYS

SCALE: 3/8" = 1'-0"
 (Sheet Size 24" x 36")

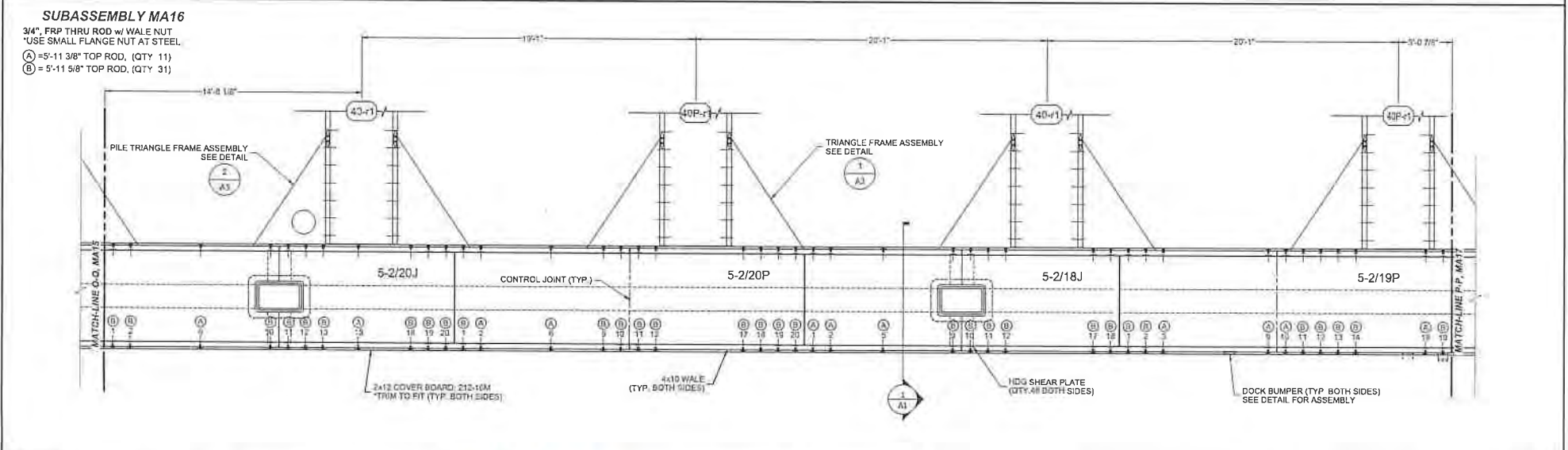
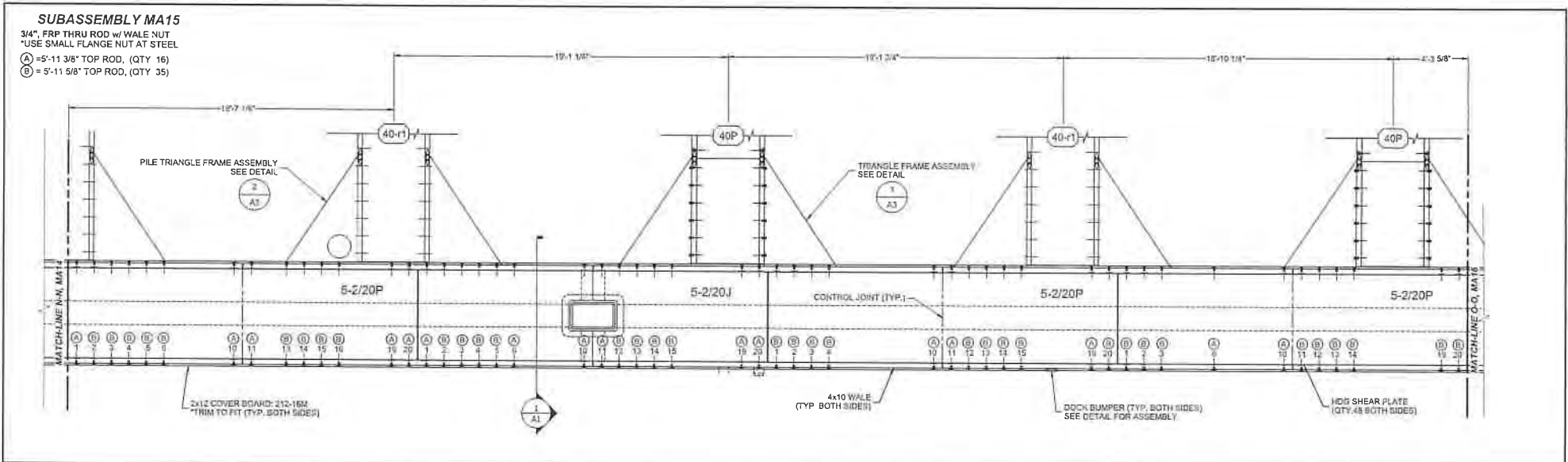
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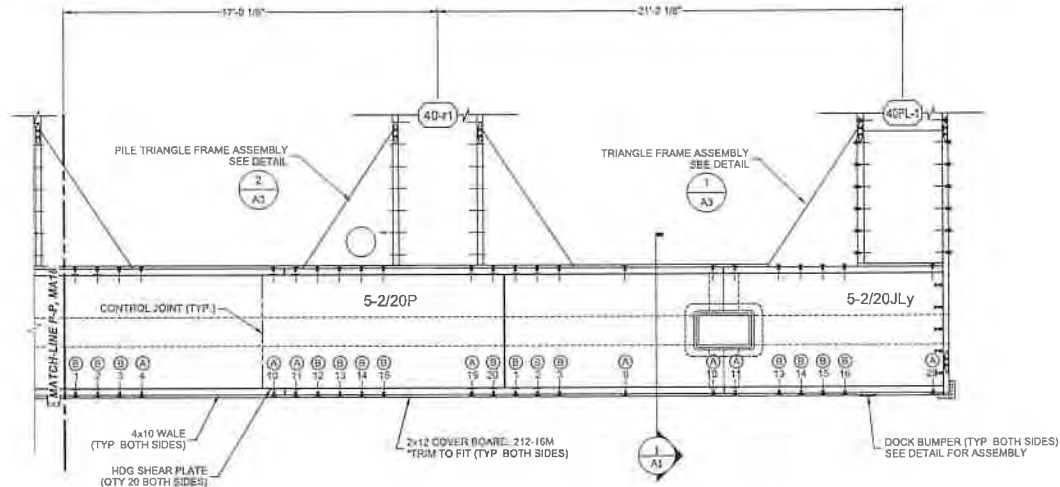


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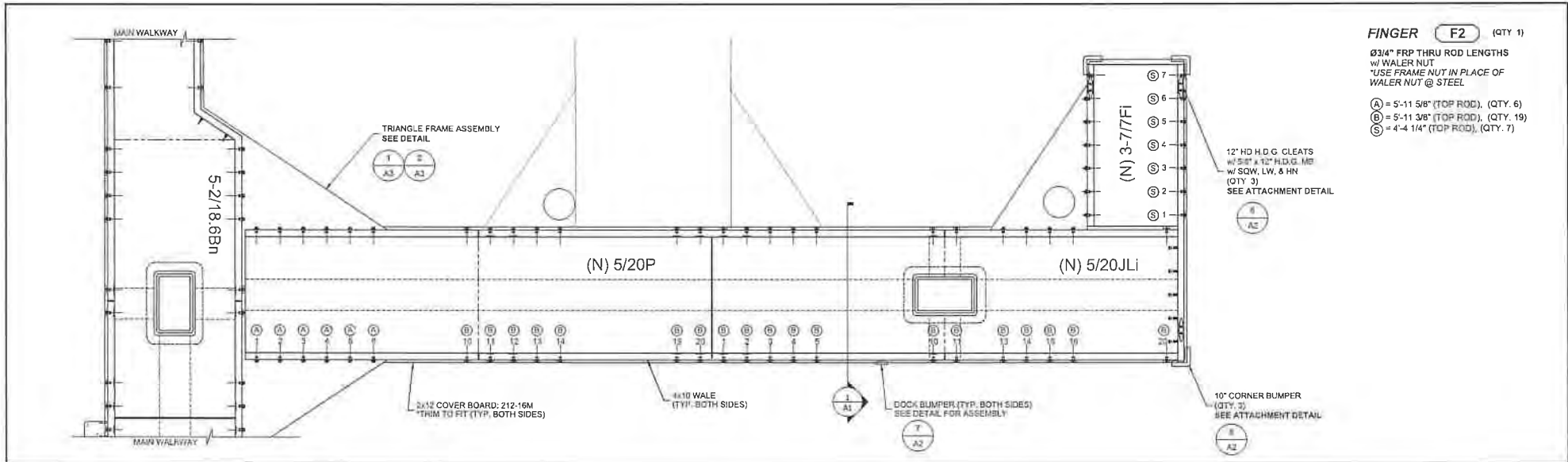
SUBASSEMBLY MA17

3/4" FRP THRU ROD w/ WALE NUT
 *USE SMALL FLANGE NUT AT STEEL
 (A) = 5'-11 3/8" TOP ROD, (QTY. 8)
 (B) = 5'-11 5/8" TOP ROD, (QTY. 15)



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					ENGINEER/DESIGNER: USMITA POKHREL		DRAWN BY: THO
		THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER			PROJECT MANAGER: USMITA POKHREL	DOCK ASSEMBLIES - WALKWAYS	DATE: 03-06-20
NO. DATE DESCRIPTION BY					CHECKED BY:		DRAWING: DAG
REVISIONS						SHEET NO.: 27	

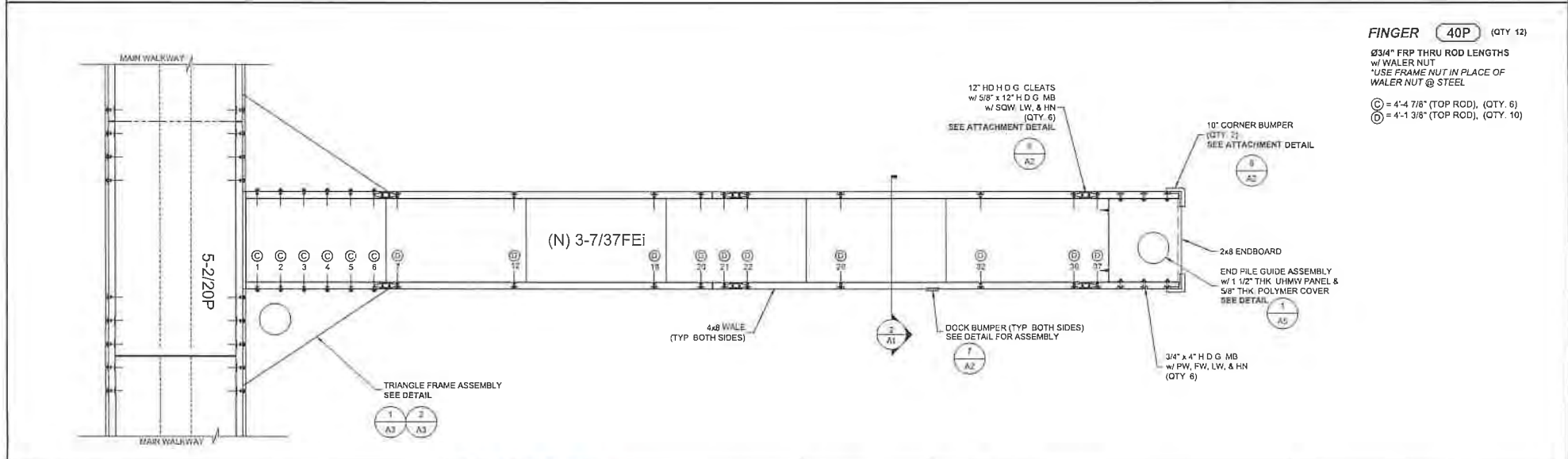
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FINGER F2 (QTY 1)

Ø3/4" FRP THRU ROD LENGTHS w/ WALER NUT
*USE FRAME NUT IN PLACE OF WALER NUT @ STEEL

A = 5'-11 5/8" (TOP ROD), (QTY. 6)
B = 5'-11 3/8" (TOP ROD), (QTY. 19)
S = 4'-4 1/4" (TOP ROD), (QTY. 7)



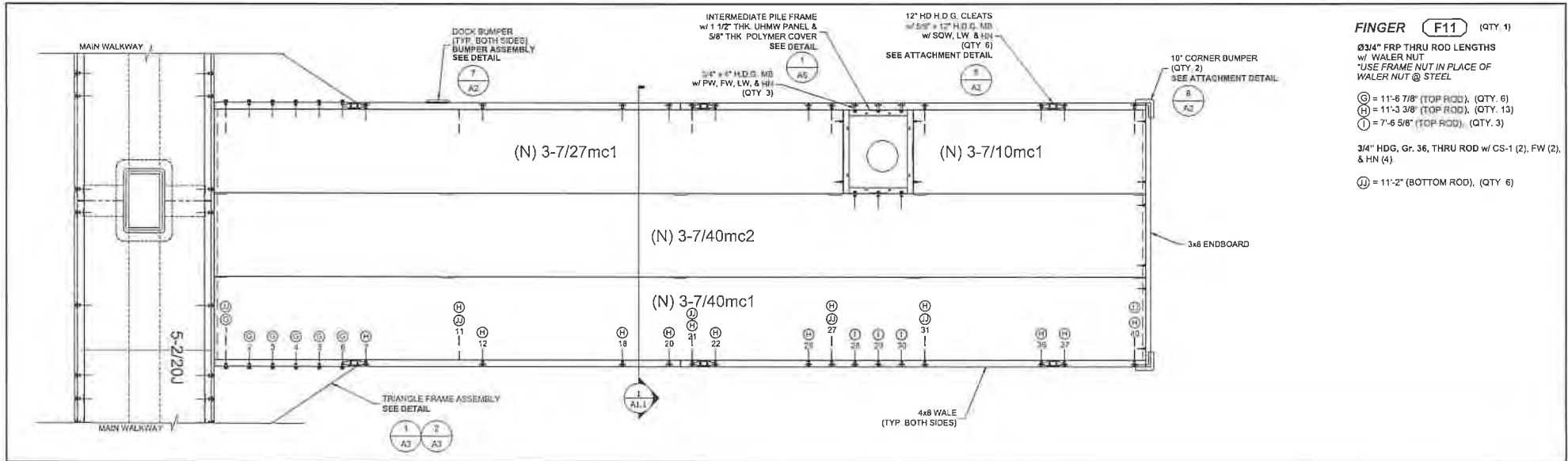
FINGER 40P (QTY 12)

Ø3/4" FRP THRU ROD LENGTHS w/ WALER NUT
*USE FRAME NUT IN PLACE OF WALER NUT @ STEEL

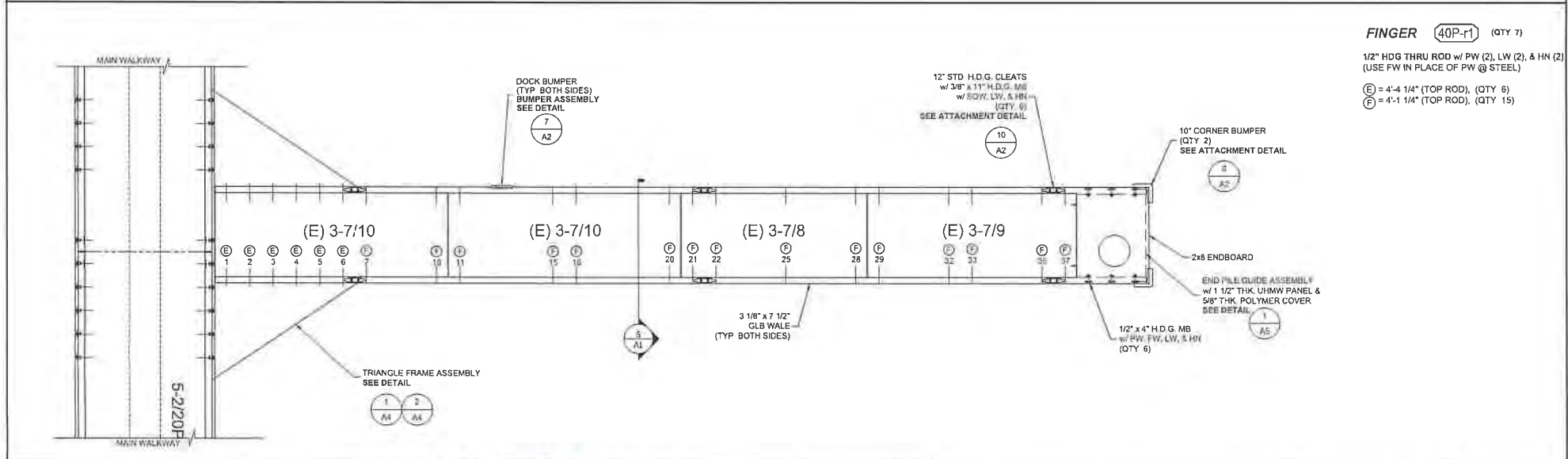
C = 4'-4 7/8" (TOP ROD), (QTY. 6)
D = 4'-1 3/8" (TOP ROD), (QTY. 10)

<p>Bellingham MARINE</p> <p>THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER</p>		<p>SOUTH-WEST DIVISION CA LICENSE #442493 8810 SPARKLING LANE DIXON, CA 95020 TEL (707) 876-2385 FAX: (707) 818-1160</p>	<p>THIS DRAWING CONTAINS PROPRIETARY INFORMATION WHICH IS THE PROPERTY OF BELLINGHAM MARINE INDUSTRIES, INC. AND SHALL NOT BE COPIED, REPRODUCED OR MADE AVAILABLE TO THIRD PARTIES WITHOUT PRIOR WRITTEN PERMISSION FROM BELLINGHAM MARINE INDUSTRIES, INC. UNDECK AND O BELLINGHAM MARINE INDUSTRIES, INC.</p>	<p>PROJECT NUMBER 7269</p> <p>ENGINEER / DESIGNER:</p> <p>PROJECT MANAGER: USMITA POKHREL</p> <p>CHECKED BY:</p>	<p>Costa Del Sol Marina Rehab</p> <p>Lots 9 & 10 of Tract 36414 Long Beach, CA</p> <p>DOCK ASSEMBLIES - FINGERS</p>	<p>SCALE: 1/2" = 1'-0" (Sheet Size 24" x 36")</p> <p>DRAWN BY: THO</p> <p>DATE: 03-06-20</p> <p>DRAWING: DA10</p> <p>SHEET NO.: 28</p>
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- FINGER (F11)** (QTY 1)
- Ø3/4" FRP THRU ROD LENGTHS w/ WALER NUT
*USE FRAME NUT IN PLACE OF WALER NUT @ STEEL
- ⊖ = 11'-6 7/8" (TOP ROD), (QTY 6)
 - ⊕ = 11'-3 3/8" (TOP ROD), (QTY 13)
 - ⊙ = 7'-6 5/8" (TOP ROD), (QTY 3)
- 3/4" HDG. Gr. 36, THRU ROD w/ CS-1 (2), FW (2), & HN (4)
- ⊚ = 11'-2" (BOTTOM ROD), (QTY 6)



- FINGER (40P-r)** (QTY 7)
- 1/2" HDG THRU ROD w/ PW (2), LW (2), & HN (2)
(USE FW IN PLACE OF PW @ STEEL)
- ⊖ = 4'-4 1/4" (TOP ROD), (QTY 6)
 - ⊕ = 4'-1 1/4" (TOP ROD), (QTY 15)

NO.	DATE	DESCRIPTION	BY

Bellingham MARINE

THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
CA LICENSE #88899
8810 SPRING LANE
DUNSMITH, CA 95623
TEL: (707) 819-2385
FAX: (707) 819-1795

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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
USMITA POKHREL

PROJECT MANAGER:
USMITA POKHREL

CHECKED BY:

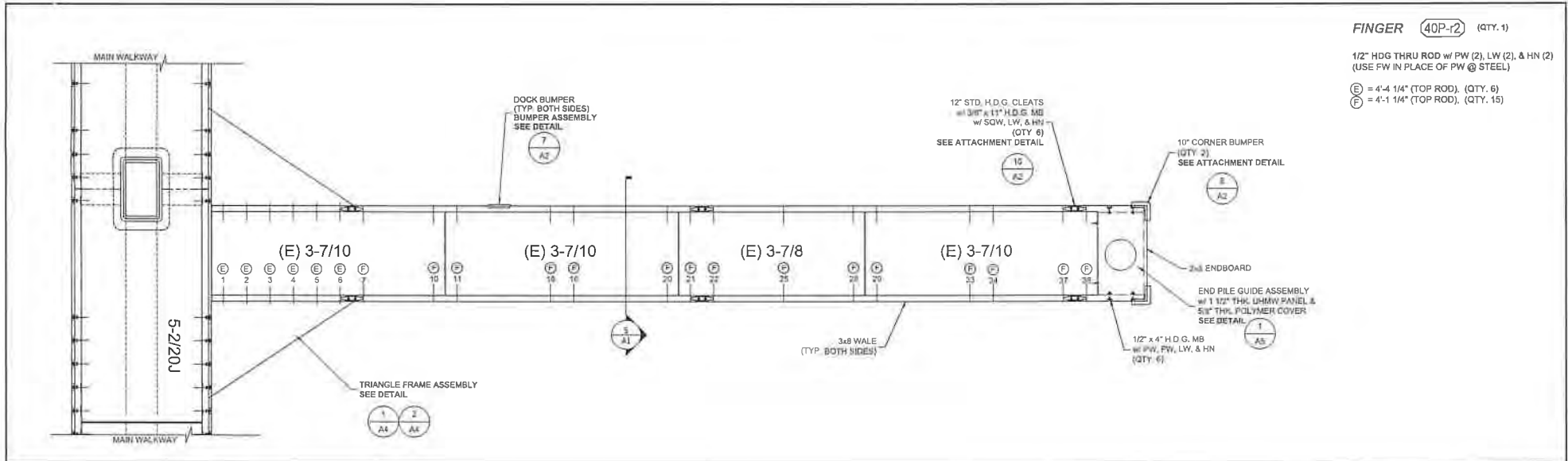
Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
Long Beach, CA

DOCK ASSEMBLIES - FINGERS

SCALE:	1/2" = 1'-0" (Sheet Size 24" x 36")
DRAWN BY:	THO
DATE:	03-06-20
DRAWING:	DA12
SHEET NO.:	30

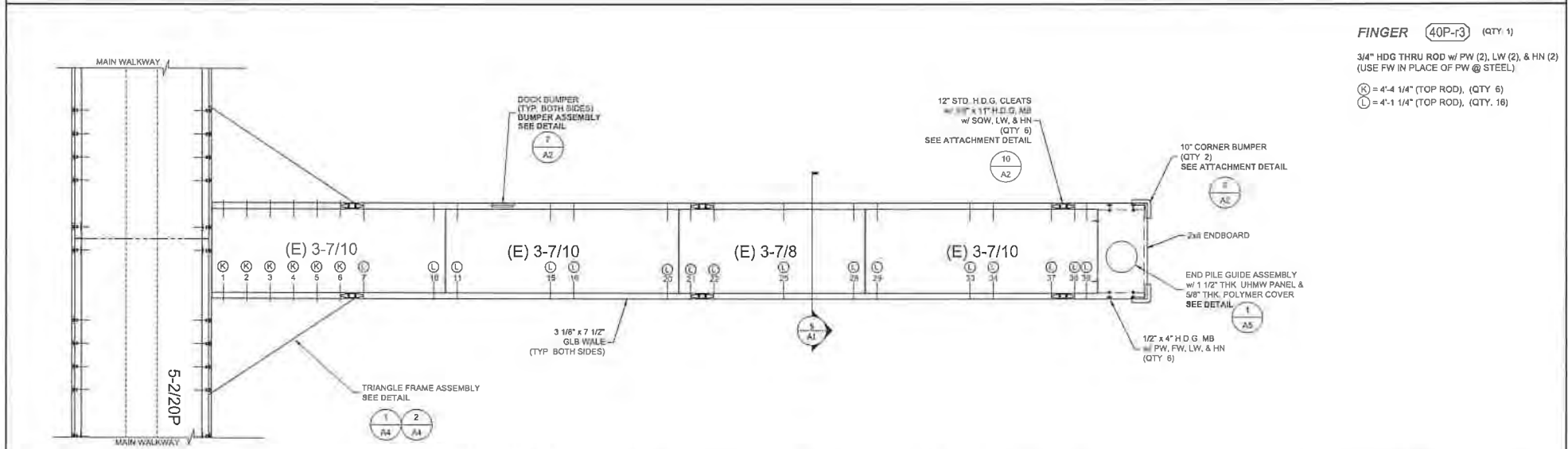
PERMIT DRAWING



FINGER (40P-r2) (QTY. 1)

1/2" HDG THRU ROD w/ PW (2), LW (2), & HN (2)
(USE FW IN PLACE OF PW @ STEEL)

(E) = 4'-4 1/4" (TOP ROD), (QTY. 6)
(P) = 4'-1 1/4" (TOP ROD), (QTY. 15)



FINGER (40P-r3) (QTY. 1)

3/4" HDG THRU ROD w/ PW (2), LW (2), & HN (2)
(USE FW IN PLACE OF PW @ STEEL)

(K) = 4'-4 1/4" (TOP ROD), (QTY. 6)
(L) = 4'-1 1/4" (TOP ROD), (QTY. 10)

NO.	DATE	DESCRIPTION	BY

Bellingham
MARINE
THE WORLD'S MOST
COMPREHENSIVE
MARINA BUILDER

SOUTHWEST DIVISION
CA LICENSE #204243
880 SPRING LANE
DUNN, CA 95520
TEL: (707) 878-2266
FAX: (707) 878-1788

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PROJECT NUMBER:
7269
ENGINEER / DESIGNER:

PROJECT MANAGER:
LUSMITA POKHREL
CHECKED BY:

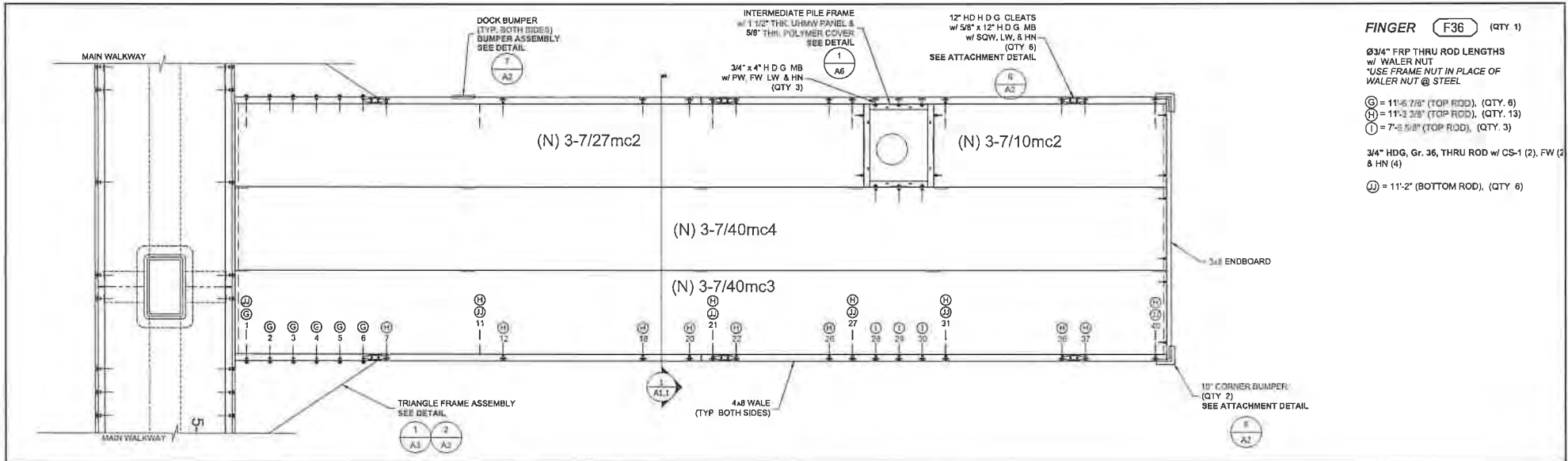
Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
Long Beach, CA

DOCK ASSEMBLIES - FINGERS

SCALE: 1/2" = 1'-0"
(Sheet Size 24" x 36")
DRAWN BY: THO
DATE: 03-06-20
DRAWING: DA13
SHEET NO.: 31

PERMIT DRAWING



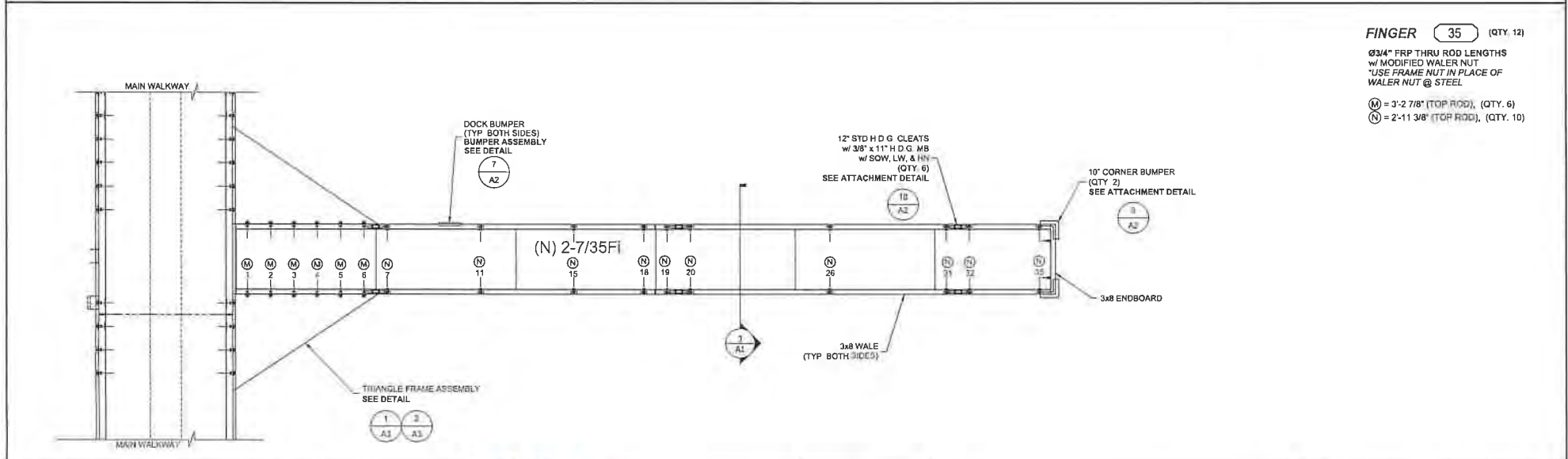
FINGER F36 (QTY 1)

Ø3/4" FRP THRU ROD LENGTHS w/ WALER NUT
 *USE FRAME NUT IN PLACE OF WALER NUT @ STEEL

⊙ = 11'-5 7/8" (TOP ROD), (QTY. 6)
 ⊙ = 11'-2 3/8" (TOP ROD), (QTY. 13)
 ⊙ = 7'-2 5/8" (TOP ROD), (QTY. 3)

3/4" HDG, Gr. 36, THRU ROD w/ CS-1 (2), FW (2) & HN (4)

⊙ = 11'-2" (BOTTOM ROD), (QTY. 6)



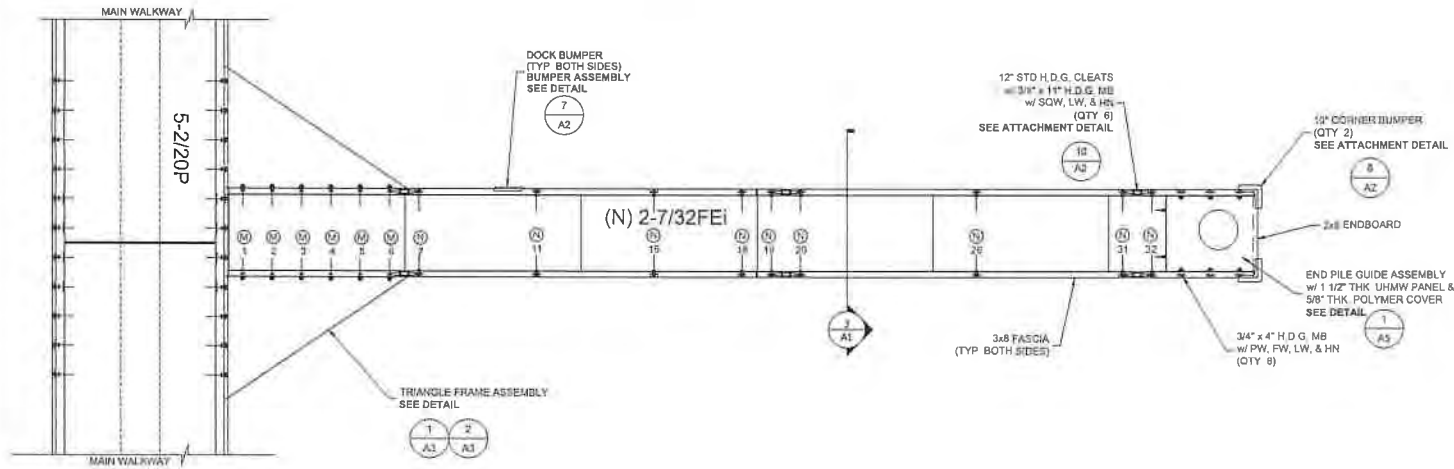
FINGER F35 (QTY 12)

Ø3/4" FRP THRU ROD LENGTHS w/ MODIFIED WALER NUT
 *USE FRAME NUT IN PLACE OF WALER NUT @ STEEL

⊙ = 3'-2 7/8" (TOP ROD), (QTY. 6)
 ⊙ = 2'-11 3/8" (TOP ROD), (QTY. 10)

<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY													<p>THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER</p>	<p><small>SOUTHWEST DIVISION CA LICENSE #442499 8610 SPARKLING LANE DUBLIN, CA 94568 TEL: (707) 878-2385 FAX: (707) 878-1760</small></p> <p><small>THIS DRAWING CONTAINS PROPRIETARY INFORMATION WHICH IS THE PROPERTY OF BELLINGHAM MARINE INDUSTRIES, INC. AND SHALL NOT BE COPIED, REPRODUCED OR MADE AVAILABLE TO THIRD PARTIES WITHOUT PRIOR WRITTEN PERMISSION FROM BELLINGHAM MARINE INDUSTRIES, INC. UNLESS OTHERWISE INDICATED BY BELLINGHAM MARINE INDUSTRIES, INC.</small></p>	<p>PROJECT NUMBER: 7269</p> <p>ENGINEER / DESIGNER: USMITA POKHREL</p> <p>PROJECT MANAGER: USMITA POKHREL</p> <p>CHECKED BY:</p>	<p>Costa Del Sol Marina Rehab</p> <p>Lots 9 & 10 of Tract 36414 Long Beach, CA</p>	<p>SCALE: 1/2" = 1'-0" (Sheet Size 24" x 36")</p> <p>DRAWN BY: THO</p> <p>DATE: 03-06-20</p> <p>DRAWING: DA14</p> <p>SHEET NO.: 32</p>
NO.	DATE	DESCRIPTION	BY																			
<p>REVISIONS</p>		<p>DOCK ASSEMBLIES - FINGERS</p>	<p><small>This drawing is prepared under contract, and the client is responsible for providing all necessary information and data. The client warrants that the information provided is true and correct. The client warrants that the information provided is true and correct. The client warrants that the information provided is true and correct.</small></p>																			

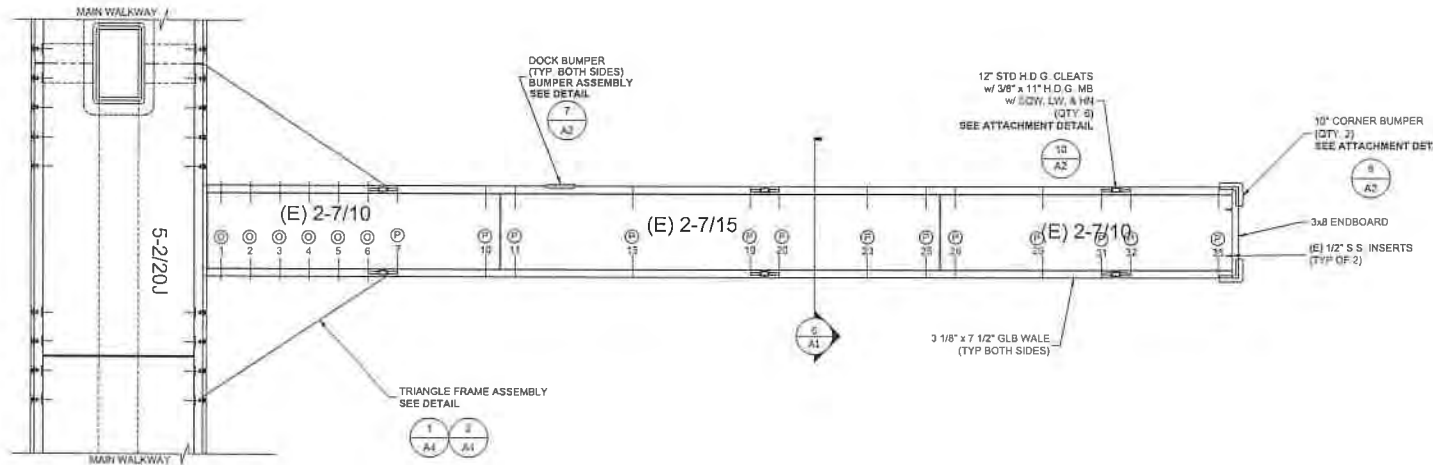
PERMIT DRAWING



FINGER (35P) (QTY. 7)

Ø3/4" FRP THRU ROD LENGTHS
w/ MODIFIED WALER NUT
*USE FRAME NUT IN PLACE OF
WALER NUT @ STEEL

(M) = 3'-2 7/8" (TOP ROD), (QTY. 6)
(N) = 2'-11 3/8" (TOP ROD), (QTY. 9)



FINGER (35-r2) (QTY. 2)

1/2" HDG THRU ROD w/ PW (2), LW (2), & HN (2)
(USE FW IN PLACE OF PW @ STEEL)

(O) = 3'-4 3/4" (TOP ROD), (QTY. 6)
(P) = 3'-1 1/4" (TOP ROD), (QTY. 13)

NO.	DATE	DESCRIPTION	BY

Bellingham
MARINE
THE WORLD'S MOST
COMPREHENSIVE
MARINA BUILDER

SOUTHWEST DIVISION
CA LICENSE #442459
8810 SPADLING LANE
DUXON, CA 95620
TEL: (707) 878-2385
FAX: (707) 878-1760

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PROJECT NUMBER:
7269
ENGINEER / DESIGNER:
PROJECT MANAGER:
LUSMITA POIKHREL
CHECKED BY:

Costa Del Sol Marina Rehab

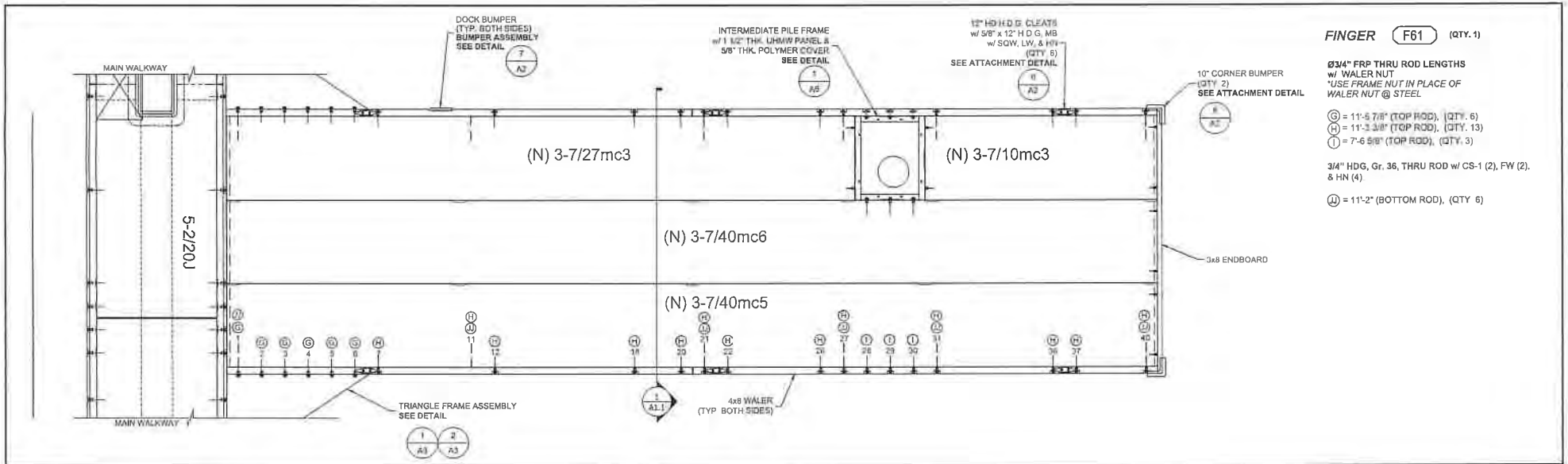
Lots 9 & 10 of Tract 36414
Long Beach, CA

DOCK ASSEMBLIES - FINGERS

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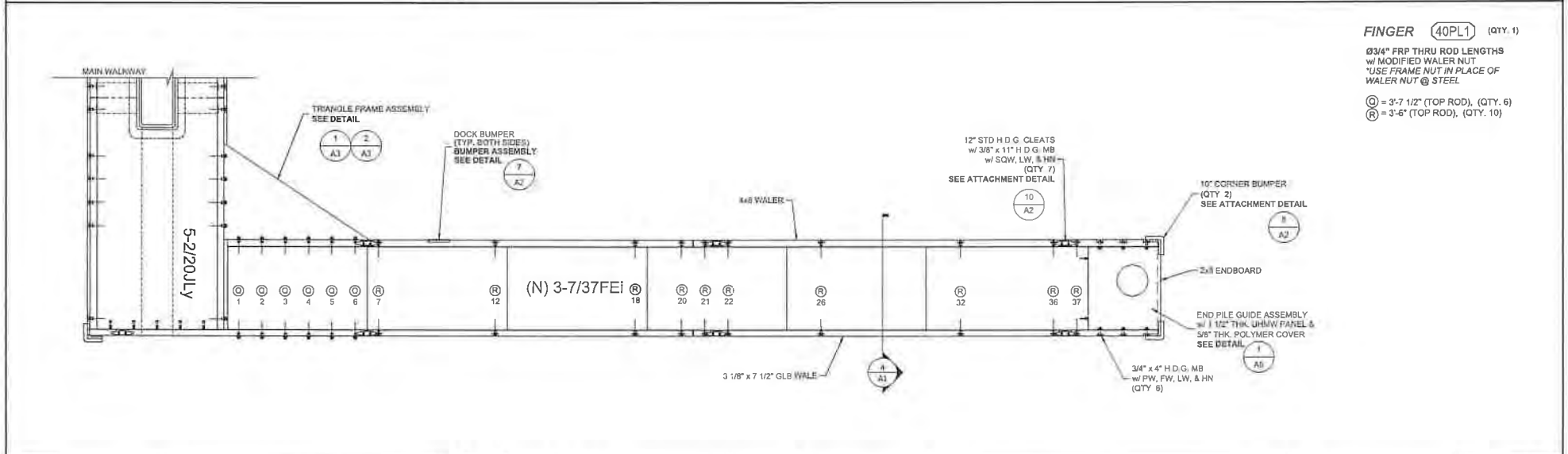
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DRAWN BY: THO
DATE: 03-06-20
DRAWING: DA15
SHEET NO.: 33

PERMIT DRAWING



FINGER (F61) (QTY. 1)

- Ø3/4" FRP THRU ROD LENGTHS w/ WALER NUT
"USE FRAME NUT IN PLACE OF WALER NUT @ STEEL"
- ⓐ = 11'-6 7/8" (TOP ROD), (QTY. 6)
- ⓑ = 11'-3 3/8" (TOP ROD), (QTY. 13)
- ⓒ = 7'-6 5/8" (TOP ROD), (QTY. 3)
- 3/4" HDG, Gr. 36, THRU ROD w/ CS-1 (2), FW (2), & HN (4)
- ⓓ = 11'-2" (BOTTOM ROD), (QTY. 6)

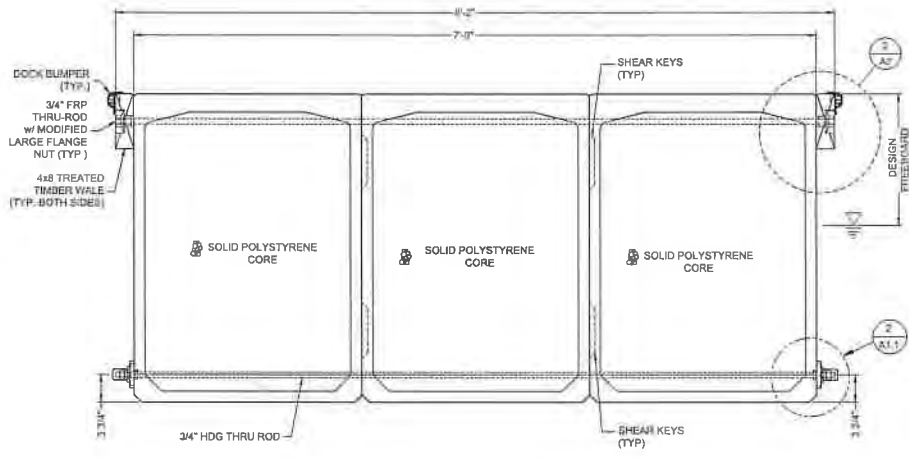


FINGER (40PL1) (QTY. 1)

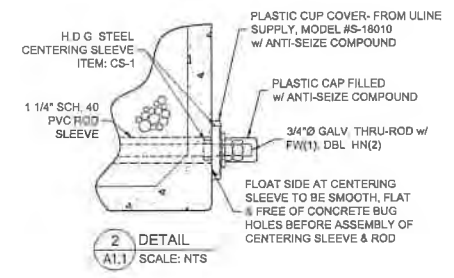
- Ø3/4" FRP THRU ROD LENGTHS w/ MODIFIED WALER NUT
"USE FRAME NUT IN PLACE OF WALER NUT @ STEEL"
- ⓐ = 3'-7 1/2" (TOP ROD), (QTY. 6)
- ⓑ = 3'-6" (TOP ROD), (QTY. 10)

			SOUTHWEST DIVISION CA LICENSE #642499 8810 SPARKLING LANE DIXON, CA 95020 TEL: (707) 676-2385 FAX: (707) 676-1760	THIS DRAWING CONTAINS PROPRIETARY INFORMATION WHICH IS THE PROPERTY OF BELLINGHAM MARINE INDUSTRIES, INC. AND SHALL NOT BE COPIED, REPRODUCED OR MADE AVAILABLE TO THIRD PARTIES WITHOUT PRIOR WRITTEN PERMISSION FROM BELLINGHAM MARINE INDUSTRIES, INC. UNLESS OTHERWISE NOTED BY BELLINGHAM MARINE INDUSTRIES, INC.	PROJECT NUMBER: 7269 ENGINEER / DESIGNER: PROJECT MANAGER: LUMITA POKHREL CHECKED BY:	Costa Del Sol Marina Rehab Lots 9 & 10 of Tract 36414 Long Beach, CA DOCK ASSEMBLIES - FINGERS	SCALE: 1/2" = 1'-0" (Sheet Size 24" x 36") DRAWN BY: THO DATE: 03-06-20 DRAWING: DA17 SHEET NO.: 35	
NO.	DATE	DESCRIPTION	BY					
REVISIONS								

PERMIT DRAWING



1 CONCRETE FINGER SECTION
A1.1 SCALE: 1 1/2" = 1'-0"



2 DETAIL
A1.1 SCALE: NTS

NO.	DATE	DESCRIPTION	BY

Bellingham MARINE
THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
CA LICENSE #442499
8810 SPARKLING LANE
DIXON, CA 95620
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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:

PROJECT MANAGER:
USMITA POKHREL

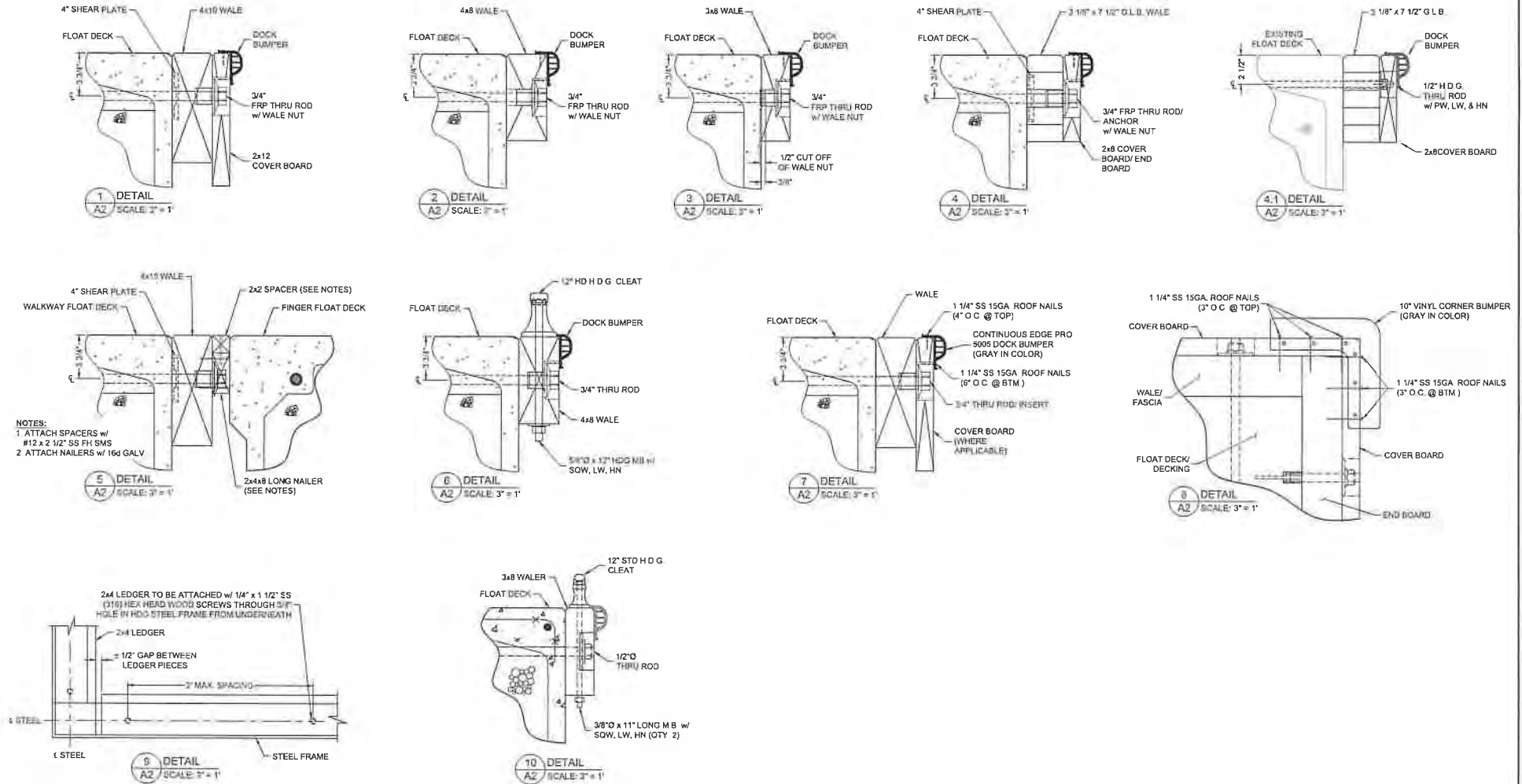
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Costa Del Sol Marina Rehab

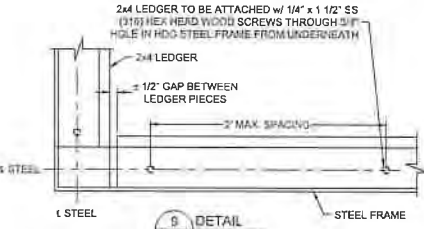
Lots 9 & 10 of Tract 36414
Long Beach, CA

ASSEMBLY DETAILS

SCALE: AS SHOWN (Sheet Size 24" x 36")
DRAWN BY: DW/THO
DATE: 2-3-2020
DRAWING: A1.1
SHEET NO: 36.1



NOTES:
 1 ATTACH SPACERS w/
 #12 x 2 1/2\"/>



NO.	DATE	DESCRIPTION	BY
REVISIONS			

Bellingham MARINE
 THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
 CA LICENSE #442499
 8610 SPALDING LANE
 DIXON, CA 95620
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 FAX: (707) 674-1760

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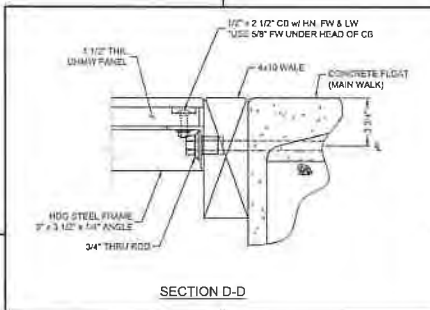
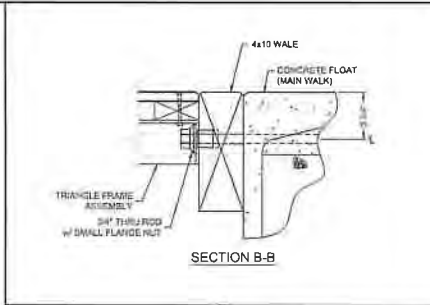
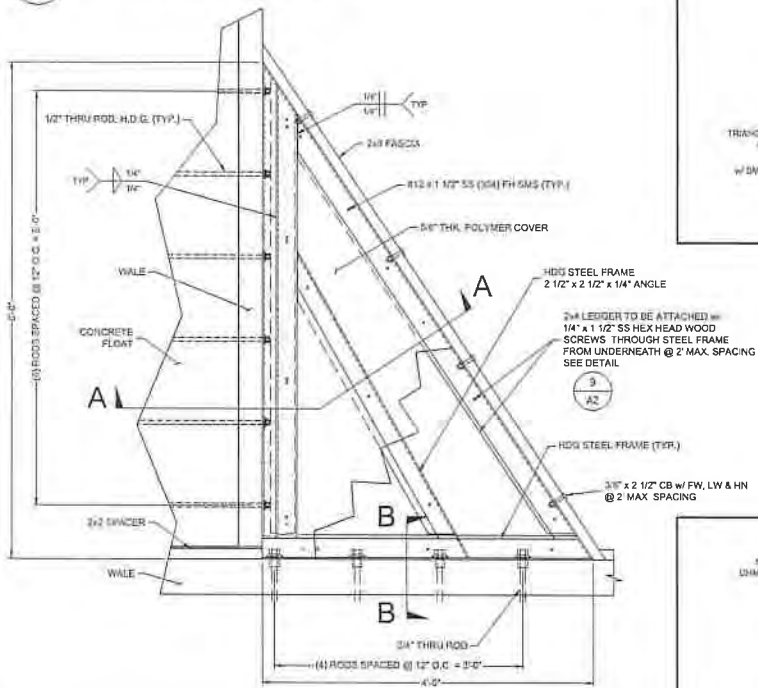
PROJECT NUMBER: 7269
ENGINEER / DESIGNER: USMITA POKHREL
PROJECT MANAGER: USMITA POKHREL
CHECKED BY:

Costa Del Sol Marina Rehab
Lots 9 & 10 of Tract 36414 Long Beach, CA
ASSEMBLY DETAILS

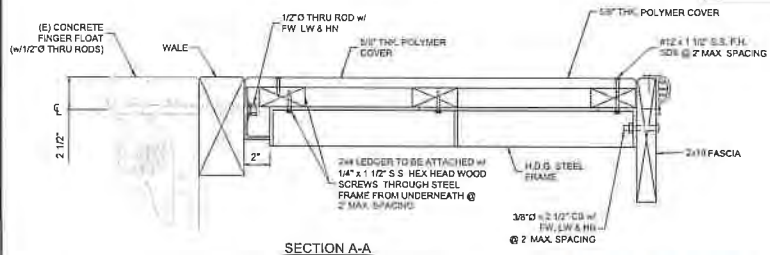
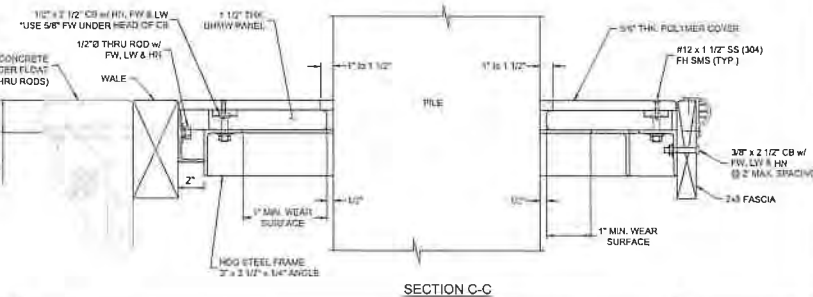
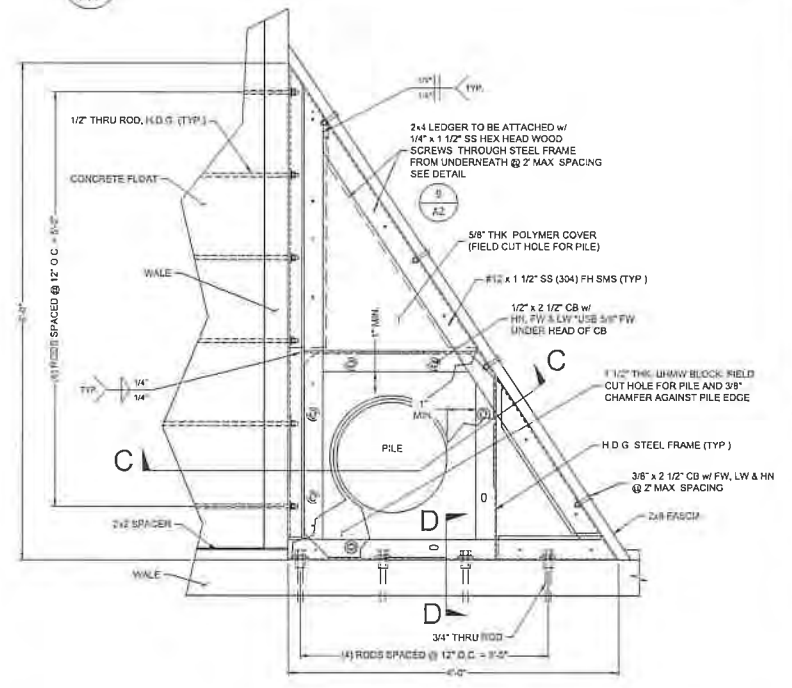
SCALE: AS SHOWN (Sheet Size 24" x 36")
DRAWN BY: DM/THO
DATE: 2-3-2020
DRAWING: A2
SHEET NO.: 37

PERMIT DRAWING

1 REHABILITATED FINGER TO WALKWAY TRIANGLE FRAME ASSEMBLY DETAIL
A4 NOTES: THIS IS A GENERAL REPRESENTATION. SOME HIDDEN LINES NOT SHOWN FOR CLARITY



2 REHABILITATED FINGER TO WALKWAY TRIANGLE PILE FRAME ASSEMBLY DETAIL
A4 NOTES: THIS IS A GENERAL REPRESENTATION. SOME HIDDEN LINES NOT SHOWN FOR CLARITY



NO.	DATE	DESCRIPTION	BY
REVISIONS			

Bellingham MARINE
 THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
 CALIFORNIA LICENSE #442499
 8910 SPARKLING LANE
 OAKTON, CA 94920
 TEL: (707) 678-2345
 FAX: (707) 678-1750

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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
 USMITA POKHREL

PROJECT MANAGER:
 USMITA POKHREL

CHECKED BY:

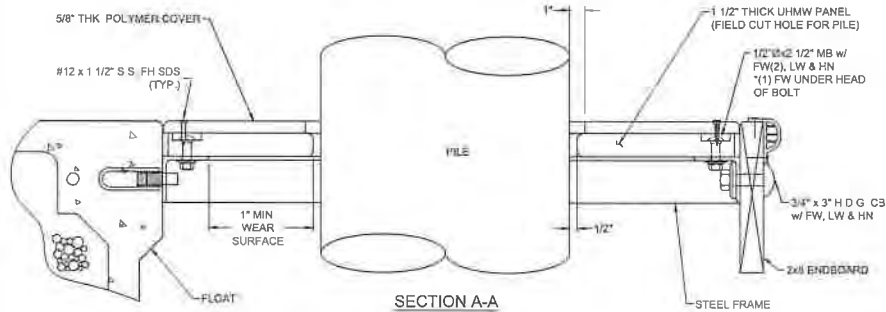
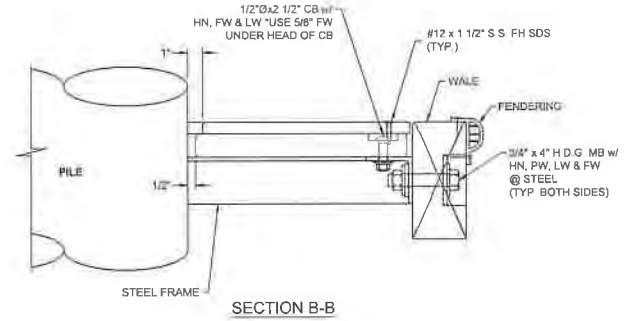
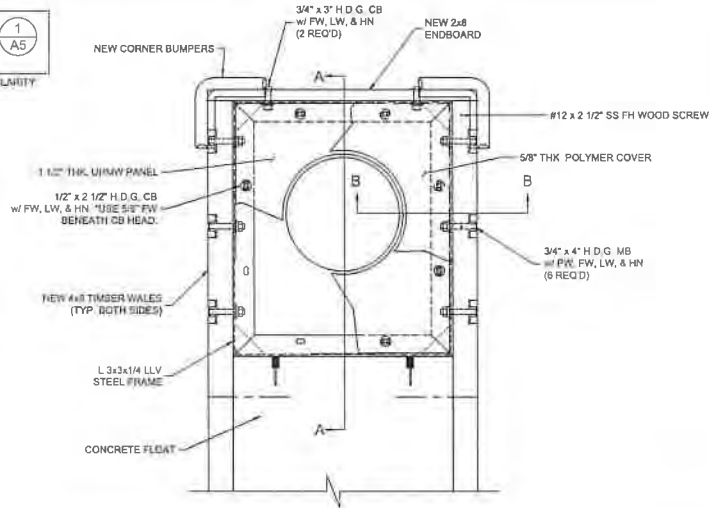
Costa Del Sol Marina Rehab
 Lots 9 & 10 of Tract 36414
 Long Beach, CA

ASSEMBLY DETAILS

SCALE:	HTG
(Sheet Size 24" x 30")	
DRAWN BY:	DM/THO
DATE:	2-3-2020
DRAWING:	A4
SHEET NO.:	39

PERMIT DRAWING

PILE END FRAME ASSEMBLY
 TYP PILE END FRAME ASSEMBLY
 NOTES: SOME ITEMS NOT SHOWN FOR CLARITY



NO.	DATE	DESCRIPTION	BY

Bellingham MARINE
 THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
 CA LICENSE #442499
 8815 SPARKLING LANE
 DIXON, CA 95620
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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
USMITA POKHREL

PROJECT MANAGER:
USMITA POKHREL

CHECKED BY:

Costa Del Sol Marina Rehab

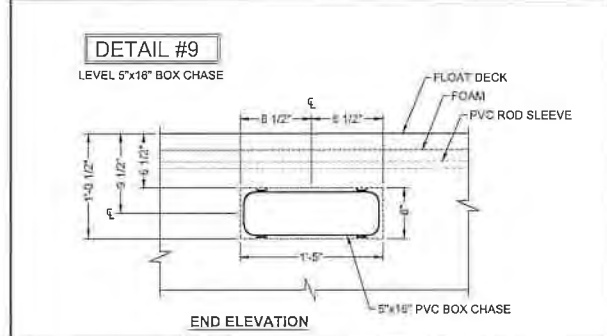
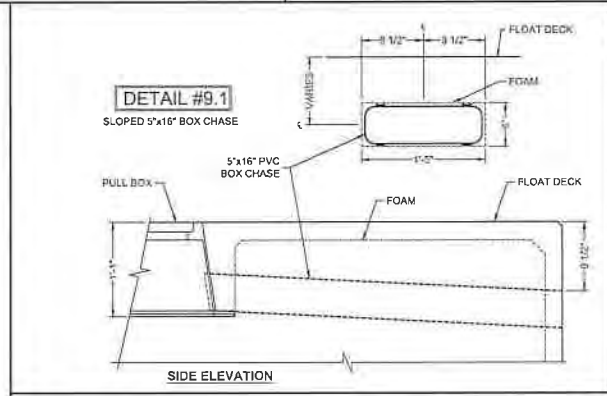
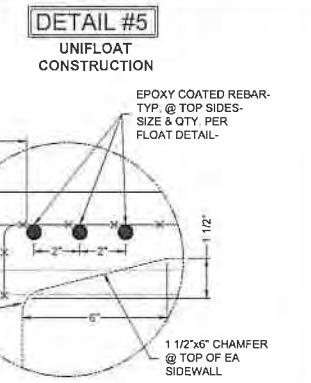
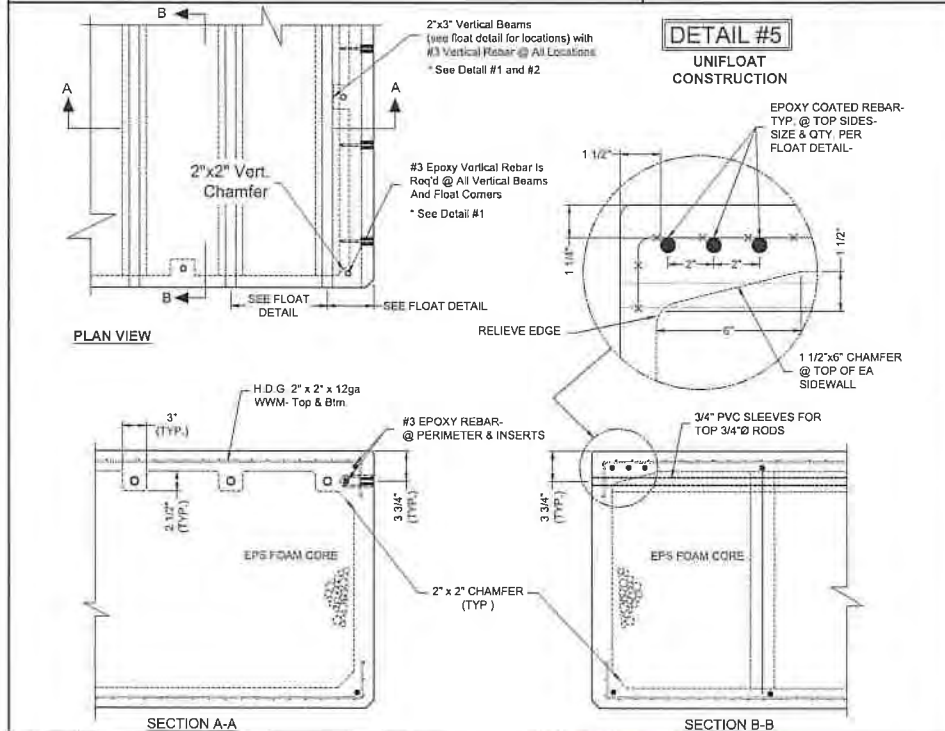
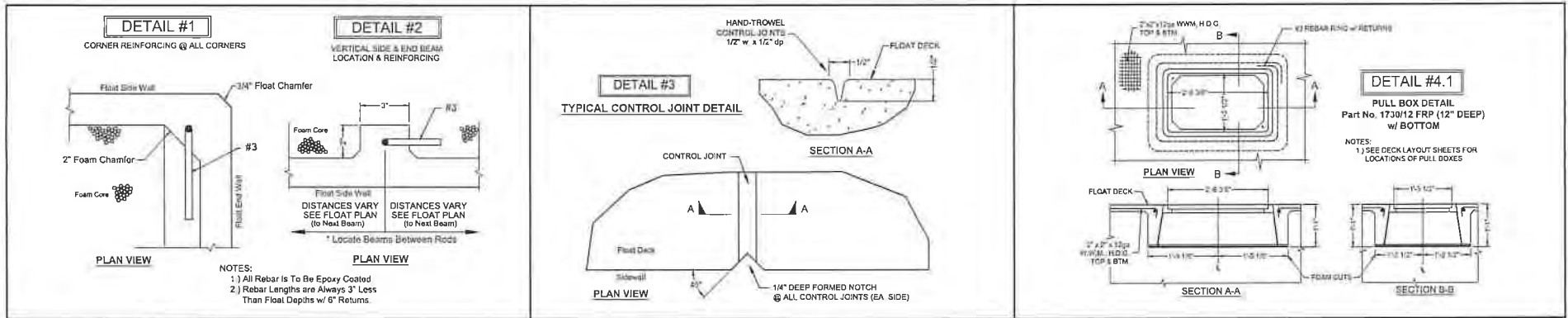
Lots 9 & 10 of Tract 36414
 Long Beach, CA

ASSEMBLY DETAILS

SCALE:	NTS
	(Sheet Size 24" x 36")
DRAWN BY:	THO
DATE:	2-3-2020
DRAWING:	A5
SHEET NO.:	40

This drawing is a permit drawing and does not include, including, but not limited to, any and all necessary details for construction. It is the responsibility of the contractor to verify all dimensions, quantities, and materials and to ensure that all work is done in accordance with the approved plans and specifications. The contractor shall be responsible for the accuracy of the information provided by others.

PERMIT DRAWING



NO.	DATE	DESCRIPTION	BY
REVISIONS			

Bellingham MARINE
 THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
 CA LICENSE #442479
 8610 SPARKLING LANE
 DIXON, CA 95620
 TEL: (707) 878-2345
 FAX: (707) 878-1750

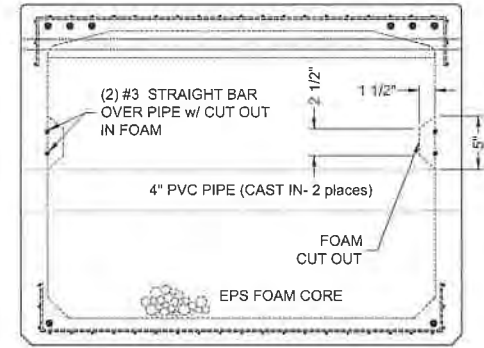
PROJECT NUMBER:
 7269
 ENGINEER / DESIGNER:
 USMIRA PCH/HIEL
 PROJECT MANAGER:
 USMIRA PCH/HIEL
 CHECKED BY:

Costa Del Sol Marina Rehab
 Lots 9 & 10 of Tract 36414
 Long Beach, CA
 CONCRETE FABRICATION DETAILS

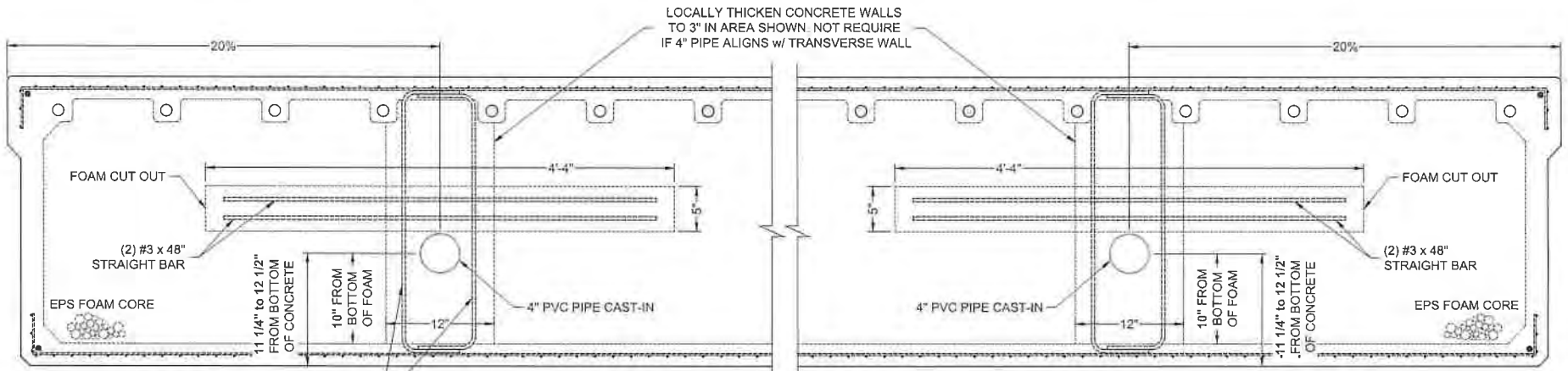
SCALE: NTS
 (Sheet Size 24" x 36")
 DRAWN BY: THO
 DATE: 3-18-20
 DRAWING: C1
 SHEET NO: 42

PERMIT DRAWING

DETAIL #21
LIFTING TUBE DETAIL



FLOAT SECTION



LOCALLY THICKEN CONCRETE WALLS TO 3" IN AREA SHOWN. NOT REQUIRE IF 4" PIPE ALIGNS w/ TRANSVERSE WALL

(2) #3 VERTICAL BARS PLACED IN THESE BEAMS (BOTH SIDES) AT ALL FLOATS OVER 40' LONG AND EXCEEDING 16000# IN CALCULATED FLOAT WEIGHT

SIDE VIEW

NO.	DATE	DESCRIPTION	BY

Bellingham MARINE
THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
CALIFORNIA PALAZZO
1815 SPANISH LANE
DUNSMuir, CA 95033
TEL: (707) 838-2008
FAX: (707) 875-1100

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PROJECT NUMBER:
7269

ENGINEER / DESIGNER:
USMITA POKHREL

PROJECT MANAGER:
USMITA POKHREL

CHECKED BY:

Costa Del Sol Marina Rehab

Lots 9 & 10 of Tract 36414
Long Beach, CA

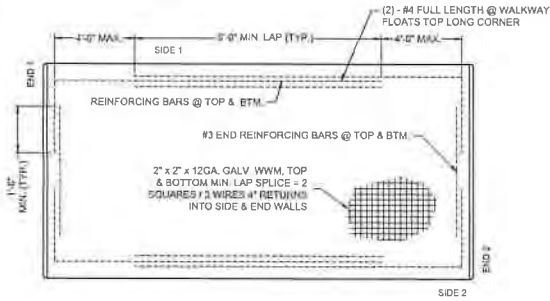
CONCRETE FABRICATION DETAILS

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DATE:	3-18-20
DRAWING:	C2
SHEET NO.:	43

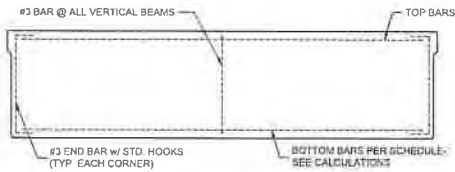
This drawing is a permit set for these drawings, including, but not limited to, all applicable laws, codes, and regulations. It is not intended for construction. The Engineer's responsibility is limited to the design of the structure shown. The contractor is responsible for all other aspects of the project. The contractor shall be responsible for all other aspects of the project. The contractor shall be responsible for all other aspects of the project.

PERMIT DRAWING

TYPICAL WALKWAY FLOAT REINFORCING DETAIL
5' WIDE CONCRETE TO 12' WIDE CONCRETE

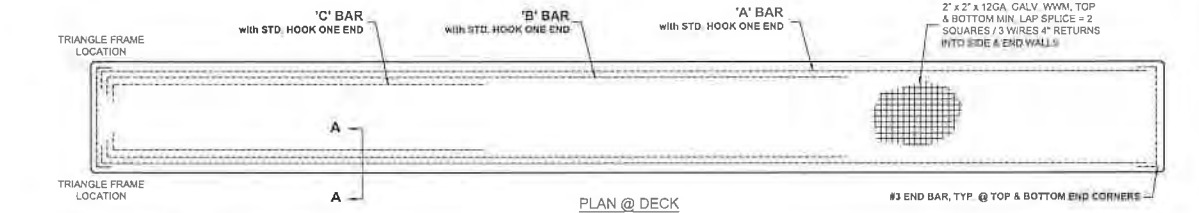


PLAN @ DECK

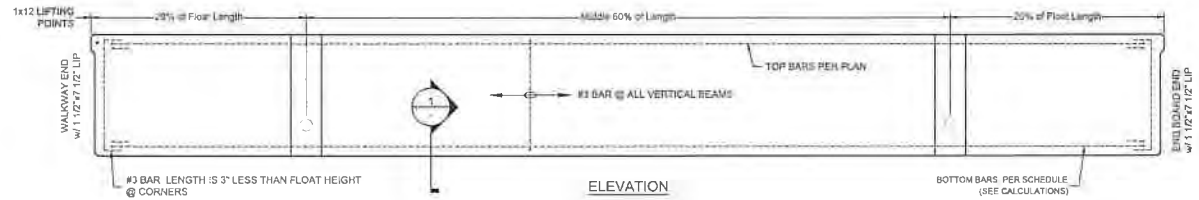


ELEVATION

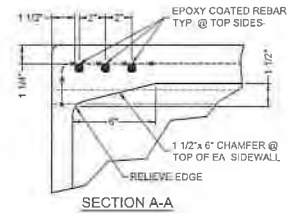
TYPICAL FINGER FLOAT REINFORCING DETAIL



PLAN @ DECK

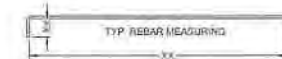


ELEVATION



SECTION A-A

- NOTES:
 USE CONTINUOUS REBAR.
 2\"/>



Finger Configuration Summary

Nominal Length	Nominal Width	Berth Config.	Concrete Float Length	Concrete Float Width	Rub Board or Wale	Min. Number of Rods with Shear Plates per Float	Overall Width	Triangle Frame	Reinforcement					
									Top Bars			Bottom Bars		
									Size	A Bar (ft)	B Bar (ft)	C Bar (ft)	Size	Qty
Cantilever Fingers:														
35'	3'	Single	35'	2'-7"	3x8	N/A	3'-0"	MD	#4	Full Length	25'	14'	#4	1
40'	4'	Single	40'	3'-7"	4x8	N/A	4'-2"	MD	#5	Full Length	23'	-	#4	1
End Pile Fingers:														
35'	3'	Single	32'	2'-7"	3x8	N/A	3'-0"	MD	#4	Full Length	Full Length	Full Length	#4	1
40'	3'-8"	Single	37'	2'-11 1/2"	4x8	N/A	3'-6 1/8"	MD	#5	Full Length	Full Length	Full Length	#4	1
40'	4'	Single	37'	2'-7"	4x8	N/A	4'-2"	MD	#5	Full Length	Full Length	-	#4	1
40'	12'	Single	40'	(3) @ 3'-7" = 10 1/2"	4x8	N/A	12'-2"	MD	#4	Full Length	Full Length	-	#4	1
End Pile L-Heads:														
40'	4'	-	37'	3'-7"	4x8	N/A	4'-3 1/8"	MD	#5	Full Length	Full Length	-	#4	1
Multi-Piece Fingers (Using Existing Concrete Floats):														
35' [E]	3'	Single	35' Total	2'-7"	3 1/8" x 7 1/2" CLB	4	3'-1 1/4"	MD	N/A	N/A	N/A	N/A	N/A	N/A
40' [E]	4'	Single	(4) @ 10'	3'-7"	3 1/8" x 7 1/2" CLB	4	4'-1 1/4"	MD	N/A	N/A	N/A	N/A	N/A	N/A
40' [E]	4'	Single	8' @ 10'	3'-7"	3 1/8" x 7 1/2" CLB	4	4'-1 1/4"	MD	N/A	N/A	N/A	N/A	N/A	N/A

NO.	DATE	DESCRIPTION	BY

Bellingham MARINE
 THE WORLD'S MOST COMPREHENSIVE MARINA BUILDER

SOUTHWEST DIVISION
 CA LICENSE #442499
 8810 SPARKLING LANE
 DIXON, CA 95520
 TEL: (707) 878-7385
 FAX: (707) 878-1760

THIS DRAWING CONTAINS PROPRIETARY INFORMATION WHICH IS THE PROPERTY OF BELLINGHAM MARINE INDUSTRIES, INC. AND SHALL NOT BE COPIED, REPRODUCED OR MADE AVAILABLE TO THIRD PARTIES WITHOUT PRIOR WRITTEN PERMISSION FROM BELLINGHAM MARINE INDUSTRIES, INC. UNIFORMATE, UNDECKE, AND C BELLINGHAM MARINE INDUSTRIES, INC.

PROJECT NUMBER:
 7269
 ENGINEER / DESIGNER:
 PROJECT MANAGER:
 USMITA POKHREL
 CHECKED BY:

Costa Del Sol Marina Rehab
 Lots 9 & 10 of Tract 36414
 Long Beach, CA
 CONCRETE FABRICATION DETAILS

SCALE: NTS (Sheet Size 24" x 36")
 DRAWN BY: THO
 DATE: 3-18-20
 DRAWING: C3
 SHEET NO.: 44



Memorandum

To: Usmita Pokhrel
Bellingham Marine Industries
8810 Sparling Lane
Dixon, CA 95620

Marine Taxonomic Services, Ltd.
920 Rancheros Drive, Suite F-1
San Marcos, CA 92069

From: Robert Mooney & Grace Teller

Date: May 8th, 2020

Re: Baseline Eelgrass Survey at 7269 Costa Del Sol in, Long Beach, California

Thank you for contacting Marine Taxonomic Services (MTS) regarding the need for a baseline eelgrass (*Zostera marina*) survey at 7269 Costa Del Sol, Long Beach, CA (Figure 1). This technical memorandum details the methods and results of the survey.

Background and Introduction

The construction project involves the in-kind rehabilitation of dock structures at 7269 Costa Del Sol in Long Beach, CA. All material used for the rehabilitation will be fabricated at an off-site location. The old dock will be disassembled using hand tools and removed from the water by a crane mounted barge. Similarly, the new dock structure will be placed in the water from crane mounted barge and assembled using hand tools. New electrical, fire suppressant, and potable water systems will be installed upon completion of dock structure installation.

The purpose of the baseline survey was to map the presence of eelgrass to support permitting of the dock replacement activities. The survey area shown in Figure 1, encompasses all potential dock replacement activities to occur within the survey area.

Eelgrass is protected under the Clean Water Act as a habitat forming species, and the resource is managed locally under the California Eelgrass Mitigation Policy (CEMP) as developed and amended by NOAA Fisheries (CEMP 2014). The baseline survey presented below provides the permitting agencies with information relative to the consultation process and allows the permitting agencies to consider potential impacts to the resource prior to issuance of a permit. This survey does not replace the need for a pre-construction eelgrass survey as outlined in the CEMP.

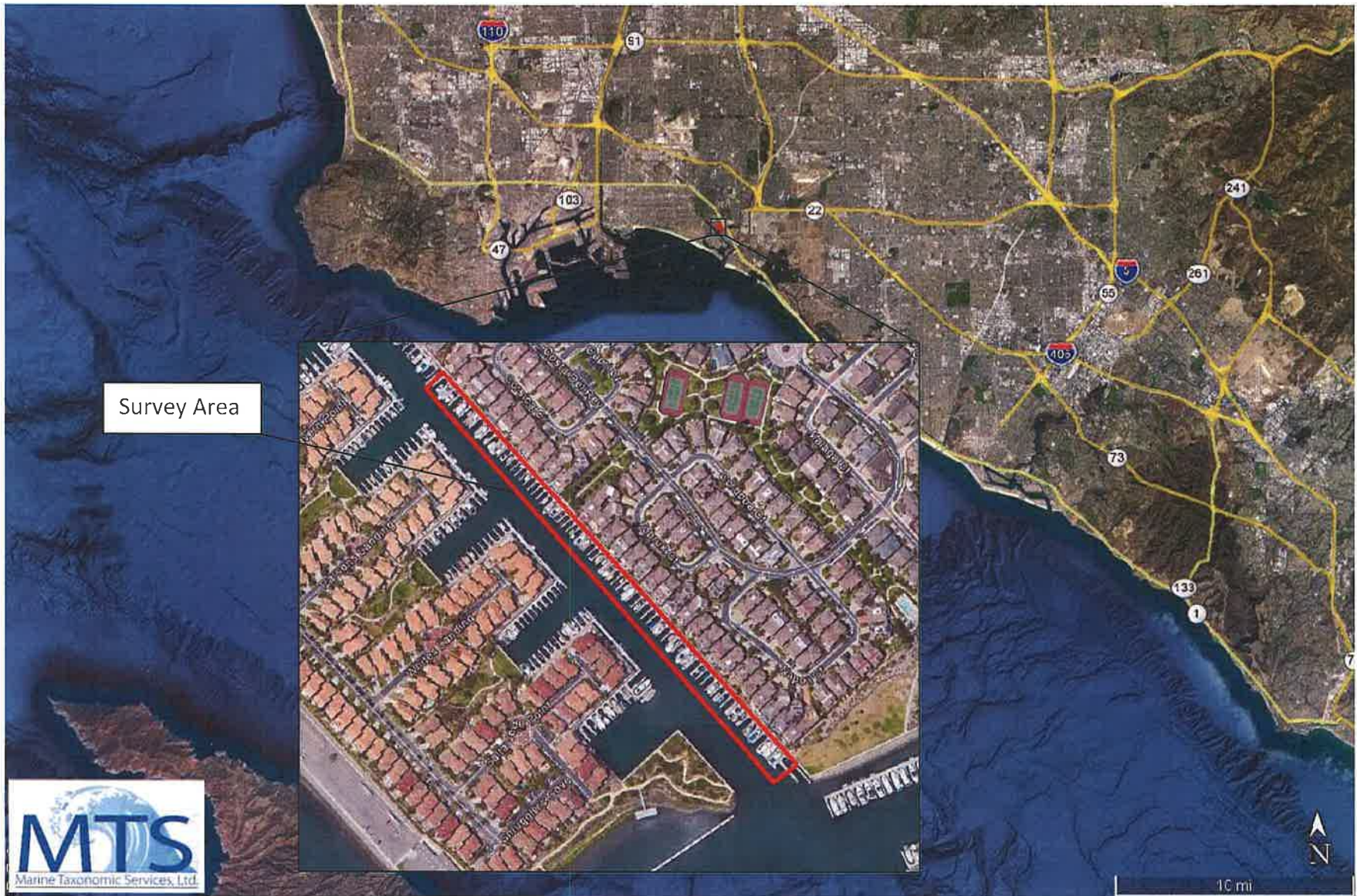


Figure 1. The above figure shows the location of the eelgrass survey area surrounding 7269 Costa Del Sol in Long Beach, CA.

Methods

On April 21, 2020, MTS staff Grace Teller and Hannah Joss performed a search for eelgrass within the survey area shown in Figure 2. The diver-based visual survey was performed to survey for the absence or presence of eelgrass within the study area. The diver swam along the tow of the headwall and every three meters swam perpendicular from the headwall toward the navigation channel searching for eelgrass. The diver towed a buoy mounted with a differential GPS (dGPS) while performing the survey. Once an eelgrass bed or patch was located, the diver used underwater voice communications equipment to notify the dive tender (topside in a kayak) that eelgrass was located. The dive tender then connected a tablet with mapping software to the dGPS being towed by the diver. The diver would then swim the perimeter of the eelgrass bed while the tender plotted the boundary using the dGPS. Once back to the starting point, the diver would continue systematically looking for additional eelgrass beds to delineate. This visual method provided the best method to detect potential small targets (eelgrass) in the shallowest areas among the docks, headwall, and small vessels where access is limited relative to survey methods that might use larger vessels and sonar methods.

Results

Water conditions and substrate type were similar throughout the project survey area. The substrate type consisted of soft mud with sparse occurrence of Mediterranean mussels (*Mytilus galloprovincialis*), tunicates (*Styela plicata*), and anemones (*Pachycerianthis fimbriatus*). The surface water temperature was 16.1°C, salinity was 33ppt, and horizontal visibility was approximately 4 feet at the time of the survey.

Multiple eelgrass beds and small patches of eelgrass were mapped within the survey area (Figure 2). There were 652 square meters of eelgrass and 1,345 square meters of unvegetated eelgrass habitat identified within the survey area. Eelgrass occurrence extended north from the southern portion of the survey area, ~650 feet. Eelgrass was observed on the channel edge of the dock structure (western portion of the survey area) with the occasional extension of eelgrass from the main bed into marina boat slips. Large eelgrass beds in this area extended west, outside of the survey area boundary.



Figure 2. The above figure shows the extent of eelgrass within the survey area at 7269 Costa Del Sol, Long Beach, CA.

Discussion

None of the proposed project elements pose any risk to eelgrass within the project area. While eelgrass is present near the proposed dock replacement, the potential for the proposed project to cause temporary or long-term negative impacts to eelgrass is negligible. This determination is based on the fact that no changes in overwater coverage are proposed. Additionally, no pile installation will take place during the proposed project construction activity; thus, potential impacts to both eelgrass and surrounding water quality resulting from the proposed project are also negligible.

Preventing unforeseen impacts to eelgrass associated with the dock replacement construction activities requires implementation of a few best management practices. To ensure protection of the current seafloor habitat vessel operators and construction crews should be notified that work will be taking place in shallow water. Vessel operators and construction personnel should be instructed to avoid contacting the bottom whenever possible and to avoid directing propeller wash toward shallow areas. Disturbing the bottom can increase turbidity and have additional impacts to eelgrass and other organisms that live in and on the bottom. Additionally, vessel operators should be instructed not to anchor or place spuds in areas that support eelgrass and no vessel or floating structure should be temporarily anchored in a manner that might shade an eelgrass bed.

It was a pleasure working on this project with you. If you have any questions or require additional assistance, please do not hesitate to contact me at (760) 331- 7897. Alternately you can email me or Grace Teller at robert@consultmts.com, and grace@consultmts.com, respectively.

Reference

CEMP 2014. California Eelgrass Mitigation Policy and Implementation Guidelines. National Fisheries West Coast Region. October 2014.

Exhibit 5 – Overview of Permitting History

EXHIBIT D

LICENSES

1. Resolution of Exemption dated March 19, 1973 from the California Coastal Zone Conservation Commission.
2. Verification of Exemption, executed by Marina Pacifica, dated March 22, 1973.
3. Department of the Army Corps of Engineers permit pertaining to construction of the channel, together with an extension dated November 14, 1979 and acknowledgment of C. Robert Langslet & Son, Inc. dated May 5, 1981 as new permittee.
4. Agreement Regarding Proposed Stream or Lake Alteration between Marina Pacifica and the Department of Fish and Game, State of California, effective March 1, 1976, together with letters dated December 12, 1977 and November 19, 1979, respectively, from the Department of Fish and Game, extending the expiration date of such Agreement.
5. City of Long Beach sewer permit (9-3-80).
6. City of Long Beach excavation permit (11-6-80). (Document not delivered to Bank.)
7. Department of the Army Corps of Engineers Notice of Authorization dated March 31, 1976.
8. Sewer lift station permit dated 7-18-80.
9. City of Long Beach permit for 18 bulkheads (Building Permit No. 583).
10. City of Long Beach permit for channel bulkhead and dredging dated 11-2-79 (Permit No. 6942). (Document not delivered to Bank.)
11. City of Long Beach excavation and fill permit (date of permit illegible). Date of application: 9-13-79.
12. City of Long Beach bulk grading permit renewed 1-18-77.
13. City of Long Beach bulk grading permit No. 585 (application dated 11-1-72).
14. City of Long Beach channel grading permit (application dated 1-4-77).

83- 411523

15. Application for Exemption based on claim of Vested Rights of Marina Pacifica, dated February 1, 1974.

16. City of Long Beach City Planning Commission Negative Declaration dated May 18, 1978 for Marina Pacifica Phase 1B (pages 1 through 42).

17. Notice of Determination (and attachments) of City of Long Beach concerning boat slips.

18. Certificates of Occupancy from the City of Long Beach dated February 3, 1983:

- * Residential - for 7 townhouse units with 20 parking spaces (Permit No. 9229).
- * Residential - for construction of townhouse, complete wood frame/11 units (Permit No. 9228).
- * Residential - wine storage racks (Permit No. 1171).
- * Residential - for construction of 11 townhouses with 28 parking spaces (Permit No. 9231).
- * Residential for 12 unit condo townhouses, two story over garages (Permit No. 4482).
- * Commercial - Recreation Bldg. No. 4 (Permit No. 9230).

19. Certificates of Occupancy from the City of Long Beach dated February 24, 1983:

- * Residential - for 11 units condominium townhouses, 2 story over garages (Permit No. 4478).
- * Residential - for 11 units condominium townhouses, 2 story over garages (Permit No. 4479).
- * Residential - for 11 units condominium townhouses, 2 story over garages (Permit No. 4480).
- * Residential - for 5 units condominium townhouses, 2 story over garages (Permit No. 4481).

EXHIBIT D

20. Building Permits from the City of Long Beach:

<u>Description of Work</u>	<u>Validation No.</u>
* 335 Boat slips and related facilities	813400
* Conversion of rough grade to precise grade/ paving-curbs-gutters	812552, 812553
* Construction of recreation building	819230
* Construction of townhouses	819228,819229, 819231
* Building 5, 11 condos	814479
* Building 6, 11 condos	814480
* Building 7, 12 townhouses	814482
* Building 8, 11 townhouses	814478
* Building 9, 5 townhouses	814481
* Block wall	813963

21. City of Long Beach Street Improvement Permit (Receipt No. 9991).

22. City of Long Beach Electrical Permits:

<u>Description of Work</u>	<u>Validation No.</u>
* Boat Slips	813398,813399
* Boat Dock	812604
* Sub panel	812746
* Bldgs. 5, 6, 7, 8, 9 and plan check fees	814439, 815159-815168
* Recreation Bldg. and Bldgs. 2, 3, 4 and plan check fees	811726,811734, 819235

83-411523

22. [Continued]:

Electrical Permits:

<u>Description of Work</u>	<u>Validation No.</u>
* Landscape lighting, house lights, sprinkler controller, security gates	821055
* Temporary power poles	829820, 829821

23. City of Long Beach Plumbing Permit and Plan
Check fees (Validation Nos. 814488, 819240, 819805).

24. City of Long Beach Mechanical Permits and Plan
Check fees (Validation Nos. 814483-814487, 819236-819239).

25. City of Long Beach Electric Meters (Validation
Nos. 82826-82831, 828817).

26. City of Long Beach Sign Permit (Application
dated July 14, 1981).

27. City of Long Beach Excavation Permit to
Southern California Edison Company dated January 14, 1982
(Validation No. 9148).

28. City of Long Beach Inspection Records (Permit
Nos. 1171, 3400, 4478, 4480-4482, 6125, 9228-9231).

29. California DMV Vessel Registration No. CF4909BA,
Schock Electric Boat.

30. California Department of Real Estate documents,
including:

- * Final Condominium Subdivision Public Report
(File No. 053126LA-A01).
- * Project Inventory and Budget Worksheets (RE
Form 623).
- * Department of Real Estate Check Sheet (RE
Form 648).
- * Escrow Instructions Under Business and
Professions Code Section 11018.5(a) (RE Form
621).

4.

83- 411523

30. [Continued]

- * Instructions to Escrow Depository Start-Up Funds (RE Form 643-B).
- * Cover Letter for Qualitative Deficiency Notice (RE Form 617-C).
- * Questionnaire and Notice of Intention for Common Interest Subdivision Public Report (RE Form 634).
- * Common Facilities to be Owned or Controlled by Homeowners Association (RE Form 624-A).
- * Substantially complete file Status Notice (RE Form 607).

31. Party (40) completed City of Long Beach Permit Application forms, together with required exhibits in a form suitable for filing with the City of Long Beach.

32. City of Long Beach Notice of Approval of Tentative Map and revisions to Approval dated June 13, 1978.

33. Statement of Marina Pacifica in support of its application for exemption to the California Coastal Zone Conservation Commission, South Coast Region, on March 12, 1973 by Charles E. Greenberg of Ball, Hunt, Bart, Brown and Baerwitz.

34. Letter dated July 27, 1973 from City Attorney of Long Beach, pertaining to the City policy regarding excavation and inundation of the channel.

Exhibit 6 – Letter from City of Long Beach

October 25, 2021

Zach Rehm
District Supervisor
California Coastal Commission
301 E. Ocean Blvd., Suite 300
Long Beach, CA 90802

Re: Private Marinas/Floating Docks and the Public Trust Doctrine

Dear Mr. Rehm:

There is a pending Coastal Development Permit (CDP) application before the California Coastal Commission (CCC) for the replacement of existing floating dock structures and components at an existing marina associated with the Costa Del Sol development, for which its initial approvals pre-date the Coastal Act of 1976. The existing marina and docks are located within privately owned parcels in the public waterway abutting the Costa Del Sol and Spinnaker Bay developments. The City of Long Beach (City) is aware of this pending application and this letter is to provide clarification on the project's relation to the Public Trust Doctrine and existing City Marine Bureau fees.

The City is the administrator of public trust lands granted by the State of California and is required to manage tidelands through statute and implementation of the Public Trust Doctrine (the common law principles that govern use of these lands). Public trust uses are generally limited to water dependent or related, and include commerce, fisheries, navigation, ecological preservation, and recreation.

The City considers docks with direct access to the water as a permitted water-dependent public trust use. This letter is to confirm that if the Coastal Commission imposes a requirement that a fee for private use of the private marina/docks, and other private marinas in the City, the City maintains an existing fee in its master fee schedule to regulate and monitor the private use of structures over public waters. The Marine Bureau Fees, Rates, and Charges includes fees for private floating docks over public waters (Public Seawall Lease Permit Fee) (Refer to website/attached: <https://www.longbeach.gov/globalassets/park/media-library/documents/business-operations/about/departments-fees/fy-22-tf-master-fee-schedule>). The annual rent is charged on a per square foot basis for water space occupied by docks, floats, gangways, or piers, including berthing space surrounding the structures. Effective fee amount may be subject to Consumer Price Index (CPI) adjustments. The collected fees for the above



City of Long Beach

October 25, 2021

Page 2 of 2

structures are deposited into a Tidelands account for which the funds are only utilized in Tidelands areas and have a nexus to public access and coastal dependent uses.

The Coastal Commission staff has requested the City provide written commitment to charging fees for private marinas/docks over public waters. For all future applications that involve existing private marinas and docks, as conditioned by the Coastal Commission's applicable permit, the City will impose the above fee, as amended herein, for private water structures in Tidelands areas.

If there are any questions or concerns regarding this request, please do not hesitate to contact me at (562) 570-5683 or maryanne.cronin@longbeach.gov.

Respectfully Submitted,



Christopher Koontz, AICP
Deputy Director of Development Services



Elvira Hallinan
Marine Bureau Manager

Attachments: City of Long Beach Master Fee Schedule

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
TIDELANDS FEES				
THE FOLLOWING TIDELANDS AND SPECIAL EVENT FEES ARE APPROVED BY THE LONG BEACH CITY COUNCIL THROUGH THE ADOPTION OF A RESOLUTION DURING A HEARING.				
BAYSHORE AND COLORADO LAGOON FACILITIES				
Event Rental	Facility rental fee at Bayshore and Colorado Lagoon sites	260	Event	Rent
Facility Site Fee - Various Locations	Pre-school co-op school use at Bayshore and Colorado Lagoon sites	\$176 - \$500	Annual Rate	Rent
BELMONT PLAZA POOL				
Late Fee	Penalties will accrue per month and be added to the total balance owed to offset costs associated with the ongoing payment collections process up to a maximum of one hundred percent (100%) of the amount payable on the due date.	10%	total fees owed/month of non-payment	Penalty
GROUP RENTAL RATES				
Filming at Belmont Pool	Filming location fee for Belmont Pool, includes staff	435	Hour or \$4,800 for 12-hour day	Rent
Business/Profit	Company businesses	\$350	Hour	Rent
SWIMMING LESSONS/ACTIVITIES				
General Admission - Adults	Recreation/lap swim	4	Session	Fee
General Admission - Seniors	Recreation/lap swim	3	Session	Fee
General Admission - Children	Recreation/lap swim	1	Session	Fee
Lane Rental - 25 meter	Cost is per lane per hour - 25 meter	\$35	Lane/Hr	Rent
Lane Rental - 50 meter	Cost is per lane per hour - 50 meter	\$70	Lane/Hr	Fee
Private Lessons	8 lessons/25 minutes each	200	Person	Fee
Semi-Private Lessons	2 to 3 students (8 lessons/25 minutes each)	128	Person	Fee
Group Lessons, Adult	Cost is for 8 lessons	65	Person	Fee
Group Lessons, Youth	Cost is for 8 lessons	55	Person	Fee
Water Aerobics (daily) Non-Seniors	49 years old and younger. Fee is per class	6	Class	Fee
Plaza Pass Fee (Water Aerobics)	Fee is for a 10 class pass. \$20 discount for purchase of 10 classes	\$48	10 Classes	Fee
Adult Plaza Pass (Recreation/Lap Swim)	Valid for 25 sessions. \$13 discount for purchase of 25 visits.	87	Person	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
BELMONT PLAZA POOL				
Senior Plaza Pass (Recreation/Lap Swim)	Valid for 25 sessions. \$17 discount for purchase of 25 visits.	58	Person	Fee
Youth Plaza Pass (Recreation/Lap Swim)	Valid for 25 sessions. \$5 discount for purchase of 25 visits.	20	Person	Fee
Lifeguard Training	American Red Cross certification course	\$170	Person	Fee
Lifeguard Challenge (Re-certification of Lifeguard Challenge)	American Red Cross certification course	\$110	Person	Fee
Water Safety Instructor	American Red Cross certification course	\$170	Person	Fee
Lifeguard Fee	Additional staff charge based on size of event	35	Hour/Lifeguard	Fee
Application Fee-For an event that charges an admission fee	For an event that charges an admission fee	235	Each	Fee
Application Fee-For an event that does not charge an admission fee	For an event that does not charge an admission fee	125	Each	Fee
Merchandise Sales	Advanced approval required	15%	Gross Sales	Fee
Merchandise Sales - Tickets, programs, event t-shirts	Advanced approval required	5%	Gross Sales	Fee
Food Concession Operation		15%	Gross Sales	Fee
BELMONT PLAZA OUTDOOR POOLS				
RENTAL RATES (BASED ON AVAILABLE OUTDOOR POOL)				
Swim/Water Polo Practice Group I - Long Beach-based Public Educational Institutions (whole pool)	Hourly rental of new outdoor pool for swimming or water polo practice for Long Beach-based public educational institutions	\$20	Hour	Fee
Short Course Swim Practice - Group II Teams (Non-Profit with 60% LB residents; space available basis)	Hourly rental of deep end of new outdoor pool for water polo practice for nonprofit groups comprised of at least 60% Long Beach residents	\$6 Short Course	HOUR	Fee
Long Course Swim Practice - Group II Teams (Non-Profit with 60% LB residents; space available basis)	Hourly rental of a 50-meter lane Hourly rental of a 50-meter lane by nonprofit groups comprised of at least 60% Long Beach residents by nonprofit groups comprised of at least 60% Long Beach residents	\$10 Long Course	Hour	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
BELMONT PLAZA OUTDOOR POOLS				
Short Course Swim Practice - Group III Teams (Non-Profit; space available basis)	Hourly rental of a 25-yard or 25-meter lane by nonprofit groups	\$7 Short Course	Hour	Fee
Long Course Swim Practice - Group III Teams (Non-Profit; space available basis)	Hourly rental of a 50-meter lane by nonprofit groups	\$12 Long Course	Hour	Fee
Deep Lane Water Polo Practice - Group II Teams (Non-Profit with 60% LB residents; space available basis)	Hourly rental of deep end of new outdoor pool for water polo practice for nonprofit groups comprised of at least 60% Long Beach residents	\$45 (Deep Lanes)	Hour	Fee
Deep Lane Water Polo Practice - Group III Teams (Non-Profit; space available basis)	Hourly rental of deep end of new outdoor pool for water polo practice for nonprofit groups	\$55 (Deep Lanes)	Hour	Fee
Whole Pool Competition Rental - Groups I & II (Long Beach-based Public Educational Institutions and Non-Profit with 60% LB residents; space available basis)	Hourly rental of entire new outdoor pool for a swimming or water polo competition, by Long Beach-based public educational institutions or by nonprofit groups comprised of at least 60% Long Beach residents	\$85, no Permit Fee; 15% concession sales	Hour	Fee
Whole Pool Competition Rental Group III (Non-Profit; space available basis)	Hourly rental of entire new outdoor pool for a swimming or water polo competition	\$160, \$115 Permit Fee; 15% concession sales	Hour	Fee
Exclusive Use - Small Outdoor Pool	Hourly rental of the entire small outdoor pool (does not include amenities included in existing Private Party – Small Outdoor Pool)	72	Hour	Fee
Private Party - Small Outdoor Pool	Hourly rental of the entire small outdoor pool for parties; includes amenities like tables, chairs, umbrellas and inflatable toys	\$135	Hour	Fee
DAY CAMPS-AQUATICS -TIDELANDS				
Aquatic Camp	Camp is 35 hours per week	165	Child/Week	Fee
Daily Fee	Single day fee used to prorate weeks without five days of camp	37	Child/Day	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
DAY CAMPS-AQUATICS -TIDELANDS				
Counselor-In-Training	Ages 13 – 17, must have completed 8th grade. Participants learn team building activities, camper supervision and boating skills in addition to obtaining valuable Red Cross CPR certification. Participants must be able to attend the entire three-week program. Three week course, 9:00 a.m. - 4:00 p.m.	320	Each	Fee
AQUATIC DAY CAMP EXTENDED CARE				
Child care before and/or after camp				
Aquatic Day Camp A.M. Session (7:00 a.m. - 9:00 a.m.)	Aquatic Day Camp A.M. Session (7:00 a.m. - 9:00 a.m.)	\$28	Week/Child	Fee
Aquatic Day Camp P.M. Session (4:00 p.m. - 6:00 p.m.)	Aquatic Day Camp P.M. Session (4:00 p.m. - 6:00 p.m.)	\$28	Week/Child	Fee
Late Pick-Up Fee Penalty	Fee for each additional 15 minutes per child if picked up after 6:00 p.m.	21	Per 15 Min./Per Child	Penalty
Day Camp Deposit - reserves space in summer camp	Non-refundable deposit to reserve space for each additional week per child	\$30	Week/Child	Fee
COMMERCIAL FILMING LOCATION FEES - TIDELANDS				
Department Sites Rental in Tidelands Commercial filming	Commercial filming site rental fee	255	Hour to Maximum \$800; Plus Staff Costs	Rent
Staff (Tidelands)	Fee for site monitoring	\$30 - \$75	Hour	Rent
Still photo shoot	Still photo shoot in Tidelands areas	\$200	Day	Rent
Belmont Pool Commercial Filming	Commercial filming location fee for Belmont Pool, includes staff	435	Hour, \$4,800 for 12-hour day	Rent
Marina Commercial Filming	Commercial filming location fee for the marinas	270	Hour Plus Staff Costs	Rent
LEEWAY SAILING CENTER - TIDELANDS				
SAILING CENTER RENTALS				
Offered during Sail Club days and hours				
Kayak Rental	Participants must successfully complete a course conducted at Leeway Sailing Center or must pass a skills check prior to rental (will receive a certificate)	\$13	Hour	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
LEEWAY SAILING CENTER - TIDELANDS				
Canoe/Sail Board Rental	Participants must successfully complete a course conducted at Leeway Sailing Center or must pass a skills check prior to rental (will receive a certificate)	\$13	Hour	Rent
Sabot Rental	Participants must successfully complete a course conducted at Leeway Sailing Center or must pass a skills check prior to rental (will receive a certificate)	\$17	Hour	Rent
Capri Rental	Participants must successfully complete a course conducted at Leeway Sailing Center or must pass a skills check prior to rental (will receive a certificate)	\$17	Hour	Rent
Skills Check for Rentals	Participants must successfully complete a course conducted at Leeway Sailing Center or must pass a skills check prior to rental (will receive a certificate)	95	Each	Rent
SAILING CENTER CLASSES				
Kayak Class	10 years and up -- 4 hours/session	49	Session	Fee
Keelboat Class	13 years and up -- 16 hours/session (30' boats)	133	Session	Fee
Sabot Sailing Class - 12 hours/session	8 years and up -- 12 hours/session (8' boats) includes boat rental and all equipment will be provided	120	Session	Fee
Sabot Sailing Class - 20 hours/session	8 years and up -- 20 hours/session (8' boats) includes boat rental and all equipment will be provided	195	Session	Fee
Sabot Race Team	Sabot Race Team	\$250	Four week session	Fee
Capris Sailing Class	13 years and up -- 12 hours/session (14' boats)	120	Session	Fee
Little Leewhalers	7-9 years of age -- basics of canoeing, kayaking, sailing, and beach safety (summer only)	110	Session	Fee
Semi-Private Lessons	Two students	91	Two Hours/Person	Fee
Private Lessons	Individuals	120	Two Hours/Person	Fee
Group Packages	Other cities, nonprofit groups, private organizations - packages vary	\$14 - \$46	Person	Fee
Model Boat Shop	Summer only at Colorado Lagoon (ages 7 and up)	\$65	Participant	Fee
Bay Club Teen Camp	13 years and up -- 12-5 p.m., Mon-Fri	123	Week	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
LEEWAY SAILING CENTER - TIDELANDS				
SAILING CENTER BIRTHDAY PARTY PACKAGES				
Non-Refundable Deposit for all birthday parties	Non-refundable deposit due at time of reservation	\$50	Party Scheduled	Fee
Birthday Party Package "A"	3 hours: includes 1 hour of beach games, 1 hour of for lunch and 1 hour of boating. Pricing based on size of party, package and amenities.	\$260 - \$500	Event	Fee
Birthday Party Package "B"	2 hours: includes 1 hour for beach games or lunch and 1 hour of boating. Pricing based on size of party, package and amenities.	\$205 - \$482	Event	Fee
ENVIRONMENTAL PROGRAMS				
Colorado Lagoon Classes-Educational classes	Educational classes	\$5 - \$58	Class	Fee
Colorado Lagoon Tours-Exploration tour	Exploration tour	\$5 - \$13	Hour	Fee
N.C. Permit Processing Fee	Processing paperwork for guided tour and two bus parking passes	\$40	Each	Fee
Adopt-A- Beach Educational Program	Educational classes: two-three 5th grade classes at each tour	\$8	Participant	Fee
ROLLER HOCKEY				
Forfet Fee - Roller Hockey	Officiating fee for both teams	26	Game	Fee
ROLLERHOCKEY BAYSHORE LEAGUE FEE				
Roller Hockey	Maximum of 15 players ages 18 & up	745	Team	Fee
Roller Hockey Bayshore Youth Fee	Instructional League - ages 5-13 (practices and eight-games)	\$85	Child	Fee
Rink Rental	Bayshore Rink - team practices, parties, or special events - reservations taken at the Adult Sports office, 4700 Deukmejian Drive or call 570-1725	\$43 - \$160	Hour (Includes Staff)	Rent
Roller Hockey Deposits	Non-refundable	\$35.00	Permit	Fee
Roller Hockey Adult Pick-Up Play	Ages 18 & up (14-17 with written consent), full equipment required, 16 players, 2 goalies maximum per session	\$6	1.5 Hours	Fee
ATHLETIC FACILITIES-PERMITS & RESERVATIONS				
Late Fee	Penalties will accrue per month and be added to the total balance owed to offset costs associated with the ongoing payment collections process up to a maximum of one hundred percent (100%) of the amount payable on the due date.	10%	total fees owed/month of non-payment	Penalty

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
ATHLETIC FACILITIES-PERMITS & RESERVATIONS				
Forfeit Fee - Volleyball	Officiating fee for both teams	\$28	Game	Fee
Volleyball Court Resident/Non-Profit (Hourly, 2 Hour Minimum)	Resident/Non-Profit	\$8	Hour/Court	Rent
Volleyball Court Resident/Non-Profit (Daily, 4 or more hours)	Resident/Non-Profit	\$34	Day/Court	Rent
Volleyball Court Commercial/Profit (Hourly, 2 Hour Minimum)	Commercial/Profit	15	Hour/Court	Rent
Volleyball Court Commercial/Profit (Daily)	Commercial/Profit	73	Day/Court	Rent
Beach Area - Adult - Resident/Non-Profit (Hourly, 2 Hour Minimum)	Resident/Non-Profit	12	Hour/Court	Rent
Beach Area - Adult - Commercial/Profit (Hourly, 2 Hour Minimum)	Commercial/Profit	19	Hour/Court	Rent
Beach Area - Youth - Resident/Non-Profit (Hourly, 2 Hour Minimum)	Resident/Non-Profit	9	Hour/Court	Rent
Beach Area - Youth - Commercial/Profit (Hourly, 2 Hour Minimum)	Commercial/Profit	17	Hour/Court	Rent
Court and Beach Area Staff	Staff Monitoring/Assistance	\$30	Hour	Rent
Add/Remove/Move of Volleyball Court	Adding, removing or moving of volleyball court	\$76 plus actual cost of contractor	Each	Fee
Commercial Groups	Commercial Tournaments 15% of Gross Receipts	15%	Event/Gross Receipts	Rent
MARATHON/BIKE RACES FEES (NON SPECIAL EVENT)				
Runs, Walks, etc. Under 100 (Tidelands)	Permit and coordination of marathons, walks, etc. Under 100 participant at event	\$65	Day	Fee
Runs, Walks, etc. 100-400 (Tidelands)	Runs, Walks, etc. 100-400 (Tidelands)	\$130	Day	Fee
Runs, Walks, etc. Over 400 (Tidelands)	Permit and coordination of marathons, walks, etc. Over 400 participants	\$195	Day	Fee
MARINE BUREAU - TIDELANDS FUNDS				
BEACH PARKING				
Hornblower North Parking Lot	Monthly Parking Pass	\$55	Month	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Launch Ramp Fees	Per entry fee for Launch Ramp Entrance	\$12	Per Entry	Rent
Monthly Launch Ramp Card	Monthly fee for unlimited use of any of the Long Beach launch ramps	\$180	Month	Rent
Launch Ramp Card Replacement Fee	Charge to contractors who lose their launch ramp card and request for replacement	\$50	Occurrence	Fee
Rainbow Harbor Events	Fee for events held at Rainbow Harbor	2065	Day or to Maximum \$10,000	Rent
Special Event Parking Fee	Parking fee at all Tidelands parking lots during a special event	\$12-\$20	Event/Vehicle	Rent
MARINA FEES				
Public Seawall Lease Permit Fee	The annual rent is charged on a per square foot basis for water space occupied by docks, floats, ganeways, or piers, including berthing space surrounding the structures. Effective fee amount may be subject to CPI adjustments.	\$0.58 per square foot, charged annually, adjusted by CPI	Sq. foot	Rent
Marina Slip Permit Fee - 15 Foot Slip	Permit Fee for a 15 foot slip (Concrete docks)	\$161.85	Per Month	Rent
Marina Slip Permit Fee-20 Foot Slip	Permit fee for a 20 foot slip (Concrete Docks)	214.76	Per Month	Rent
Marina Slip Permit Fee-25 Foot Slip	Permit Fee for a 25 foot slip (Concrete Docks)	328.03	Per Month	Rent
Marina Slip Permit Fee-30 Foot Slip	Permit Fee for a 30 foot slip (Concrete Dock)	483.05	Per Month	Rent
Marina Slip Permit Fee-35 Foot Slip	Permit Fee for a 35 foot slip (Concrete Docks)	615.62	Per Month	Rent
Marina Slip Permit Fee-40 Foot Slip	Permit Fee for a 40 foot slip (Concrete Docks)	763.26	Per Month	Rent
Marina Slip Permit Fee-45 Foot Slip	Permit Fee on a 45 foot slip (Concret Docks)	898.94	Per Month	Rent
Marina Slip Permit Fee-50 Foot Slip	Permit Fee for a 50 foot slip (Concrete Docks)	1028.62	Per Month	Rent
Marina Slip Permit Fee-55 Foot Slip	Permit Fee for a 55 foot slip (Concrete Dock)	1213.47	Per Month	Rent
Marina Slip Permit Fee-60 Foot Slip	Permit Fee for a 60 foot slip (Concrete Docks)	1323.83	Per Month	Rent
Marina Slip Permit Fee-65 Foot Slip	Permit Fee on a 65 foot slip (Concrete Docks)	1486.31	Per Month	Rent
Marina Slip Permit Fee-70 Foot Slip	Permit Fee for a 70 foot slip (Concrete Docks)	1648.19	Per Month	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Marina Slip Permit Fee-75 Foot Slip	Permit Fee for a 75 foot slip (Concrete Docks)	1826.23	Per Month	Rent
Marina Slip Permit Fee-80 Foot Slip	Permit Fee for an 80 foot slip (Concrete Docks)	2003.59	Per Month	Rent
Marina Slip Permit Fee-85 Foot Slip	Permit Fee for an 85 foot slip (Concrete Docks)	2195.85	Per Month	Rent
Marina Slip Permit Fee-90 Foot Slip	Permit Fee for a 90 foot slip (Concrete Docks)	2,388.18	Per Month	Rent
Marina Slip Permit Fee-95 Foot Slip	Permit Fee for a 95 foot slip (Concrete Dock)	2,595.33	Per Month	Rent
Marina Slip Permit Fee-100 Foot Slip	Permit Fee for a 100 foot slip (Concrete Dock)	2802.54	Per Month	Rent
Marina Slip Permit Fee-105 Foot Slip	Permit Fee for a 105 foot slip (Concrete Docks)	3024.66	Per Month	Rent
Marina Slip Permit Fee-110 Foot Slip	Permit Fee for a 110 foot slip (Concrete Docks)	3,246.86	Per Month	Rent
Marina Slip Permit-115 Foot Slip	Permit Fee for a 115 foot slip (Concrete Docks)	3,483.86	Per Month	Rent
Marina Slip Permit Fee-120 Foot Slip	Permit Fee for a 120 foot slip (Concrete Docks)	3720.87	Per Month	Rent
Recreational Marina Slip Permit Rate for Non-Profit Organizations	Monthly rental fee for regular or temporary slip rental for non-profit organizations. This fee applies to any new non-profit organizations that start slip rental after 10/1/18.	50% of regular rate	Per Month	Fee
Marina Slip Rate for Non-Profit	Monthly rental fee for regular or temporary slip rental for non-profit organizations	50% of regular rate	Per Month	Fee
Marina Temporary Permit Fee-20 foot slip	20 foot slip	259.91	Per Month	Rent
Marina Temporary Permit Fee-25 Foot Slip	25 Foot Slip	405.97	Per Month	Rent
Marina Temporary Permit Fee-30 Foot Slip	30 Foot Slip	584.58	Per Month	Rent
Marina Temporary Permit Fee-35 Foot Slip	35 Foot Slip	745.14	Per Month	Rent
Marina Temporary Permit Fee-40 Foot Slip	40 Foot Slip	923.80	Per Month	Rent
Marina Temporary Permit Fee-45 Foot Slip	45 Foot Slip	1,087.88	Per Month	Rent
Marina Temporary Permit Fee-50 Foot Slip	50 Foot Slip	1,244.82	Per Month	Rent
Marina Temporary Permit Fee-55 Foot Slip	55 Foot Slip	1,468.53	Per Month	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Marina Temporary Permit Fee-60 Foot Slip	60 Foot Slip	1,602.08	Per month	Rent
Marina Temporary Permit Fee-65 Foot Slip	65 Foot Slip	1,798.72	Per Month	Rent
Marina Temporary Permit Fee-70 Foot Slip	70 Foot Slip	1,995.34	Per Month	Rent
Marina Temporary Permit Fee-75 Foot Slip	75 Foot Slip	2210.03	Per Month	Rent
Marina Temporary Permit Fee-80 Foot Slip	80 Foot Slip	2,424.77	Per Month	Rent
Marina Temporary Permit Fee-85 Foot Slip	85 Foot Slip	2,657.53	Per Month	Rent
Marina Temporary Permit Fee-90 Foot Slip	90 Foot Slip	2,890.23	Per Month	Rent
Marina Temporary Permit Fee-95 Foot Slip	95 Foot Slip	3140.96	Per Month	Rent
Marina Temporary Permit Fee-100 Foot Slip	100 Foot Slip	3,391.63	Per Month	Rent
Marina Temporary Permit Fee-105 Foot Slip	105 Foot Slip	3660.51	Per Month	Rent
Marina Temporary Permit Fee-110 Foot Slip	110 Foot Slip	3929.28	Per Month	Rent
Marina Temporary Permit Permit-115 Foot Slip	115 Foot Slip	4216.18	Per Month	Rent
Marina Temporary Permit Fee-120 Foot Slip	120 Foot Slip	4502.92	Per Month	Rent
Marina Slip Permit Fee-Alamitos Bay Landing Dock	Alamitos Bay Landing Dock	6.50	Lineal Foot/Month, 10-Ft. Minimum	Rent
Berth Rental Fee (Berths 1, 2, & 3) @ Alamitos Bay	MONTHLY RENTAL FEE FOR THE BERTHS 1, 2 AND 3 AT ALAMITOS BAY	2519.40	Per Month	Rent
Marina Slip Permit Fee-Wide Slip Fee	Wide Slip Fee	1.10	Square Foot of Permitted Space/Mont h	Rent
Marina Slip Permit Fee-Rainbow Harbor/Alamitos Bay Commercial Slip Fee	Rainbow Harbor/Alamitos Bay Commercial Slip Fee	19.15	Lineal Foot/Month, 10-Ft. Minimum	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Marina Slip Permit Fee-Permanent End Tie Slip Fee	Permanent End Tie Slip Fee	1.1 Times the Wide Slip Permit Fee with 1-Year Agreement	Month	Rent
Marina Slip Permit Fee-Personal Watercraft Slip Fee	Personal Watercraft Slip Fee	6.50	Foot/Month, 10-Ft. Minimum	Rent
Marina Slip Permit Fee-Commercial Slip Fee	Commercial Slip Fee	1.2 Times the Applicable Slip Rate for Vessels Assigned to Commercial Floats	Month	Rent
Large Vessel Temporary Berthing Fee (Rainbow Harbor, if available)	Vessels over 90' (All Days)	\$393	Day	Rent
Bait Gathering Permit Fee	To gather bait from docks in Marinas	270	Year	Fee
Waiting List	Marina Waiting List Administrative Fee	\$60	Year (or Portion thereof), List	Fee
Visiting Vessel Permit Fee	Visiting Vessel Permit Fee	\$1.38	Foot/Night, \$18 Daily Minimum	Rent
Visiting Vessel FOB Key Charge	Charge for FOB key to access dock gate at marina	\$5	Key	Fee
Visiting Vessel-Short visit, up to four hours	Short visit, up to four hours	7	Visit	Rent
Visiting Vessel-Overtime Charge, for vessels not leaving by 12 o'clock noon	Overtime Charge, for vessels not leaving by 12 o'clock noon	\$35	Day Plus Daily Fee	Rent
Boatowner/Visiting Vessel Restroom Keys-Slip permittees	Refundable deposit for slip permittees	\$100	Key	Fee
Boatowner/Visiting Vessel Restroom Keys-Guest permittees	Refundable deposit for guest permittees	\$100	Key	Fee
Mail Box Key Deposit	Refundable deposit for mail box	100	Key	Fee
Power Stanchion Locks	Refundable deposit for locks for power stanchions	\$22	Lock	Fee
Land Lockers-3-foot locker	3-foot locker	\$8.50	Month	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Land Lockers-4-foot locker or Bike Locker	4-foot locker or Bike Locker	\$10.05	Month	Fee
Small Boat Storage Rack Permit Fee	Small Boat Storage Rack Permit Fee	\$13.21	Month Payable in Advance	Fee
Marina Yard Storage Space-Non-profit organizations	Rental fee for non-profit organizations	50% of regular rate	Square Foot of Permitted Space per Month	Fee
Marina Yard Storage Space-For-profit organizations	Rental fee for for-profit organizations	\$0.75	Square Foot of Permitted Space per Month	Fee
Temporary Slip Authorization	Administrative Fee	\$50.24	Each	Fee
Temporary Slip - Late Fee	Penalty for late payment on month to month temporary slips.	10%	total fees owed/month of non-payment	Penalty
Towing Fee	Towing of unauthorized vessel (Lifeguard/Fire Department Fee)	\$175	Each	Fee
Impound Fee	Charged to owner for unauthorized vessel for: non-payment; not being in proper slip; improper or non-documentation; overstaying allotted time; or Marina rule(s) violation that is deemed necessary to impound vessel.	\$130	Each	Fee
Impound Fee for Vessels from Dry-Boat Storage Areas (On Land)	Fee to impound and release smaller vessels impounded by Marine Bureau. Impound vessels include kayaks, sabots, dinghies, lazars, etc. from land storage areas such as sand stakes along the Peninsula and Bayshore Dry-Boat Storage.	\$25	Occurrence	Fee
Storage Fee (Wet Storage)	Fee for unauthorized vessel impounded by the Marine Bureau. The vessel is then stored on the water once impounded.	\$3.00	Foot/Day	Fee
Storage Fee (Dry Storage)	Fee for unauthorized vessel impounded by the Marine Bureau. The vessel is then stored on land once impounded.	\$1.15	Day	Fee
Lien Process Fee	Charged to boat owner for abandoned vessel.	\$100-\$300	Occurrence	Penalty
Liveaboard Permit fee, permits issued on or after October 1, 2003-One Tenant	One Tenant	\$197	Month	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Liveaboard Permit fee, permits issued on or after October 1, 2003-Second Tenant	Second Tenant	62	Each	Rent
Liveaboard Permit fee, permits issued on or after October 1, 2003-Additional Tenants	Additional Tenants	\$51	Each/Month	Rent
Liveaboard Permit fee, permits issued between July 1, 1995 - September 30, 2003-One Tenant	One Tenant	\$120	Month	Rent
Liveaboard Permit fee, permits issued between July 1, 1995 - September 30, 2004-Second Tenant	Second Tenant	\$45	Month	Rent
Liveaboard Permit fee, permits issued between July 1, 1995 - September 30, 2005-Third, and each additional Tenants	Third, and each additional Tenants	\$35	Each/ per Month	Rent
Liveaboard Permit fee, permit issued before July 1, 1995	Liveaboard Permit	115.00	Month	Rent
Live Aboard Key Deposit	Live aboards are issued a hard key to utilize in case the electronic FOB system malfunctions; often when boat owners leave the marina, these keys are not returned making it difficult to maintain control over security.	105	Each	Fee
Landing Permit Fee	At Commercial Floats	\$125 plus \$1 per foot, plus 5% of gross receipts	Each	Fee
Shoreboat, Rowboat, Yacht Tender	Mooring Fee	\$7	Foot/Month	Fee
Parking Decal Replacement	Replacement or non-returned penalty fee	\$60	Decal	Fee
Administrative Processing Fee	I) Reinstating a cancelled permit; II) completion of the permit process, but customer decides not to move in	\$153	Each	Fee
Slip Transfer Fee	Transfer to different slip	\$36	Transfer	Fee
Leave of Absence Fee	Leave of Absence from slip	\$68	Six-month Period	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Bulletin Board Posting-8" x 5"	8" x 5"	32.15	Month	Fee
Bulletin Board Posting-8 1/2" x 11"	8 1/2" x 11"	55	Month	Fee
Harbor Structure Plan Check Fee-1 to 4 slips or spaces - 1st Submittal	Harbor Structure Plan Check Fee-1 to 4 slips or spaces - 1st Submittal. 1 to 4 slips or spaces	\$100 for First Submittal, \$35 for each additional submittal	Submittal	Fee
Harbor Structure Plan Check Fee-1 to 4 slips or spaces - Each Additional Submittal	Harbor Structure Plan Check Fee-1 to 4 slips or spaces - Each Additional submittal. 1 to 4 slips or spaces	\$35	Submittal	Fee
Harbor Structure Plan Check Fee-5 or more slips or spaces - 1st Submittal	Harbor Structure Plan Check Fee-1 to 4 slips or spaces - 1st Submittal. 5 or more slips or spaces	\$265 for First Submittal, \$35 for each Additional Submittal	Submittal	Fee
Harbor Structure Plan Check Fee-5 or more slips or spaces - Each Additional Submittal	Harbor Structure Plan Check Fee-5 or more slips or spaces - Each Additional Submittal	\$35	Submittal	Fee
Harbor Structure Plan Check Fee -Unpermitted Work	Penalty for failure to submit Harbor Structure Plans prior to commencement of construction	Applicable Plan Check Fees, plus Penalty of \$1,000	Penalty	Fee
Harbor Structure Construction Inspection Fee-Float and Brow	Float and Brow	\$100	Permit	Fee
Harbor Structure Construction Inspection Fee-Float, Brow & Pier	Float, Brow & Pier	135	Permit	Fee
Harbor Structure Construction Inspection Fee-Davits	Davits	10.35	Davit	Fee
Harbor Structure Construction Inspection Fee, Commercial Floats, 1 - 1,000 lineal feet	Commercial Floats, 1 - 1,000 lineal feet	2	Foot	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Harbor Structure Construction Inspection Fee, Commercial Floats, over 1,000 lineal feet	Commercial Floats, over 1,000 lineal feet	\$1,555 plus \$0.30 per Foot/Permit for each Lineal Foot in Excess of 1,000 Lineal Feet	Lineal Foot	Fee
Harbor Structure Annual Inspection Fee-Float and Brow	Float and Brow	\$135	Year	Fee
Harbor Structure Annual Inspection Fee-Float, Brow & Pier	Float, Brow & Pier	\$135	Year	Fee
Harbor Structure Annual Inspection Fee-Davits	Davits	\$135	Davit/Year	Fee
Harbor Structure Annual Inspection Fee, Commercial Floats, 1 - 1,000 lineal feet	Commercial Floats, 1 - 1,000 lineal feet	2.2	Foot/Year	Fee
Harbor Structure Annual Inspection Fee, Commercial Floats, over 1,000 lineal feet	Commercial Floats, over 1,000 lineal feet	\$1,555 plus \$0.30 per Foot/Permit for each Lineal Foot in Excess of 1,000 Lineal Feet	Lineal Foot	Fee
Harbor Structure Reinspection Fee-Float and Brow	Float and Brow	\$135	Inspection	Fee
Harbor Structure Reinspection Fee-Float, Brow & Pier	Float, Brow & Pier	\$135	Inspection	Fee
Harbor Structure Reinspection Fee-Davits	Davits	\$135	Inspection	Fee
Harbor Structure Reinspection Fee, Commercial Floats, 1 - 1,000 lineal feet	Commercial Floats, 1 - 1,000 lineal feet	1.9	Foot/Inspection	Fee
Harbor Structure Reinspection Fee, Commercial Floats, over 1,000 lineal feet	Commercial Floats, over 1,000 lineal feet	\$1,555 plus \$0.30 per Foot/Permit for each Lineal Foot in Excess of 1,000 Lineal Feet	Lineal Foot	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Harbor Structure Permit Transfer Fee-Float and Brow for Private or Commercial	Float and Brow	\$135	Each	Fee
Harbor Structure Permit Transfer Fee-Pier	Pier	\$135	Each	Fee
Seawall Mooring Permit Fee	Seawall Mooring Permit. No refunds will be given for change in the boat size.	\$11.50	Lineal Foot of Overall Length of Vessel/Year	Fee
Seawall Mooring Permit Late Payment Penalty	Penalty assessed for being 30 days past due of pay-by date for seawall mooring permit annual due	10%	30 Days	Penalty
Structure Launch Permit Fee-Launch of dock structure	Launch of dock structure	\$40	Launch	Fee
Structure Launch Permit Fee-Additional part of the same dock structure	Additional part of the same dock structure	\$15	Launch	Fee
Shore Mooring Permit Fee-Sandstake	Sandstake - No refunds given for cancellation within the permitted year.	\$295	11-Month Period	Fee
Shore Mooring Permit Fee-Bay Rack	Annual Fee for Rental of a Bay Rack - No refunds given for cancellation within the permitted year.	\$200	Year	Fee
Shore Mooring Permit Fee - Bay Rack (Second Vessel)	Annual Fee for second vessel stored in a permitted Bay Rack. Prerequisite: Patron must have a permitted bay rack and preapproval must be obtained by Marine Bureau. Fee is 50% of Bay Rack annual fee.	\$100	Year	Fee
Shore Mooring Permit Fee	Waiting List Administrative Fee (Shore Mooring)	\$33	Application	Fee
Dry Boat Storage	Dry Boat Storage, up to 25'	\$112	Month/Vessel or Partial Month	Fee
Dry Boat Storage - Transfer Fee	Transfer fee at Dry Dock Storage	\$28	Per Transfer	Fee
Dry Boat Storage - Non-Profit	Dry Boat Storage - Non-Profit	50% of regular rate	Per Month	Fee
Dry Boat Storage Reinstatement Fee	Charge assessed once dry boat storage permit is cancelled	\$25	Each	Penalty
Dry Boat Storage	Dry Boat Storage, up to 30'	\$140	Month/Vessel or Partial Month	Fee

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Dry Boat Storage Wait-List Fee	Waiting list administrative fee for storage at Marine Stadium Lot and any future dry-boat storage loactions.	\$32	Occurrence	Fee
Dredging of Private Property	Dredging of Private Property	605	Hour	Fee
Red Tag Removal Fee	Fee applied to boat owner when a red tagged item is removed/disposed of by City staff	40	Each Item Removed	Fee
Dock Box Cleaning Fee	Fee to cover staff cost of emptying out, cleaning and transporting of items left behind after boat owner leaves the marina. Propose minimum of 2 hours with a maximum of 4 hours.	\$44	Per Hour/2 Hour Minimum, 4 Hour Maximum	Fee
Newsletter Fee - 1/4th page Ad Space/Issue	1/4th page ad in the Marina Reader	\$200	Per Ad/Per Issue	Fee
Newsletter Fee - 1/8th page Ad Space/Issue	1/8th page ad in the Marina Reader	\$135	Per Ad/Per Issue	Fee
Slip Permit Holding Fee	Non-refundable fee to hold slip for 30 days, while owner obtains vessel	50% of actual slip monthly fee	Month	Fee
Shore Mooring Racks and Sandstake Transfer Fee	Request to transfer to another location within the permitted area	\$100	Per Transfer	Fee
Shore Mooring Racks and Sandstake Re-Instatement Fee	To reinstate customer who are past due on their account	\$100	Per Re-Instatement	Fee
FACILITY RENTAL FEES				
Non-profit Group Fundraising/Publicity/Promotional Events Fees				
Facility/Beach Rental Fees-Beach Rental: Less than 500 people	Facility Use Fee for rental of public beach for an event with less than 500 people.	\$405	Day	Rent
Facility/Beach Rental Fees-Beach Rental: 500 - 1,000 people	Facility Use Fee for rental of public beach for an event with 500 - 1,000 people.	\$980	Day	Rent
Facility/Beach Rental Fees-Beach Rental: 1,000 - 2,000 people	Facility Use Fee for rental of public beach for an event with 1,000 - 2,000 people	\$1,240	Day	Rent
Facility/Beach Rental Fees-Beach Rental: More than 2,000 people	Facility Use Fee for rental of public beach for an event with more than 2,000 people	\$2,065	Day	Rent
Marine Stadium Use Fee-Tier 1 (Monday through Friday)	Facility Use fee for an event that is free and open to the public, requires no participation fee and/or donation, requires no set up, no alcohol sales and/or consumption.	\$255	Event/Week day	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Marine Stadium Use Fee-Tier 1 (Saturday and Sunday)	Facility Use fee for an event that is free and open to the public, requires no participation fee and/or donation, requires no set up, no alcohol sales and/or consumption. Event is held on a Saturday or Sunday.	\$510	Event/Week end	Rent
Marine Stadium Use Fee-Tier 4 (Saturday and Sunday)	Facility Use Fee for a private event in an enclosed venue with controlled access and exclusive use. Event is held on a Saturday or Sunday with a Marine Bureau Special Use Permit ONLY. NO ALCOHOL PERMITTED.	\$2,550	Event/Week end	Rent
Marine Stadium Use Fee-Tier 4 (Monday through Friday)	Facility Use Fee for a private event in an enclosed venue with controlled access and exclusive use with a Marine Bureau Special Use Permit ONLY. NO ALCOHOL PERMITTED.	\$1,275	Event/Week day	Rent
Marine Stadium Use Fee-Tier 3 (Saturday and Sunday)	Facility Use Fee for an event that is open to the public AND requires a participant ticket/fee/donation, with controlled access and exclusive use. Event is held on a Saturday or Sunday.	\$1,530	Event/Week end	Rent
Marine Stadium Use Fee-Tier 3 (Monday through Friday)	Facility Use Fee for an event that is open to the public AND requires a participant ticket/fee/donation, with controlled access and exclusive use.	\$765	Event/Week day	Rent
Marine Stadium Use Fee-Tier 2 (Saturday and Sunday)	Facility Use fee for an event that is open to the public AND requires a participant ticket/fee/donation, or a fundraising event (permittee must have a current Charitable Solicitation Permit on file with the City). Event is held on a Saturday or Sunday.	\$765	Event/Week end	Rent
On-Site Staff Fee	For custodial, monitoring, etc.	\$75	Per hour, minimum of 2 hours	Fee
Custodial Fee	Supply and Restock	\$75	Event	Fee
Tidelands Facility Rental Fee - Tier 1	Facility Use Fee for rental of 223 Marina Dr., Mossey Kent Park, 72nd, Marine Park, Marine Stadium Park, Colorado Lagoon, Naples Plaza, or other green spaces or docks in Tidelands as approved by the City. Tier 1 is defined as: an event that is free and open to the public, requires NO participation fee and/or donation, requires no set up, no alcohol sales and/or consumption.	\$305.00	Day	Rent

MASTER FEES AND CHARGES

DEPARTMENT: PARKS, RECREATION, & MARINE				
Fee Name	Description	Fee	Per	Type
MARINE BUREAU - TIDELANDS FUNDS				
Tidelands Facility Rental Fee - Tier 2	Facility Use Fee for rental of 223 Marina Dr., Mossey Kent Park, 72nd, Marine Park, Marine Stadium Park, Colorado Lagoon, Naples Plaza, or other green spaces or docks in Tidelands as approved by the City. Tier 2 is defined as: an event that is free and open to the public, AND requires a participation fee and/or donation, or a fundraising event (Permittee must have a current Charitable Solicitation Permit on file with the City).	\$610.00	Day	Rent
Marine Stadium Use Fee-Tier 2 (Monday through Friday)	Facility Use fee for an event that is open to the public AND requires a participant ticket/fee/donation, or a fundraising event (permittee must have a current Charitable Solicitation Permit on file with the City).	\$385	Day	Rent
Tidelands Facility Rental Fee - Tier 3	Facility Use Fee for rental of 223 Marina Dr., Mossey Kent Park, 72nd, Marine Park, Marine Stadium Park, Colorado Lagoon, Naples Plaza, or other green spaces or docks in Tidelands as approved by the City. Tier 3 is defined as: an event that is open to the public AND requires a participant ticket/fee/donation, with controlled access and exclusive use.	\$1,020.00	Day	Rent
Cleaning Deposit	Rental facility cleaning deposit.	290	Day	Fee
Merchandise Sales	Sale of merchandise on City property	15%	Gross Sales	Fee
Permit Administrative Fee (Tidelands)	Permit Administrative Fee (Tidelands)	\$40	Each	Fee
Permit to Gather (Tidelands) 1-25 persons	Permit to Gather at nonreservable areas within Tidelands for private event. Limited to 1-25 persons.	\$0 plus \$40 Permit Admin Fee	Permit	Fee
Permit to Gather (Tidelands) 26 - 100 persons	Permit to Gather at nonreservable areas within Tidelands for private event. Limited to 26 - 100 persons	\$32 plus \$40 Permit Admin Fee	Permit	Fee
Permit to Gather (Tidelands) 101 - 200 persons	Permit to Gather at nonreservable areas within Tidelands for private event. Limited to 101 - 200 persons	\$86 plus \$40 Permit Admin Fee	Permit	Fee
Permit to Gather (Tidelands) 201+ persons	Permit to Gather at nonreservable areas within Tidelands for private event. Limited to 201+	\$180 plus \$40 Permit Admin Fee	Permit	Fee