

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W17a

5-21-0539 (Gomez)

APRIL 6, 2022

EXHIBITS

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Exhibit 1 – Location Map

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Exhibit 3 – Community Character Analysis

Exhibit 4 – County of LA Assessor's Map



Project Location



Project Site

Exhibit 1

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California Coastal
Commission

A NEW THREE STORY PLUS ROOF DECK RESIDENCE:

GOMEZ RESIDENCE

247 29TH STREET
HERMOSA BEACH, CA. 90254



2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: (310) 316-8888 WWW.TOMARO.COM

PROJECT

**GOMEZ
RESIDENCE**
247 29th Street
HERMOSA BEACH, CA 90254

STAMP

PROJECT NUMBER

20036

PRINT DATE

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Exhibit 2

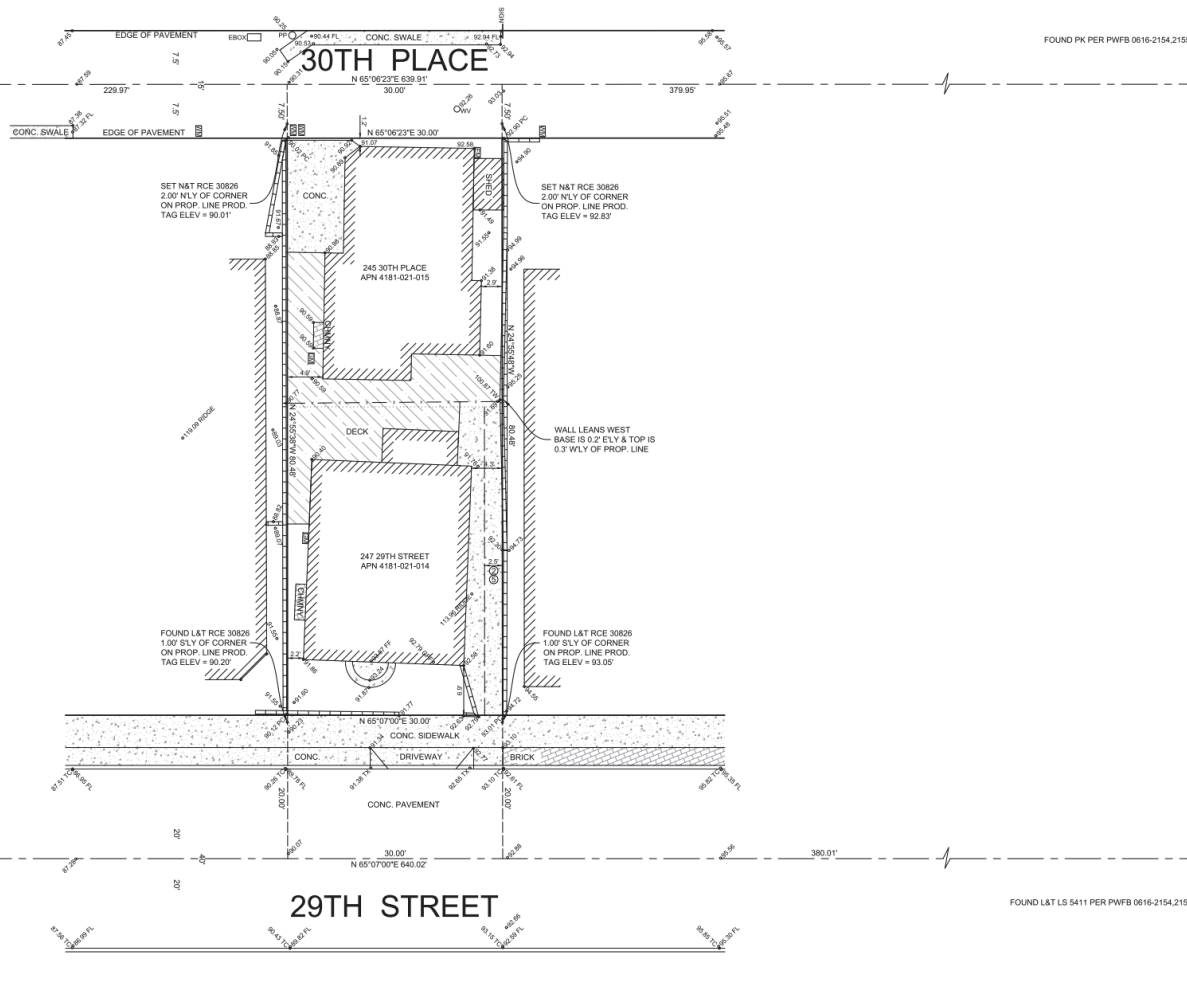
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California Coastal
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MANHATTAN AVENUE

MORNINGSIDE DRIVE



NOTE ON 245 30TH PLACE, APN 4181-021-015:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

② PARCEL 2 - EASEMENT FOR RIGHT OF PASSAGE AND INCIDENTAL PURPOSES AS PER MAP RECORDED IN BOOK 9, PAGE 190 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDED OF SAID COUNTY, AS GRANTED TO DANIEL F. BERNEY AND SUMI BERNEY IN THE DEED RECORDED JUNE 29, 1988 AS INSTRUMENT NO. 88-1027949 OF O.R.

ORANGE COAST TITLE COMPANY OF SOUTHERN CALIFORNIA - LOS ANGELES DIVISION
ORDER NO. 305-1505775-19
DATED APRIL 7, 2014

NOTE ON 247 29TH STREET, APN 4181-021-014:
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③ ITEM #5 - EASEMENT RECORDED JUNE 29, 1988 AS INSTRUMENT NO. 88-1027949, OF O.R. FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES.

ORANGE COAST TITLE COMPANY OF SOUTHERN CALIFORNIA - LOS ANGELES DIVISION
ORDER NO. 305-1409776-19
DATED OCTOBER 18, 2012

DENN ENGINEERS
3914 DEL AMO BLVD., SUITE 921
TORRANCE, CA 90503 (310) 542-9433

SURVEY AND TOPOGRAPHY
FOR
HERCULEZ GOMEZ
6861 E. MESQUITE AVENUE
LAS VEGAS, NV 89110-4112
PHONE 310-774-6617

JOB ADDRESS
247 29TH STREET & 245 30TH PLACE
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION
LOT 15, BLOCK 115
SHAKESPEARE
M.B. 9-190
APN 4181-021-014 & 015

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY: KY CHECKED BY: TS

DRAWN ON: MARCH 13, 2020

REVISIONS
REVISIONS

LEGEND		
	EXISTING BUILDINGS	BRICK
	CONCRETE	WOOD DECK
	EXISTING ELEVATION	
	EXISTING CONTOUR	
	BLOCK WALL	
	EXISTING FENCE	
	BEGINNING OF CURVE RETURN	
	CENTERLINE	
	CHWLN LINK	
	EASTERLY	
	ELECTRIC METER	
	FENCE	
	FOUND	
	FINISH FLOOR	
	FIRE HYDRANT	
	FLOW LINE	
	GARAGE FINISH FLOOR	
	GAS METER	
	GUT WIRE	
	LEAD AND TAG	
	MANHOLE	
	NORTHERLY	
	PROPERTY CORNER / PROP. LINE	
	PROPERTY LINE / PROP. LINE	
	POWER POLE	
	PARAPET	
	SPRINKLER AND WASHDOWN	
	SOUTHERLY	
	SPRINKLER	
	SANITARY SEWER CLEAN OUT	
	SANITARY SEWER MANHOLE	
	STAKE / STAKE & TAG	
	STREET LIGHT	
	TOP OF CURB	
	TOP OF WALL / T.O.W.	
	TOP OF DRIVEWAY APRON	
	WESTERLY	
	WATER METER	

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLAN FOR CLARITY.
IF THERE ARE ANY QUESTIONS, PLEASE CONTACT DENN ENGINEERS AT (310) 542-9433, M-F 9:00 AM TO 5:00 PM.

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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY.

TOMARO

ARCHITECTURE
2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: (310) 316-8888 WWW.TOMARO.COM

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GOMEZ RESIDENCE
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Exhibit 2

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PROJECT SUMMARY

PROJECT LOCATION: 247 29TH STREET
LEGAL DESCRIPTION: LOT, 15 BLOCK, 115 REGION / CLUSTER, 14 / 14181
ASSESSOR PARCEL NO.: 4181-021-014 + 4181-021-015
ZONING: R-2
SCOPE OF WORK: PLEASE SELECT ALL APPLICABLE AREAS OF WORK:

X	NEW SINGLE-FAMILY	PATIO COVER
	ADDITION	TRELLIS
X	ACCESSORY DWELLING UNIT	POOL/SPA
	REMODEL	STORAGE UNIT
	EXTERIOR MODIFICATIONS	SHED
	ROOF MODIFICATIONS	MECHANICAL EQUIPMENT (A/C, WATER HEATER)
	DRIVEWAY MODIFICATIONS	UTILITY METERS (WATER, GAS ETC.)
	OTHER:	

Description:
 NEW 3 STORY + ROOF DECK SFR W/ ADU

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)

Existing	Proposed
GARAGE (INTERIOR DIMENSIONS)	459 SF
1ST LEVEL LIVING AREA	245 SF + 689 SF ADU
2ND LEVEL LIVING AREA	1318 SF
DECKS/BALCONIES	188 SF
3RD LEVEL LIVING AREA	1283 SF
DECKS/BALCONIES	322 SF + 264 SF ROOF DECK
TOTAL LIVING AREA	3607 SF
TOTAL DECKS/BALCONIES	754 SF
NO. OF BEDROOMS	3 + 1 ADU
NO. OF BATHROOMS	4 + 1 ADU

ZONING INFORMATION	REQUIRED	PROVIDED
AREA:		
LOT AREA		2414.25 SF
LOT COVERAGE	65% MAX = 1569.26 SF	1568.53 SF = 64.9%
YARDS:		
FRONT	5'	5'
SIDE	3'	3'
REAR	3 FF	3 FF, T SF+TF
PARKING AND DRIVEWAYS:		
NUMBER OF SPACES	2	2
GUEST SPACES	1	1
PARKING SETBACK		
PARKING STALL DIMENSION	8.5'X20' + 9'X22' GUEST	8.5'X20' + 9'X22' GUEST
TURNING AREA		
DRIVEWAY WIDTH	28' - 11'58" TOTAL WIDTH	
DRIVEWAY MAXIMUM SLOPE	12.5%	12.3%

OPEN SPACE:		
ON GRADE	0 SF	0 SF
DECKS/BALCONIES	300 SF	306 SF
TOTAL	300 SF	306 SF

BASEMENT QUALIFICATION CALCULATION (REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND BASEMENT)

1ST LEVEL F.F. ELEVATION	
LINEAL FEET (LF) OF PERIMETER	
LF OF PERIMETER +6' FROM GRADE TO F.F. ABOVE	
% OF PERIMETER < 6' TO FF ABOVE	

F:\695\cd\forms\handouts\application\Plan\submit\handout_Rack\Com\Work_Individual\sheet\Project Summary (2018)

LOT SIZE = 2414.25 SF
 ALLOWABLE LOT COVERAGE:
 2414.25 X .65 = 1569.26 SF
 LOT COVERAGE = 1568.53 SF
 1568.53 / 2414.25 X 100 = 64.9%

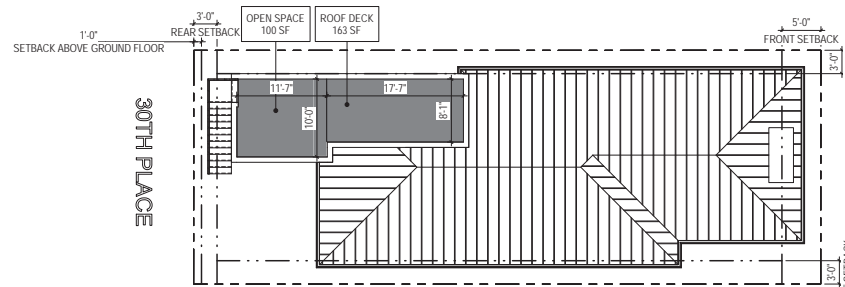
AREA SCHEDULE		
AREA TYPE	NAME	AREA

FIRST FLOOR PLAN		
Building Common Area	GARAGE	459 SF
Building Common Area	MECH.	22 SF
Floor Area	ADU LIVABLE	689 SF
Floor Area	LIVABLE	246 SF

SECOND FLOOR PLAN		
Exterior Area	COVERED BALCONY	168 SF
Floor Area	LIVABLE	1318 SF

THIRD FLOOR PLAN		
Exterior Area	BALCONY	116 SF
Exterior Area	OPEN SPACE	206 SF
Floor Area	LIVABLE	1283 SF

ROOF DECK		
Exterior Area	OPEN SPACE	100 SF
Exterior Area	ROOF DECK	163 SF
		4771 SF



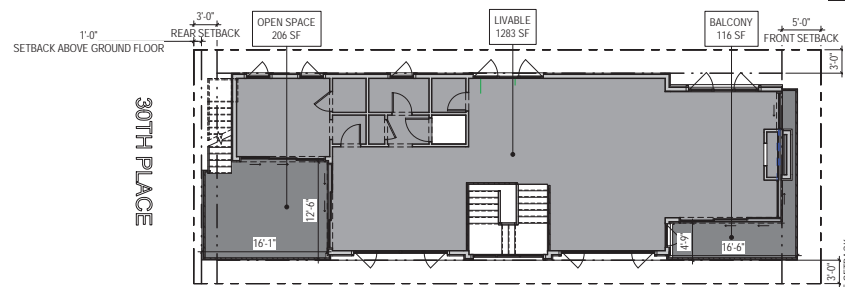
ROOF DECK PLAN

SCALE: 1/8" = 1'-0"



AREA LEGEND

Exterior Area



THIRD FLOOR PLAN

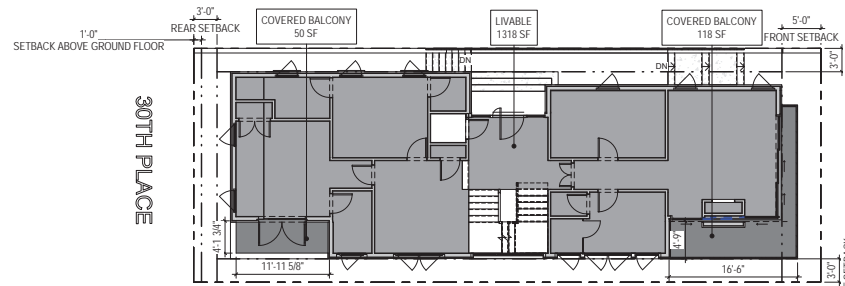
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AREA LEGEND

Exterior Area

Floor Area



SECOND FLOOR PLAN

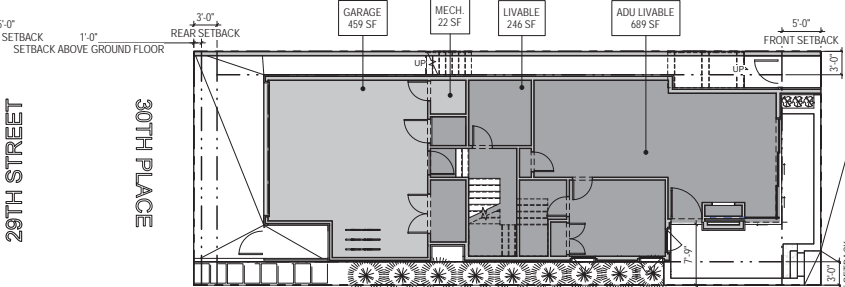
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AREA LEGEND

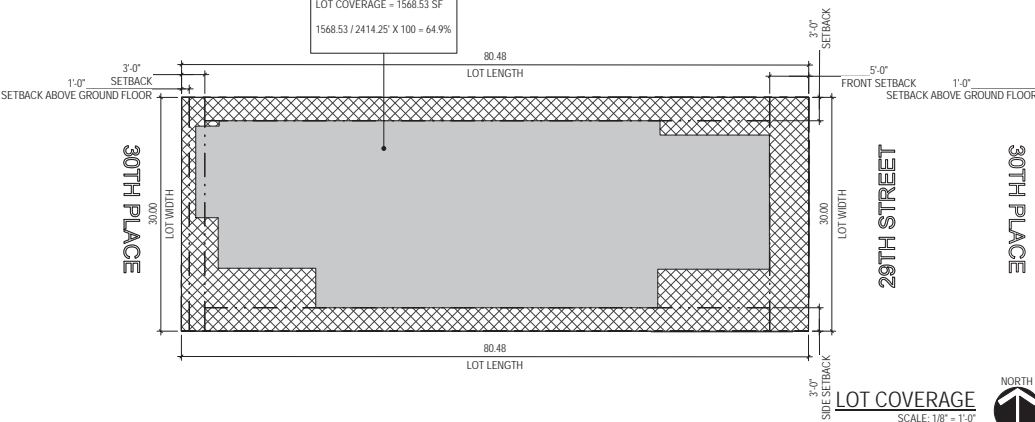
Building Common Area

Floor Area



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



LOT COVERAGE

SCALE: 1/8" = 1'-0"



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 247 29th Street
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29TH STREET

30TH PLACE

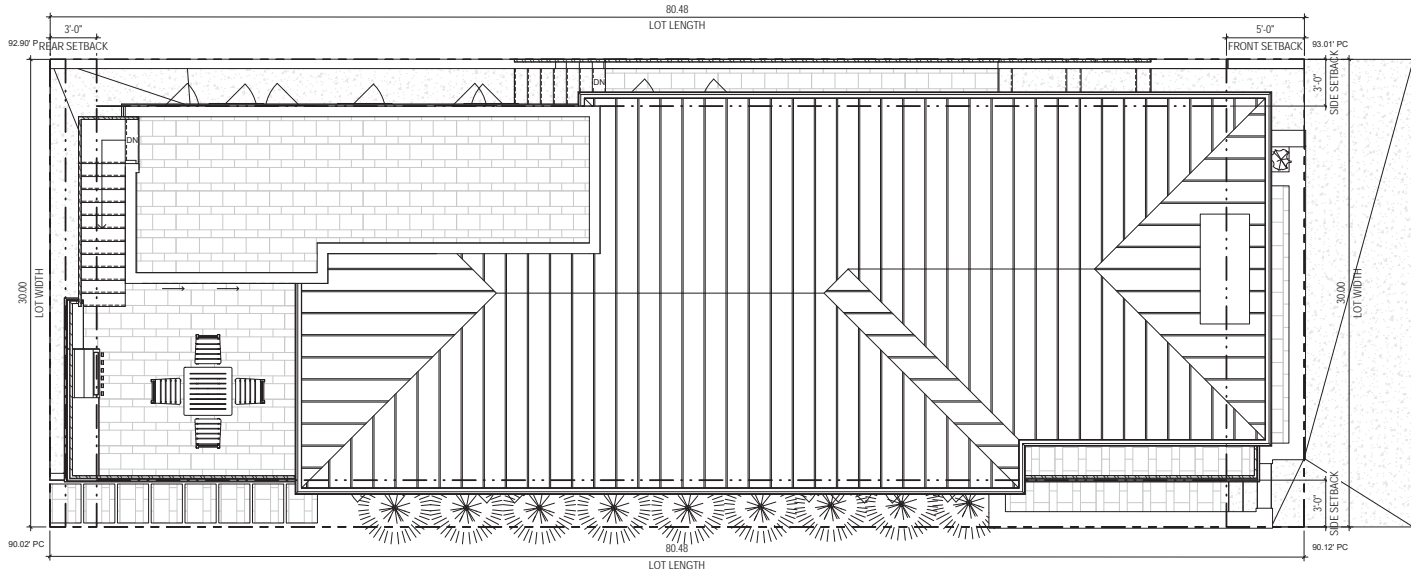


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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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- ADDITIONAL NOTES:
1. OUTDOOR SHOWER TO BE COLD WATER RINSE ONLY TO PERCOLATE INTO THE GROUND.
 2. A FULL REFRIGERATOR, 4-TOP STOVE, AND GARAGE DISPOSAL SHALL BE PROVIDED FOR THE ADU.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



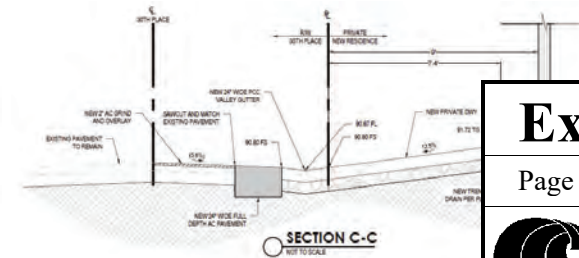
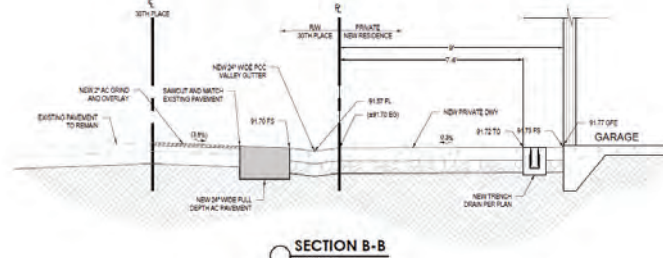
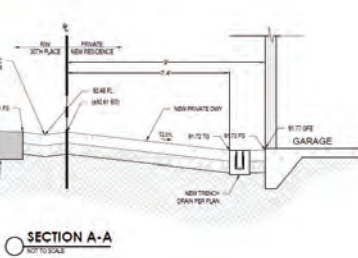
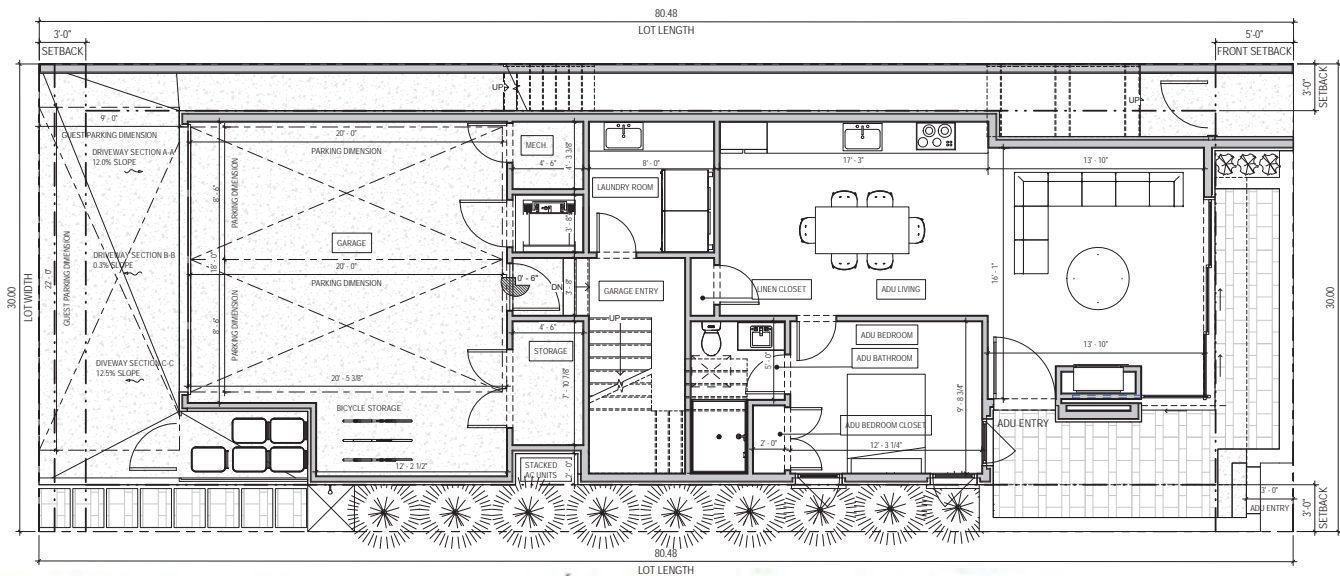
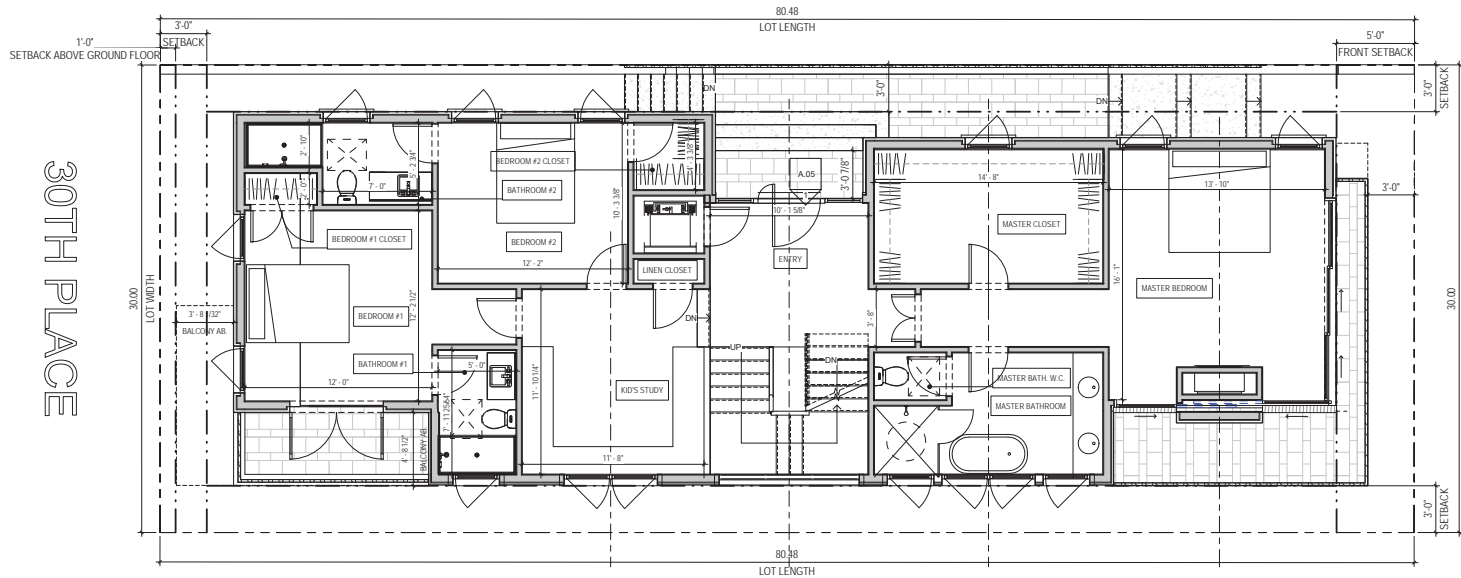
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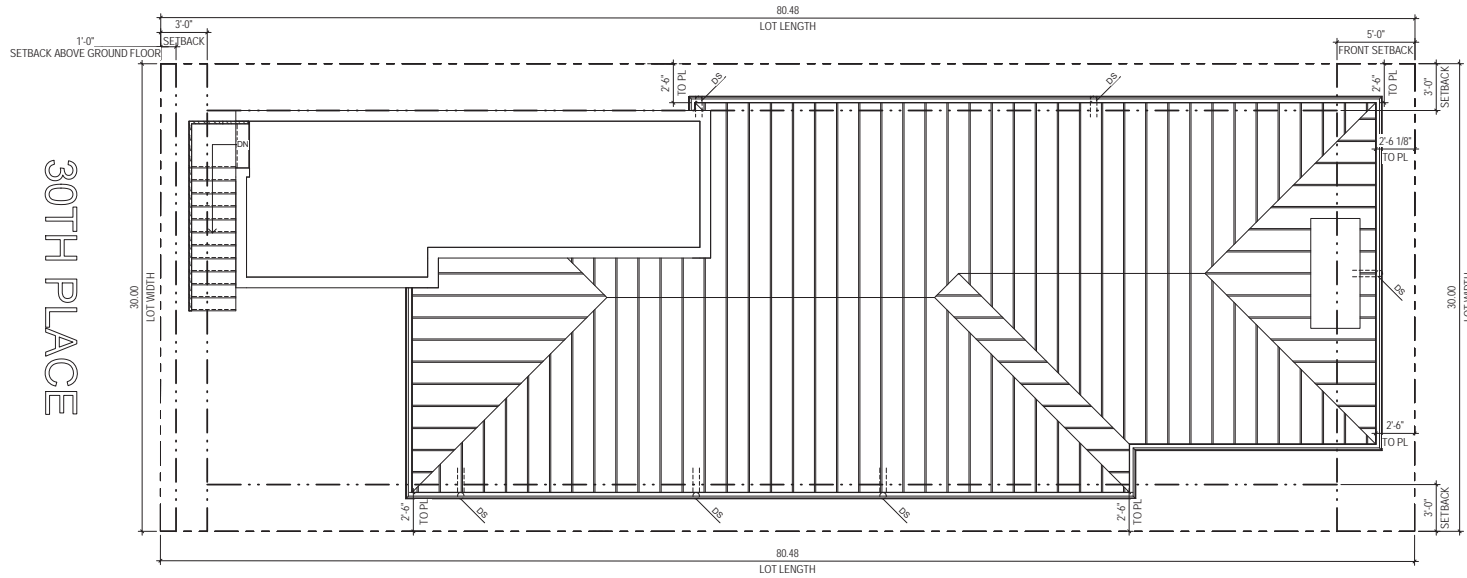
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ADDITIONAL NOTES:
1. A CONDUIT WILL BE PROVIDED FROM THE ROOF TO THE ELECTRICAL SERVICE PANEL TO ACCOMMODATE FOR FUTURE SOLAR INSTALLATION



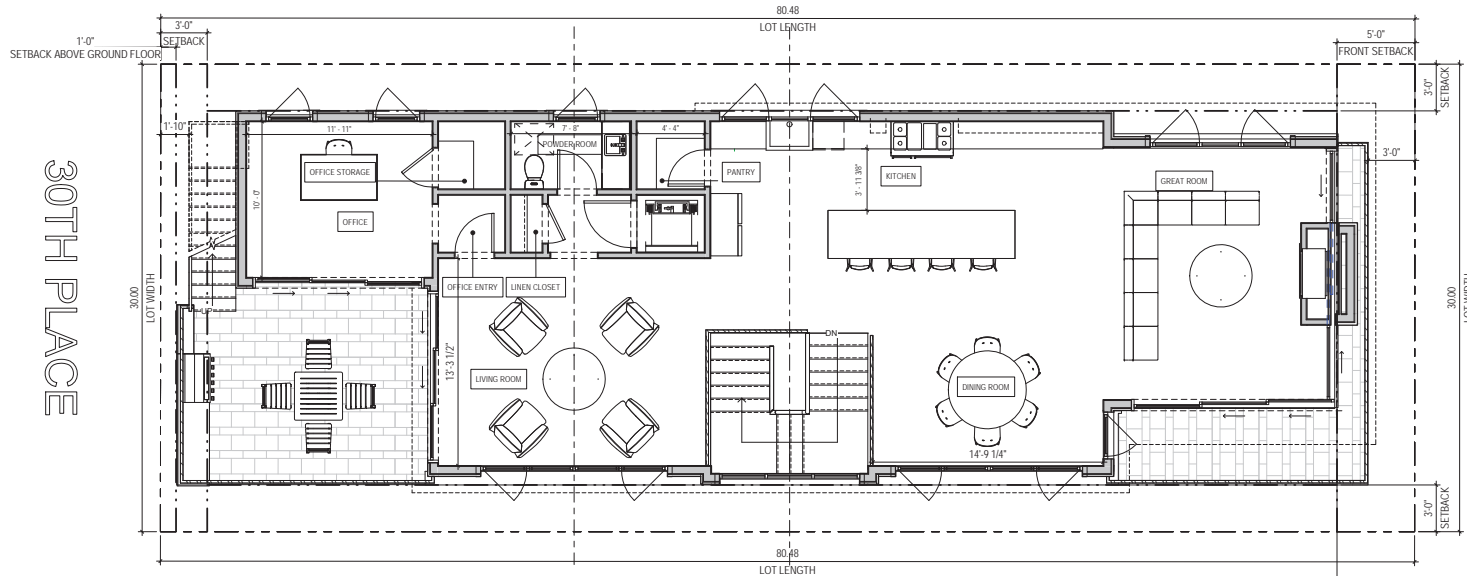
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ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



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THIRD FLOOR

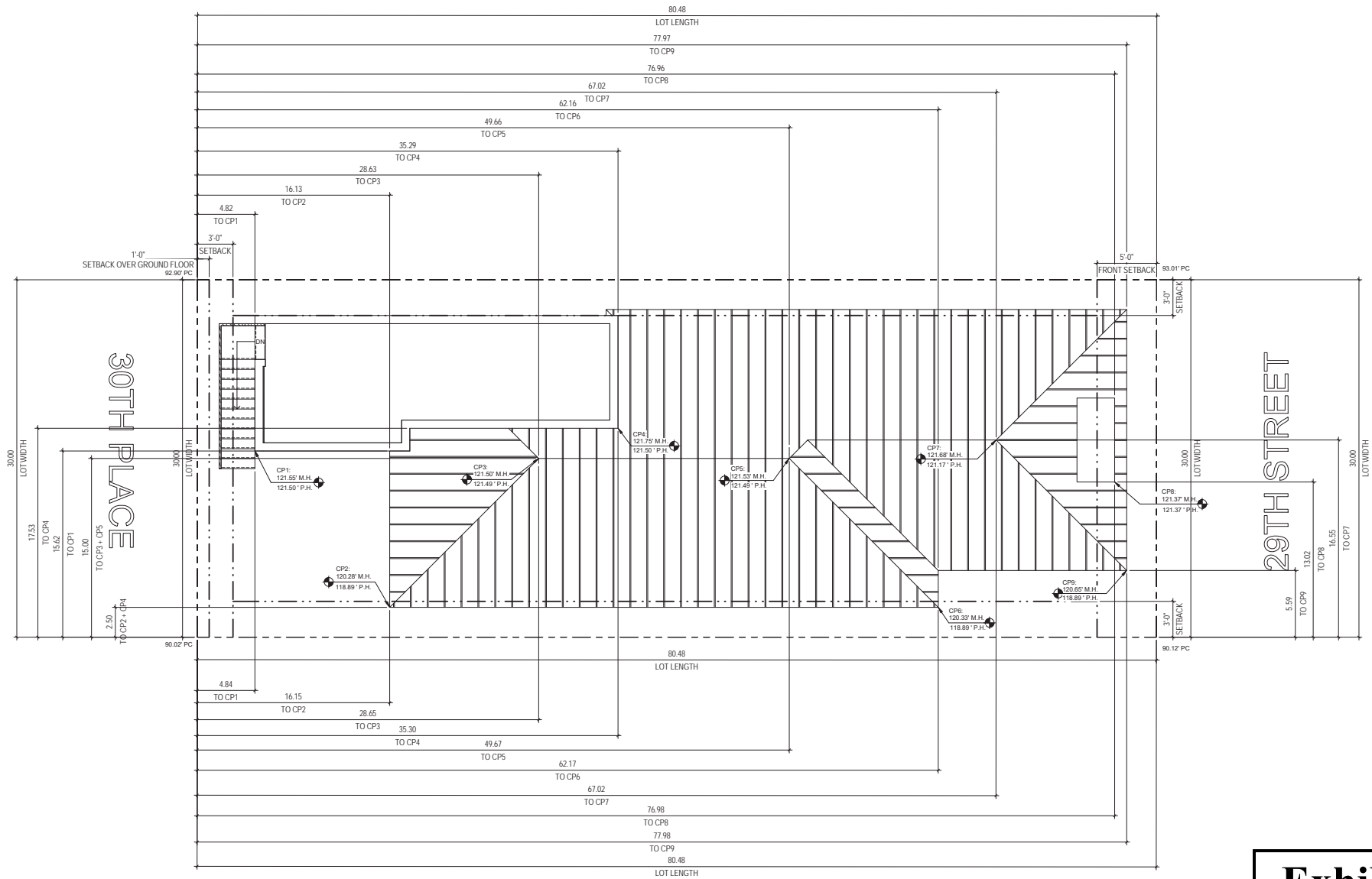


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CRITICAL P



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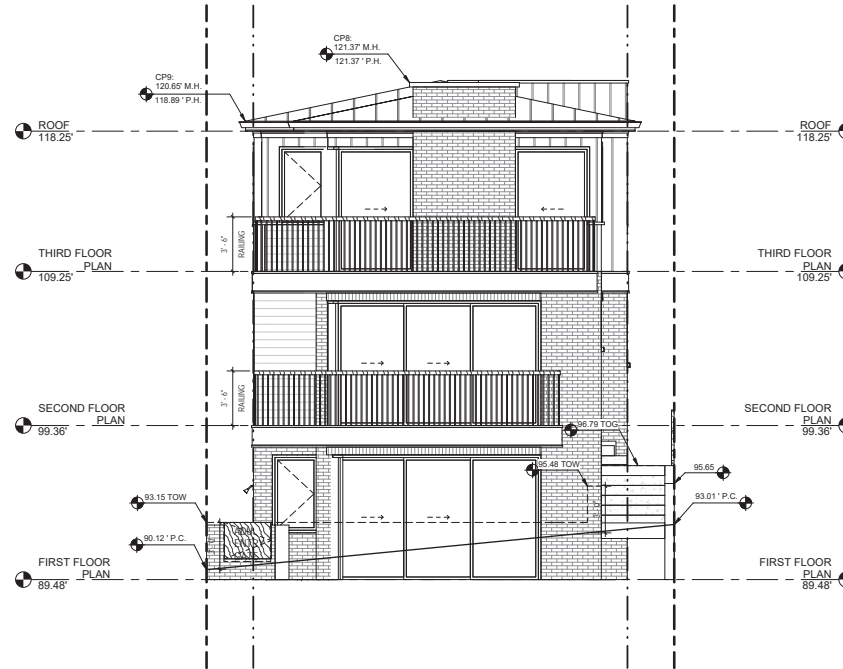
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EXTEIOR MATERIAL LEGEND	
	6" WOOD HORIZONTAL SIDING PRIMED AND PAINTED COLOR TO BE SPECIFIED BY ARCHITECT
	VERTICAL BOARD AND BATTEN SIDING PRIMED AND PAINTED COLOR TO BE SPECIFIED BY ARCHITECT
	WHITE WASHED BRICKED
	STANDING SEAM METAL ROOF COLOR TO BE SPECIFIED BY ARCHITECT



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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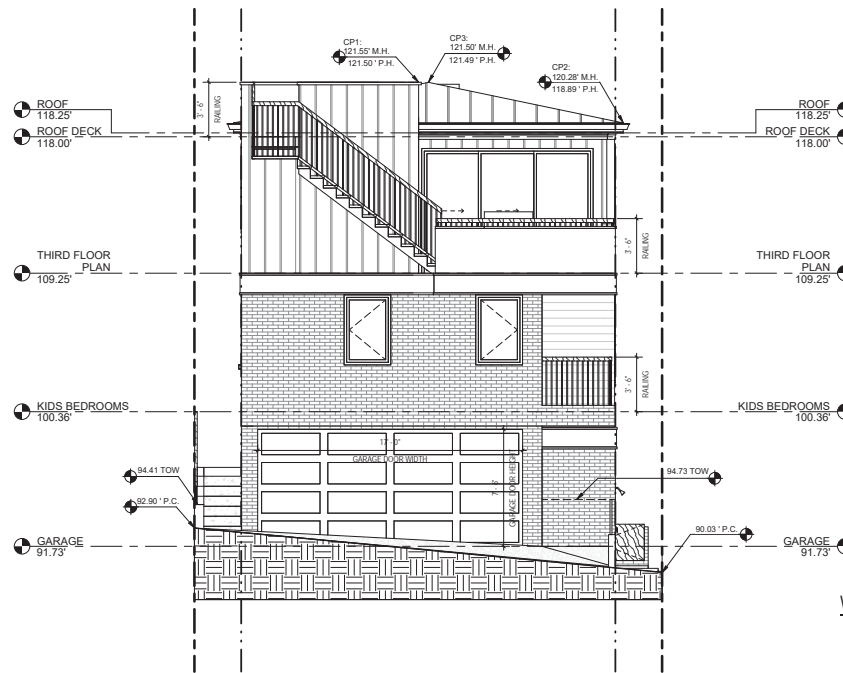
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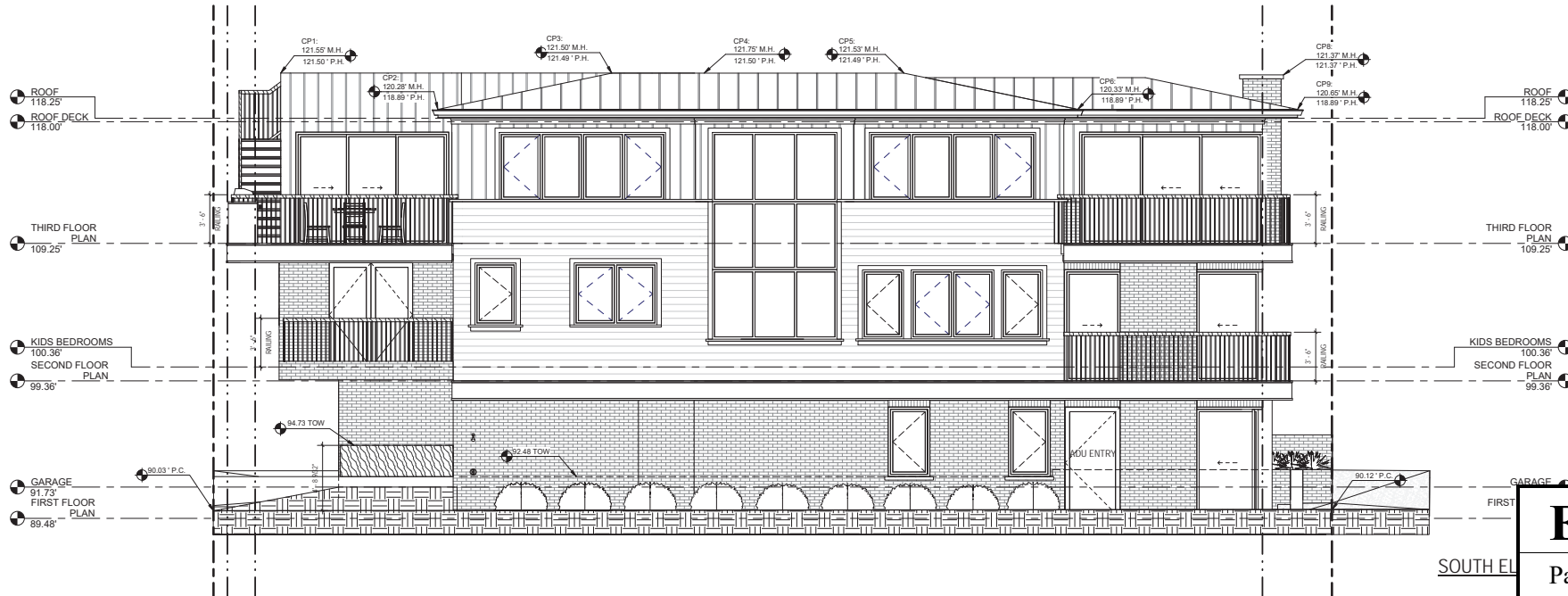
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EXTERIOR MATERIAL LEGEND

- 6" WOOD HORIZONTAL SIDING
PRIMED AND PAINTED
COLOR TO BE SPECIFIED BY ARCHITECT
- VERTICAL BOARD AND BATTEN SIDING
PRIMED AND PAINTED
COLOR TO BE SPECIFIED BY ARCHITECT
- WHITE WASHED BRICKED
- STANDING SEAM METAL ROOF
COLOR TO BE SPECIFIED BY ARCHITECT



WEST ELEVATION
SCALE: 1/4" = 1'-0"



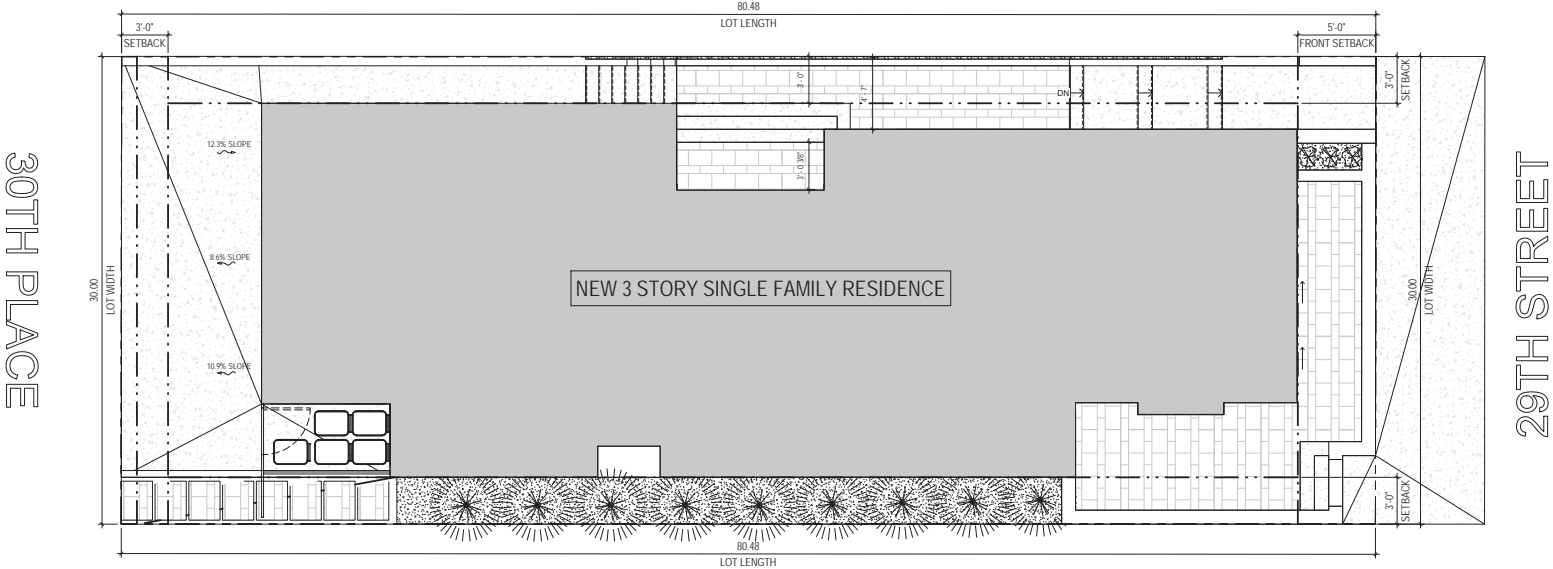
SOUTH ELEVATION

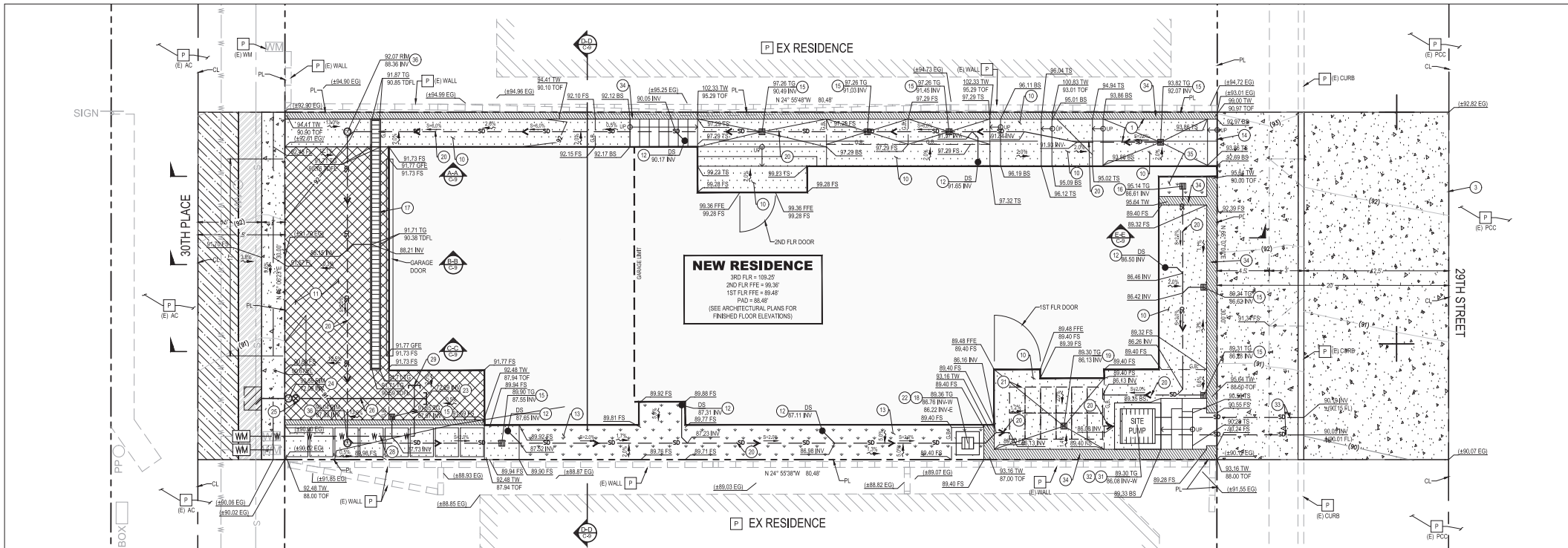
HARDSCAPE LEGEND		
HATCH ON PLAN	MATERIAL	TOTAL SQUARE FOOTAGE
	HARDSCAPE TILE SURFACE	368.66 S.F.
	DIRT / PERMEABLE SURFACE	127.96 S.F.
	PERMEABLE ACID WASHED CONCRETE SURFACE	389.07 S.F.
PERMEABLE SURFACE CALC.	MIN. 50% OF REMAINING LOT COVERAGE MUST BE PERMEABLE PER HBMC.	TOTAL LOT: 2,414.25 S.F. BUILDING FOOTPRINT: 1,380.56 S.F. REMAINING AREA: 1,033.69 S.F. PERMEABLE AREAS: 517.03 S.F. NON PERMEABLE AREAS: 368.66 S.F. 517.03 / 1,033.69 X 100 = 50%

LANDSCAPE LEGEND							
NO.	SYMBOL ON PLAN	VEGETATION TYPES	BOTANICAL NAMES	COMMON NAMES	REGION EVAL. WATER NEEDS	SIZE	QUANTITY
1		SHRUBS	OLEA EURPAEA	LITTLE OLIVE	LOW	5 GAL	9
2		SHRUBS	LAVENDULA ANGUSTIFOLIA	LAVENDER	LOW	5 GAL	3

LANDSCAPE NOTE:
1. DRIP IRRIGATION TO BE PROVIDED

SITE WALL NOTE:
1. ALL SITE WALLS ALONG SIDE PL TO BE STUCCO
2. ALL SITE WALLS IN FRONT PATIO TO BE BRICK





TRENCHING NOTICE TO CONTRACTOR:
WATER PIPES SHALL BE RUN OR Laid IN THE SAME TRENCH AS BUILDING SEWER UNLESS BOTH OF THE FOLLOWING CONDITIONS ARE MET PER 2018 CALIFORNIA PLUMBING CODE, SECTION 608.2:

1. THE BOTTOM OFF THE WATER PIPE, AT ALL POINTS, SHALL BE AT LEAST TWELVE (12) INCHES ABOVE THE TOP OF THE SEWER LINE.
2. THE WATER PIPE SHALL BE PLACED ON A SOLID SHELF EXCAVATED AT ONE SIDE OF THE COMMON TRENCH WITH A MINIMUM CLEAR HORIZONTAL DISTANCE OF AT LEAST TWELVE (12) INCHES FROM THE SEWER.

TRENCHING BACKFILL, BEDDING, AND COMPACTION PER GEOTECH REPORT.

CONSTRUCTION NOTES

- P** PROTECT IN PLACE EXISTING IMPROVEMENTS
- 1** 2.5' EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES. SEE SURVEY PLANS FOR ADDITIONAL INFORMATION.
- 10** CONSTRUCT ON-SITE HARDSCAPE PER LANDSCAPE ARCHITECT
- 11** CONSTRUCT DRIVEWAY PCC CONCRETE PER DETAIL 'W' C-7
- 12** DOWNSPOUT PER ARCHITECTURAL PLANS. DOWNSPOUT TO CONNECT TO ON-SITE STORM DRAIN SYSTEM. SEE DETAIL 'C' C-7
- 13** CONSTRUCT GRASS SWALE PER DETAIL 'B' C-7
- 14** CONSTRUCT STEP PER DETAIL 'D' C-7 FOR STEEP HILLS
- 15** CONSTRUCT 6" AREA DRAIN FOR CONCRETE AREAS PER DETAIL 'F' C-7
- 16** CONSTRUCT 4" ATRIUM DRAIN FOR PLANTER AREAS PER DETAIL 'G' C-7
- 17** CONSTRUCT 8" WIDE TRENCH DRAIN WITH TRAFFIC RATED GRATE. SEE DETAIL 'H' C-7 FOR CHANNEL DRAIN OUTLET DETAIL
- 18** CONSTRUCT 12"x12" PRECAST CONCRETE BOX WITH STANDARD INLET GRATE, BROOKS PRODUCT OR APPROVED EQUAL
- 19** CONNECT AREA DRAIN TO ECORAIN TANK PER DETAIL 'A' C-8
- 20** CONSTRUCT 4" SDR35 PVC PIPE AND FITTINGS OR APPROVED EQUAL. SEE DETAIL 'E' C-7 FOR TRENCHING DETAILS
- 21** FURNISH AND INSTALL (12) ECORAIN TANKS (ET-1503) OR APPROVED EQUAL. SEE DETAIL 'B' C-8
- 22** FURNISH AND INSTALL FLOGARD LOPRO FG4H2 OR APPROVED EQUAL. SEE DETAIL 'D' C-8
- 23** SEWER POC TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION
- 24** CONSTRUCT SEWER CLEANOUT PER SPWVC STD PLAN NO. 204-2
- 25** FURNISH AND INSTALL BACKWATER VALVE.
- 26** 12 HOURS PRIOR TO CONSTRUCTION, POT HOLE AND VERIFY LOCATION, DEPTH, MATERIAL, SIZE AND CONDITION OF EXISTING SEWER LATERAL. REPORT FINDINGS TO CIVIL ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCT NEW 6" VCP SEWER LATERAL PER SPWVC (2012) STD. PLAN 222-1. CONNECTION INTO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW 'WYE' CONNECTION. SADDLES SHALL NOT BE ALLOWED. EXISTING SEWER LATERALS SHALL BE CAPPED AT THE MAIN.
- 27** CONSTRUCT 1" SCHEDULE 40 PVC PIPE AND FITTINGS. VERIFY SIZING WITH PLUMBING ENGINEER. SEE DETAIL 'E' C-7 FOR TRENCHING DETAILS
- 28** WATER POC TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION
- 29** UNDERGROUND ELECTRICAL, TELEPHONE, CABLE, AND GAS UTILITIES BY OTHERS. CONTRACTOR TO COORDINATE WITH OTHER DISCIPLINES TO ENSURE UTILITIES DO NOT CONFLICT WITH STORM DRAIN AND SEWER PIPES
- 30** CONSTRUCT 30"x30" CAST-IN-PLACE CONCRETE BOX WITH PEDESTRIAN RATED INLET GRATE PER DETAIL 'D' C-8
- 31** FURNISH AND INSTALL (2) SUBMERSIBLE PUMP WITH STAND. SEE DETAIL 'D' C-8
- 32** CONSTRUCT 2 1/2" SCHEDULE 80 PVC FORCE MAIN PIPE TO DISCHARGE AT FACE OF CURB PER DETAIL 'E' C-8. RESTRAINT JOINTS SHALL BE PROVIDED AT ALL BENDS
- 33** NEW RETAINING WALL PER SEPARATE PERMIT
- 34** NEW RAISED PLANTER PER ARCHITECTURAL PLANS
- 35** CONSTRUCT STORM DRAIN CLEANOUT PER DETAIL 'F' C-8

HATCH LEGEND

- ON-SITE PAVEMENT PER LANDSCAPE PLANS
- NEW POC CONCRETE
- NEW LANDSCAPING PER LANDSCAPE PLANS
- NEW BUILDING
- NEW DRIVEWAY PCC
- FULL DEPTH PAVEMENT
- UTILITY TRENCHING
- GRIND AND OVERLAY
- NEW WALL PER ARCHITECTURAL PLANS.
- AREA DRAIN PAVEMENT GRADING (TYP.). SLOPES SHALL BE 2% MAX AT PAVED AREAS AND 5% MAX AT LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
- STEP, (HEIGHT PER PLAN)

- GENERAL NOTE:**
1. TOP OF WALL (TOW) AND TOP OF FOOTING (TOF) ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL BUILD WALLS PER ARCHITECTURAL PLANS.
 2. PROTECT IN PLACE ALL PROPERTY MONUMENTS.
 3. CONTRACTOR IS REQUIRED TO RESTORE ALL EXISTING IMPROVEMENTS TO THE SAME CONDITION, THAT ARE NOT PART OF THIS PROJECT, THAT EXISTED PRIOR TO HIS STARTING CONSTRUCTION.
 4. CONSTRUCTION TOLERANCES DO NOT PERMIT THE VARIATION OF DIMENSIONS OR GRADES AND SLOPES AND THEIR RELATIONSHIPS REQUIRED BY CODE. ADJUST WORK AS REQUIRED TO COMPLY WITH SUCH REQUIREMENTS.
 5. STRAIGHT GRADES SHALL BE CONSTRUCTED BETWEEN SPOT ELEVATIONS OR CONTOURS INDICATED, EXCEPT WHERE GRADE BREAKS INTERVENE.
 6. ALL SLOPES SHALL BE VEGETATED.
 7. CONTRACTOR TO TAKE EXTREME CARE NOT TO DISTURB EXISTING UNDERGROUND PIPES/ CONDUITS IN AREA OF NEW WORK SPECIFIED TO BE PROTECTED IN PLACE.
 8. CONTRACTOR TO VERIFY PAD ELEVATION WITH STRUCTURAL AND GEOTECHNICAL ENGINEER PRIOR TO GRADING.
 9. BUILDING SETBACK DIMENSION ARE SHOWN FOR REFERENCE ONLY. VERIFY WITH ARCHITECTURAL PLANS.
 10. INTERIOR GARAGE SLOPES AND LIMITS SHOWN FOR REFERENCE ONLY. ALL BUILDING FEATURES ARE BY OTHERS.
 11. ALL EXISTING SURVEY POINTS, MONUMENTS, BENCHMARKS SHALL BE PROTECTED IN PLACE. TAMPED, REMOVED, OR DAMAGED SHALL BE RESET
 12. ALL EXISTING OVERHEAD UTILITIES ENTERING THE PROPERTY SHALL BE UNDERGROUND. CONTACT UTILITY AGENCY TO CLEAN UP ABANDONED WIRES

GRADING & DRAINAGE PLAN
SCALE: 1"=4'

CITY OF HERMOSA BEACH NOTES:

1. BORROW OR DISPOSAL SITE MUST BE PERMITTED AND BONDED (IF WITHIN THE CITY)
2. SEWER LATERALS SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION OF FIRST FLOOR
3. UTILITY LINES LOCATION SHALL BE PERMANENTLY IDENTIFIED ON CURB FACE. FONT 2" HEIGHT AND 1/2" DEPTH
4. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO HAVE ALL STRIPING TRENCHES PROPERLY RESTORED PER CITY STANDARD PLANS PRIOR TO RECEIVING PUBLIC WORKS FINAL SIGN-OFF

BENCH MARK: SET N&T RCE 30826 2.00' NLY OF CORNER ON PROP. LINE PROD. TAG ELEV = 90.01'	CALL: 811 TWO WORKING DAYS BEFORE YOU DIG	REVISIONS <table><thead><tr><th>No.</th><th>DESCRIPTION</th><th>DATE</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table>	No.	DESCRIPTION	DATE													 FGB & ASSOCIATES 17410 ELAINE AVENUE ARTESIA, CA 90701 TEL: 562.584.1071 FGBANDASSOCIATES.COM	PLANS PREPARED BY: FRANKLOYD G. BUENDIA, RCE 84848	CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT RECOMMENDED FOR PERMIT ISSUANCE: 07/19/2021 DATE	PRIVATE 24 HERMO GRADING DATE	FILE NUMBER
No.	DESCRIPTION	DATE																				

Community Character Survey

Address	Residence Type	Structure Size (sq. ft.)	Lot Size (sq. ft.)
2918 Manhattan Ave	triplex	2,562	2,419
214 30th St	single-family	2,670	4,825
222 30th St	single-family	3,228	2,419
225 30th Pl	duplex	1,551	2,419
230 30th St	duplex	2389	2,424
242 30th St	duplex	1,276	2,406
246 30th St	single-family	3502	2,415
250 30th St	single-family	2,910	2,424
260 30th St	single-family	1,135	2,423
302 30th St	duplex	2,398	2,400
310 30th St	single-family	3,380	2,419
318 30th St	single-family	2,232	2,423
322 30th St	single-family	3,408	2,419
330 30th St	duplex	1,985	2,409
332 30th St	single-family	3,852	2,414
340 30th St	duplex	2,530	2,423
347 30th Pl	triplex	1,557	2,415
350 30th St	single-family	858	2,423
360 30th St	single-family	1,625	2404
2906 Manhattan Ave	duplex	1,744	2,412
207 29th St	duplex	2,304	2,419
217 29th St	single-family	3,419	2,420
221 29th St	duplex	1,272	2,402
227 29th St	duplex	1,867	2,411
231 29th St	single-family	3,650	2,421
239 29th St	single-family	3,466	2,417
247 29th St*	single-family	1,292	1,286
245 30th Pl*	single-family	728	1,131
249 29th St	duplex	1,756	2,403
255 29th St	duplex	1,476	2,418
301 29th St	duplex	1,644	2,418
307 29th St	single-family	1,446	2,423
315 29th St	single-family	800	2,405
319 29th St	single-family	2,500	2,413
330 30th Pl	single-family	228	2,420
341 29th St	single-family	3,595	2,421
345 29th St	single-family	3,581	2,398
347 29th St	single-family	884	2,417
349 29th St	single-family	2,594	2,421
355 29th St	duplex	1,680	1,415

* Project Site

Exhibit 3

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FOR PREV. ASSM'T. SEE: 164-48

Project Site (Lot 15, 2 APNs)

Exhibit 4

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