

CALIFORNIA COASTAL COMMISSION

SOUTH CENTRAL COAST DISTRICT OFFICE
89 SOUTH CALIFORNIA STREET, SUITE 200
VENTURA, CA 93001-2801
VOICE (805) 585-1800
FAX (805) 641-1732



W17d

5-21-0756 (Lloyd)

March 18, 2022

EXHIBITS

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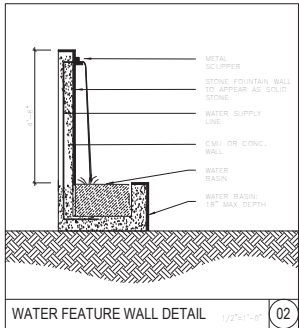
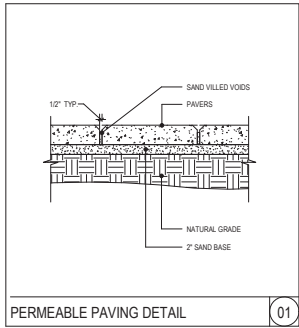
Project Location

Hermosa Beach Pier

**Exhibit 1.
5-21-0756
Lloyd
Vicinity Map**



Exhibit 1.
5-21-0756
Lloyd
Project Site





LANDSCAPE NOTES:

- 1) ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED WATER) MUST USE Drip OR MICROSPRAY IRRIGATION SYSTEMS.
- 2) PROPOSED LANDSCAPE MUST MEET HERMOSA BEACH MUNICIPAL CODES CHAPTER 8.55 - WATER CONSERVATION AND 8.60 - EFFICIENT LANDSCAPING

PERMEABLE AREA CALCULATION	
LOT AREA	2880 SF
BUILDING FOOTPRINT	1688 SF
EXTERIOR SURFACE AREA	1182 SF
LANDSCAPE AREA	000 SF
NON-PERMEABLE SURFACE (HARDSCAPE)	443 SF
PERMEABLE SURFACE (HARDSCAPE)	724 SF
PERMEABLE AREA	636 SF

AT LEAST 50% (591 SF) OF THE EXTERIOR SURFACE AREA MUST BE PERMEABLE AND AN INFILTRATION SYSTEM MUST BE PROVIDED

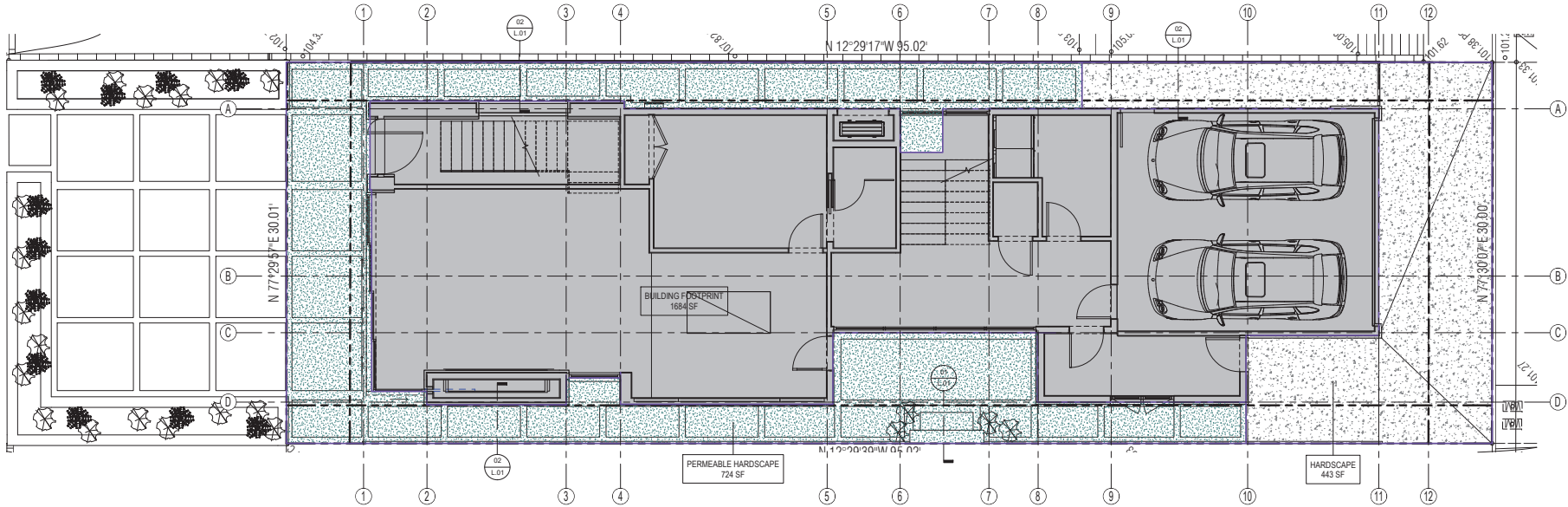
PLANTING LIST				
SYM.	BOTANICAL NAME	QTY	SIZE	WUCOLS CLASS
	CORDYLINAE 'FESTIVE GRASS'	8	1g	L/M
	KALANCHOE THYRSIFLORA 'PADDLE PLANT'	4	1g	L
	AEONIUM TREE HOUSELEEK	8	1g	L

LANDSCAPE LEGEND

- BUILDING FOOTPRINT
- HARDSCAPE
- PERMEABLE HARDSCAPE

TOMARO
ARCHITECTURE

2617 NORTH BEIPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: 310-318-8089 WWW.TOMARO.COM



PROJECT

LLOYD RESIDENCE
84 17TH ST.
HERMOSA BEACH, CA 90254

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PROJECT NUMBER
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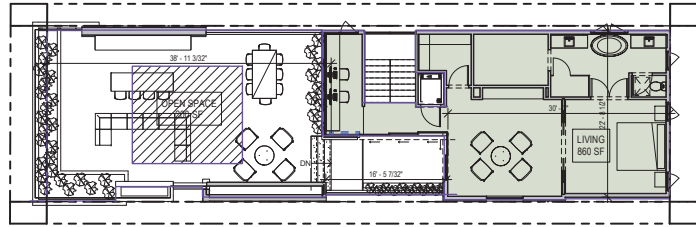
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SUSTAINABLE LANDSCAPE PLAN

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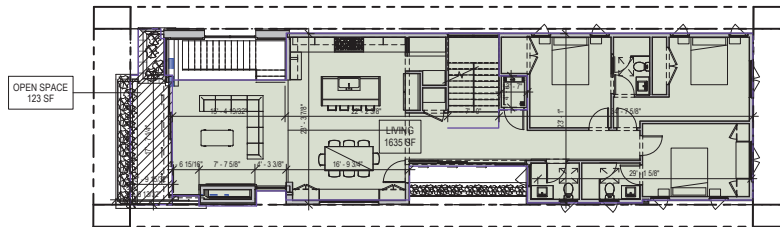
L.01

LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"



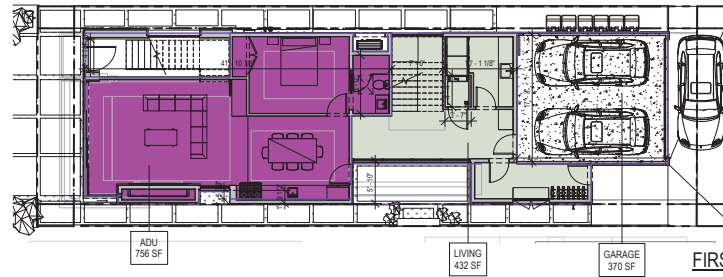
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



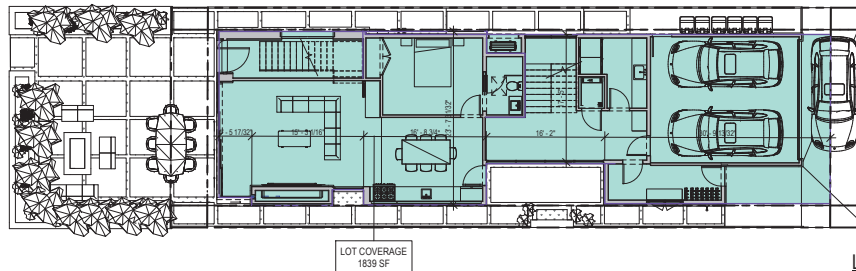
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



LOT COVERAGE

SCALE: 1/8" = 1'-0"

AREA CALCULATIONS

LOT SIZE:	2,850 SF
LOT COVERAGE:	
MAX ALLOWABLE LOT COVERAGE:	1,853 SF (65%)
PROPOSED LOT COVERAGE:	1,839 SF (65%)
LIVING AREA:	
FIRST FLOOR:	432 SF
SECOND FLOOR:	1,635 SF
THIRD FLOOR:	860 SF
TOTAL LIVING:	2,927 SF
TOTAL LIVING AREA:	3,683 SF
GARAGE:	370 SF
BALCONIES/DECKS:	1197 SF

OPEN SPACE CALCS.

OPEN SPACE REQUIRED	=	300 SF
FIRST FLOOR	=	000 SF
SECOND FLOOR	=	123 SF
THIRD FLOOR	=	200 SF
TOTAL OPEN SPACE	=	323 SF



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AREA CALCULATIONS

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A.00



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17TH STREET

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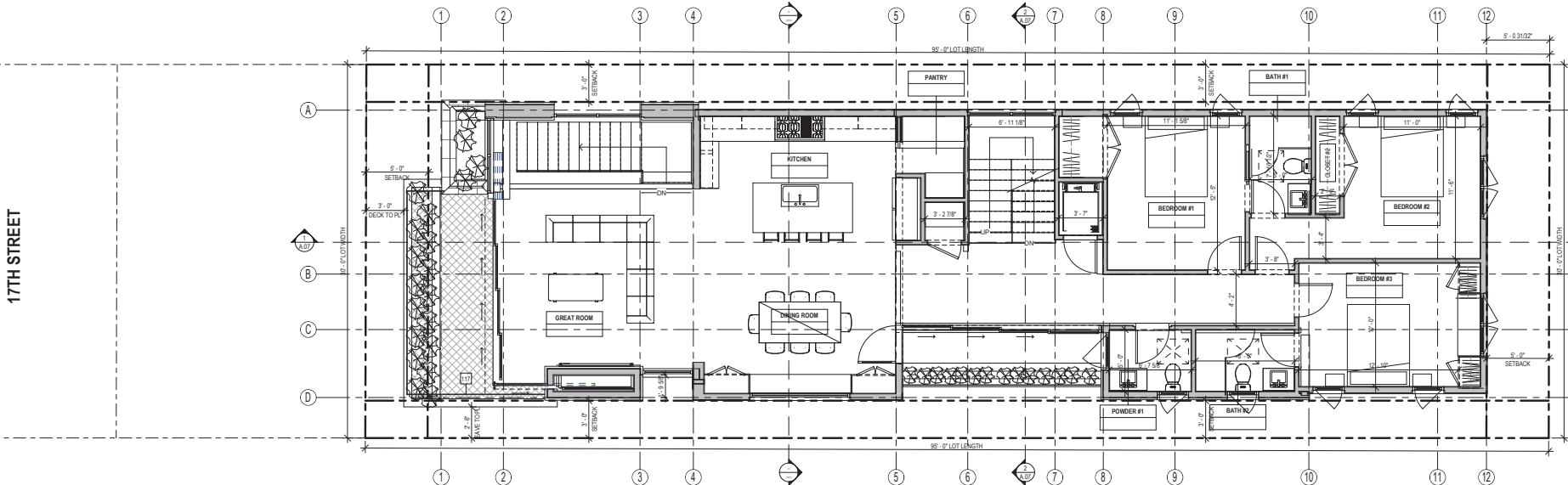
**FIRST / SECOND
FLOOR PLAN**

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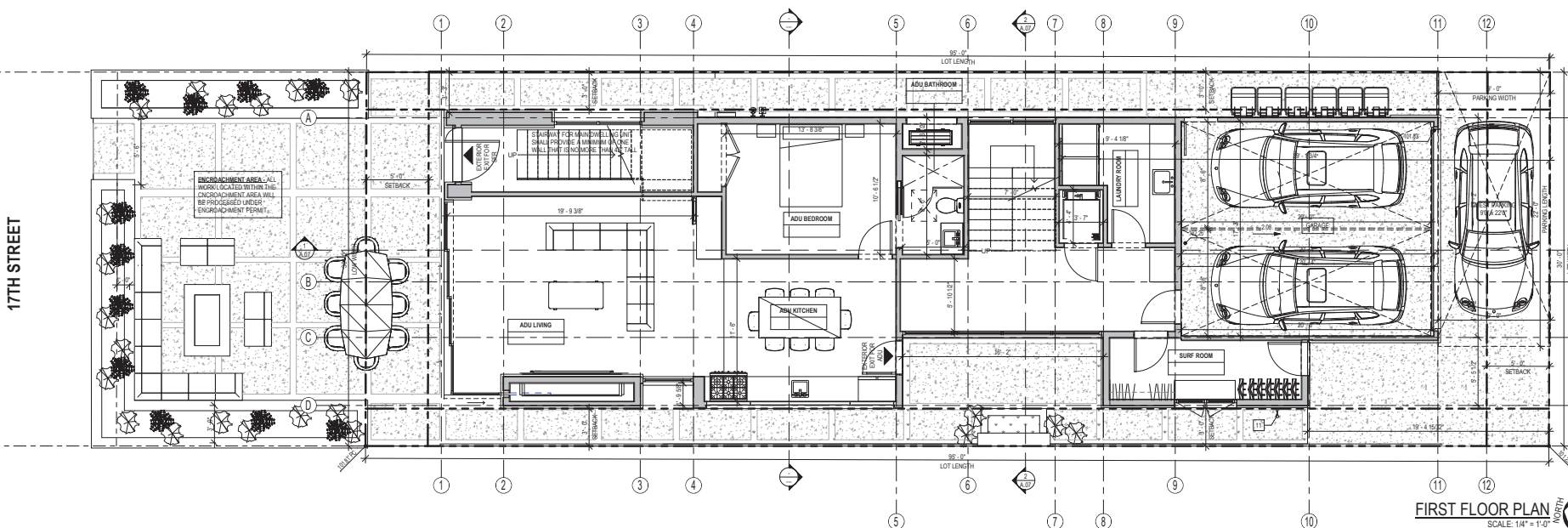
A.02

17TH STREET

17TH STREET



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"





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**THIRD / ROOF
FLOOR PLAN**

SHEET NUMBER

A.03

17TH STREET

17TH STREET

17TH COURT

17TH COURT

ROOF PLAN
SCALE: 1/4" = 1'-0"

THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



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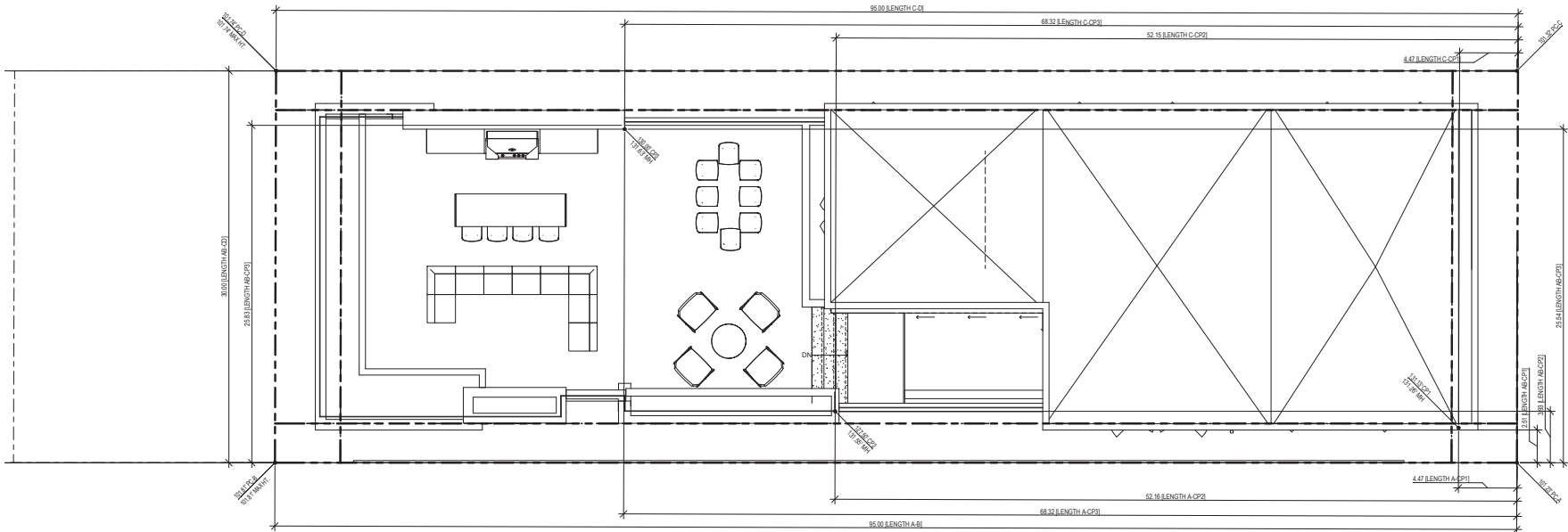
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**CRITICAL POINT
DIMENSION
PLAN**

SHEET NUMBER

A.03.1

17TH STREET



CRITICAL POINT PLAN
SCALE: 1/4" = 1'-0"





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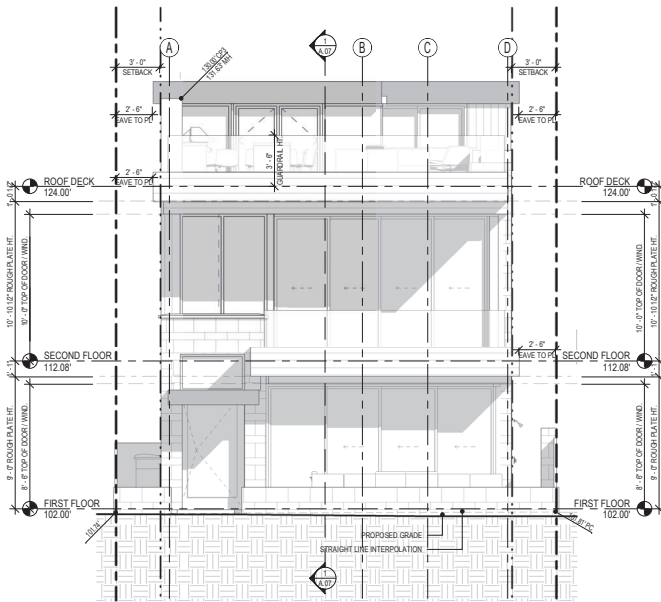
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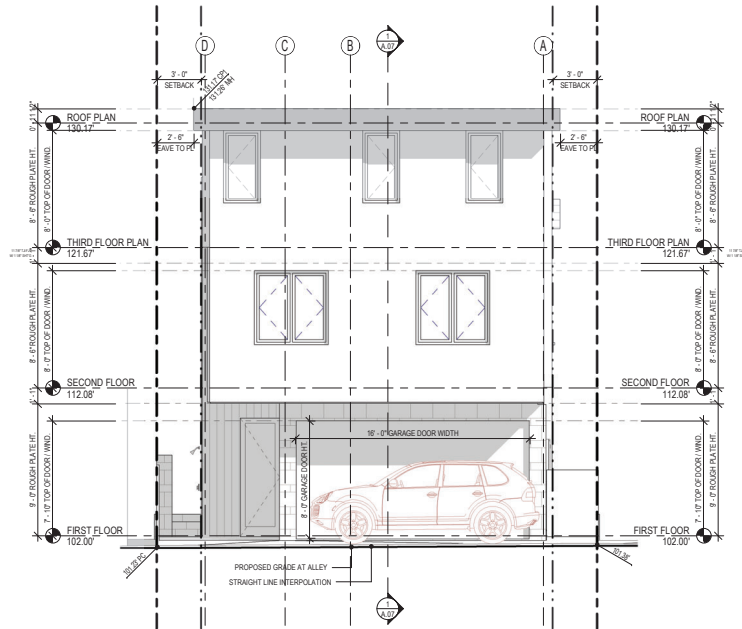
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ELEVATIONS

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A.05



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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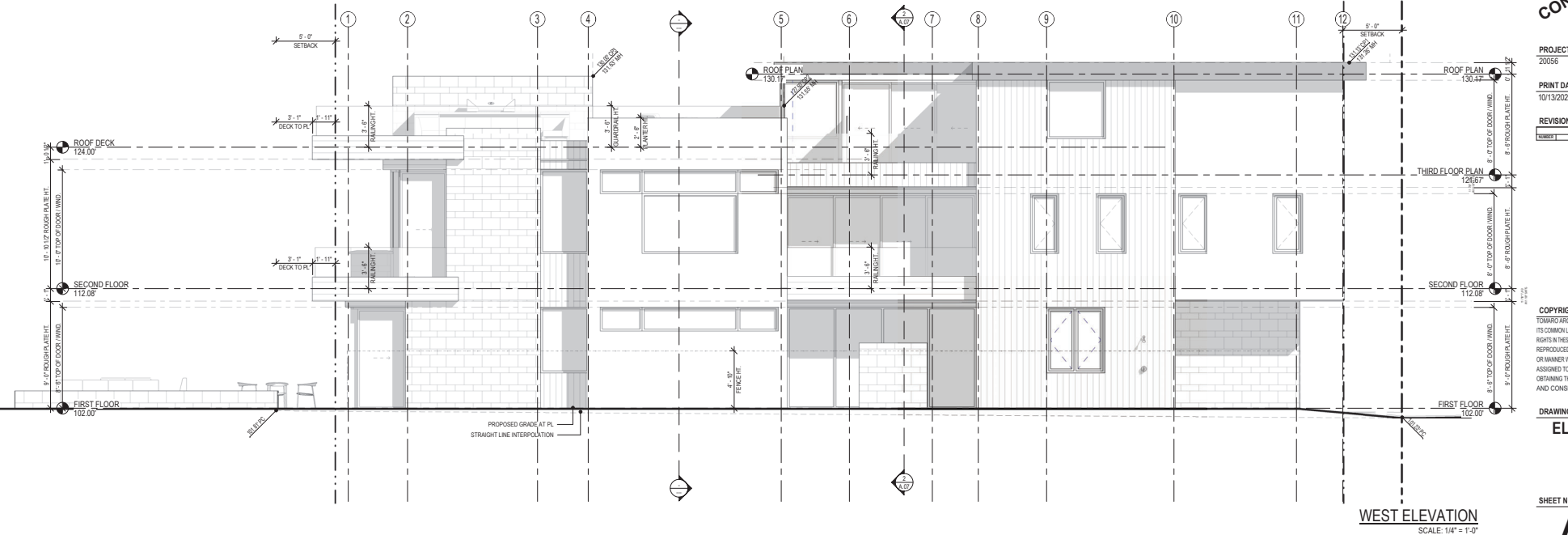
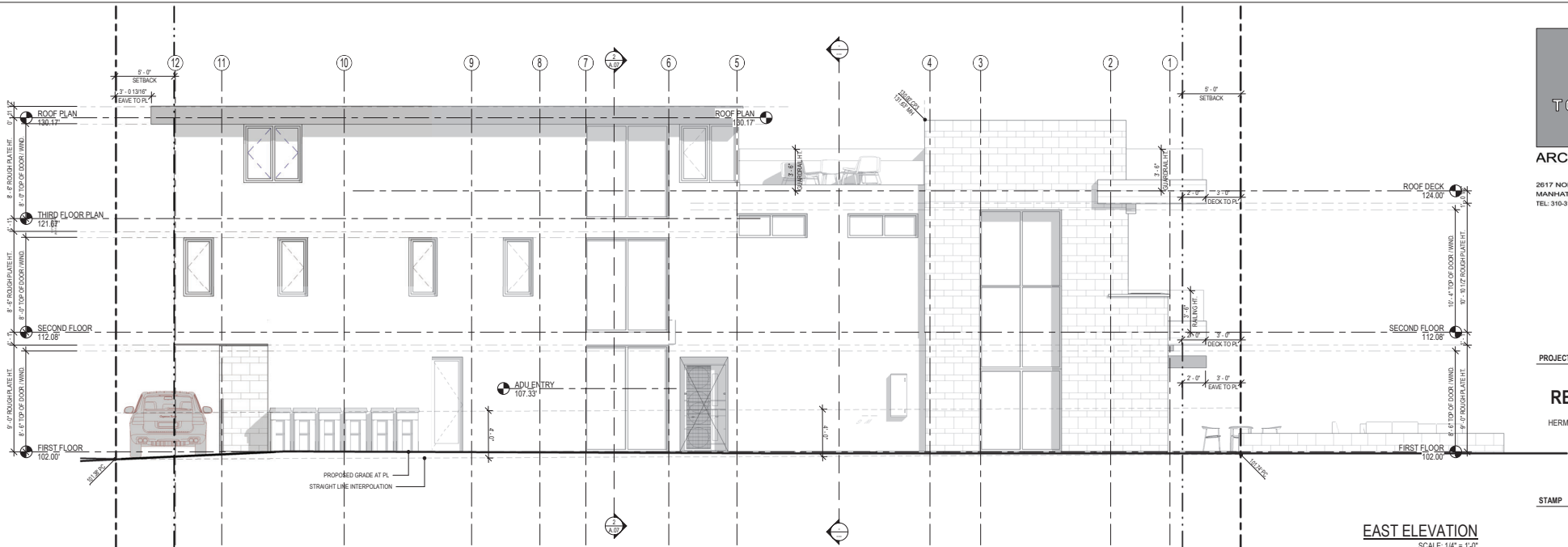
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ELEVATIONS

SHEET NUMBER
A.06



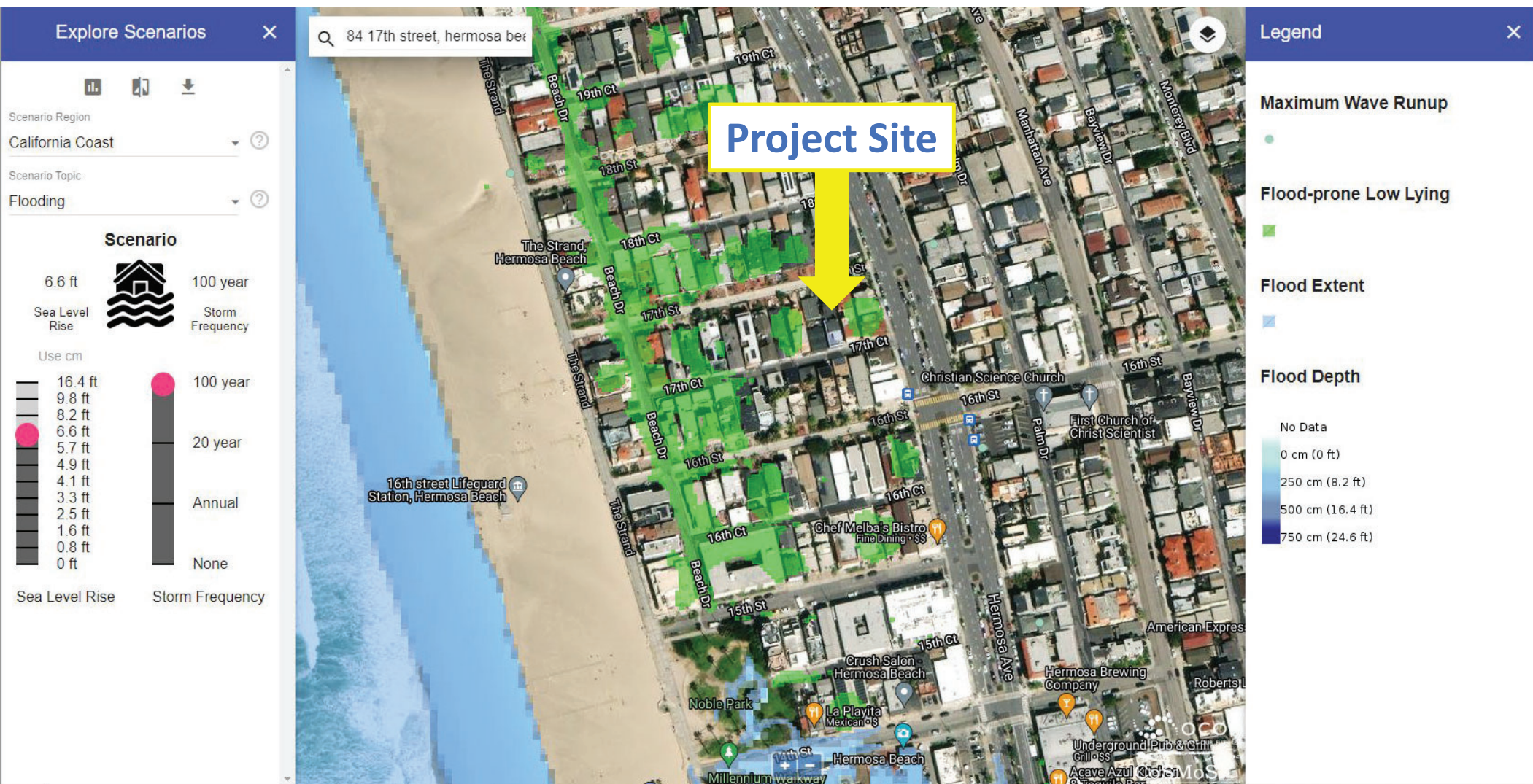


Exhibit 3.
5-21-0756
Lloyd
CosMos Flooding Analysis

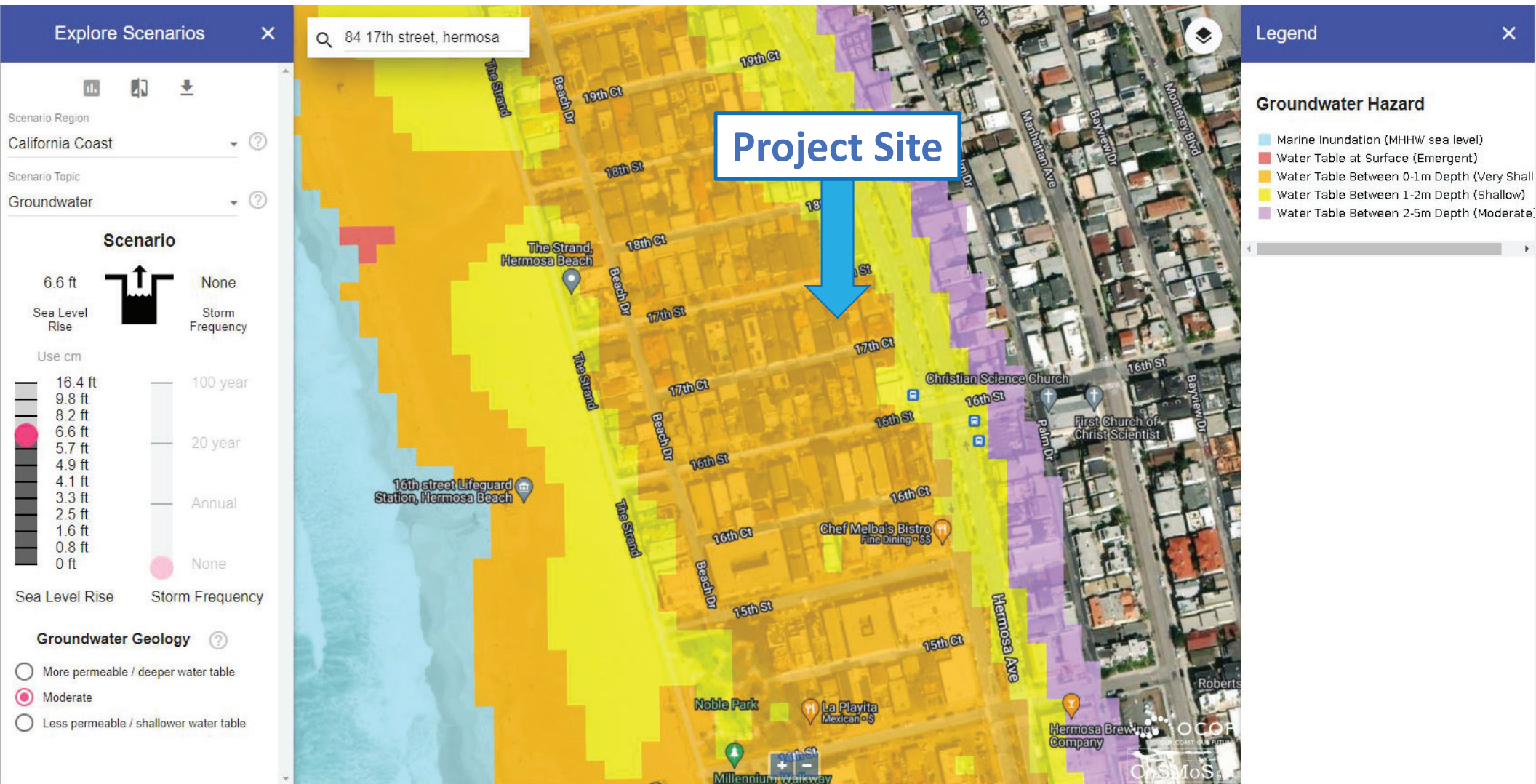


Exhibit 4.
5-21-0756
Lloyd
CosMos Groundwater Analysis

Community Character Survey

Address	Residence Type	Structure Size (sq. ft.)	Lot Size (sq. ft.)
20 17 th St.	duplex	4,056	3,941
30 17 th St.	single-family	1,794	2,853
34 17 th St.	single-family	3,709	3,631
40 17 th St.	single-family	2,785	3,622
50 17 th St.	duplex	2,346	2,852
52 17 th St.	duplex	2,516	2,854
60 17 th St.	duplex	2,608	2,864
68 17 th St.	single-family	720	2,850
76 17 th St.	single-family	5,124	2,850
80 17 th St.	duplex	1,472	2,853
84 17th St.*	duplex	2,084	2,852
92 17 th St.	single-family	4,137	2,850
1625 Hermosa Ave.	condo (2 units)	2,970	4,739
1617 Hermosa Ave.	single-family	2,829	1,956
17 16 th St.	duplex	3,890	3,167
27 16 th St.	single-family	3,220	2,858
33 16 th St.	single-family	2,501	3,678
41 16 th St.	single-family	4,140	3,622
45 16 th St.	triplex	2,880	2,854
54 17 th Ct.	single-family	1,963	2,852
55 16 th St.	duplex	1,426	2,851
63 16 th St.	duplex	2,462	2,851
71 16 th St.	duplex	1,988	2,854
73 16 th St.	single-family	4,470	2,865
79 16 th St.	duplex	3,493	2,849
85 16 th St.	multi-family residential (5 units)	3,216	2,860
97 16 th St.	multi-family residential (10 units)	2,920	3,479

* Project Site

**Exhibit 5.
5-21-0756
Lloyd
Community Character Analysis**