### **CALIFORNIA COASTAL COMMISSION**

SOUTH CENTRAL COAST DISTRICT OFFICE 89 SOUTH CALIFORNIA STREET, SUITE 200 VENTURA, CA 93001-2801 VOICE (805) 585-1800 FAX (805) 641-1732



# **W17d**

## 5-21-0756 (Lloyd) March 18, 2022

### **EXHIBITS**

EXHIBIT 1	2
EXHIBIT 2	4
EXHIBIT 3	14
EXHIBIT 4	15
EXHIBIT 5	16



Exhibit 1. 5-21-0756 Lloyd Vicinity Map



Exhibit 1. 5-21-0756 Lloyd Project Site A NEW THREE STORY PLUS BASEMENT RESIDENCE:

## LLOYD RESIDENCE

### 84 17TH STRFFT HERMOSA BEACH, CA. 90254

### CITY OF HERMOSA BEACH DEPT. OF PUBLIC WORKS PUBLIC RIGHT OF WAY REQUIREMENTS

THE FOLLOWING STANDARD CONDITIONS APPLY TO ALL PROJECTS REQUERING A BUILDING PERMIT UNLESS IT IS DETERMINED UNNECESSARY BY THE PUBLEC WORKS DRECTOR. A GRADING PLAY IS REQUIRED FOR ANY PROJECT REQUIRING A BUILDING PERMIT UNLESS WAVED BY THE DIRECTOR OF PUBLIC WORKS, ALL CONSTRUCTION MUST COMPLY WITH THE CITY OF HERMIOSIA BEACH AND LOS MIGGLES COUNTY STANDARDS.

### PLAN REQUIREMENTS

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2. ALL PLANS FOR THE TABLET SOME PROPRIED STORMWATER CONTRICE, FOR THE PROJECT SHALL BE MADE, A PART OF

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- 3. ALL CONTRACTORS WORKING OF WHILE V WORKS PROJECTS MAST HAVE A DIRECT OUT OF TERMODS BEECH BERNESS LICIDES WHITE THE MALE OF ONE NO SECTION UTTO IT THE MALE BE DELEGATED TO THE MALE AND THE MALE TO THE MALE T

- MMINIUM.

  9. SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE WALLD. FOR YOUR DIG ALERT ID. NUMBER CALL UNDERGROUND SERVICE ALERT AT (80) 227-2400 TWO WORKING DAYS BEFORE YOU DIG.

- ALL EXISTING CURB, GUTTER, CONCRETE DRAININGE SIWALE, SIDWALK AND DRIVEWAY WITHIN THE PROPERTY LIMITS SHALL BE. BENDIVED AND REPLACED, UNLESS IT IS DETERMINED BY THE CITY PUBLIC WORKS INSPECTOR THAT THEY MEET THE CURBENT CITY STANDARDES.
   IF THE CURB, GUTTER, CONCRETE DRAININGE SWALE, SIDEWALK OR DRIVEWAY DO NOT EXIST THEY SHALL BE CONTROLLED.
- ISTRUCTED. CURB AND GUTTER SHALL BE POURED MONOLITHICALLY. BUT SEPARATE FROM SIDEWALK.
- ALL DRIVEWAY SLOPES TO BE 2% FROM TOP OF CURB OR LIP OF SWALE TO RIGHT-OF-WAY.
  WHEELOHIR RAWRS ARE REQUIRED ON CORNER LOTS AND MAY BE REQUIRED AT THEIR LOCATIONS.
  GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WINATEVER MEMSIN SECESSARY UP TO AND
- GORFITTI IN RESIDENT POURDE CONCRETE SHILL BE REMOVED BY WINTERSE MENS INCESSARY UP TO AND ACCUMING REMOVE AND PROFILEMENT.

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- ATERAL. 2. EXISTING SEWER LATERALS MAY BE USED IF THE CRITERIA OUTLINED IN NOTES (10) AND (11) ARE MET AND A VIDEO APE HAS BEEN PROVIDED TO THE PUBLIC WORKS DEPARTMENT AND IF THE VIDEO SHOW THE LATERAL TO BE IN GOOD

- AW ASPIALT OR CONCRETE STREET WITHIN THE PROPERTY LIMIT'S THAT IS DAMAGED PRIOR TO CONSTRUCTION
  SHALL BE REJUNCED AND REPLACED TO MEET CARRIENT OFF STRAMARDS.
  AW FARLED PROPERTY DAMAGED DIAMNO DOSTRECTION AND WILL BE REPLACED IN RIGHT OF THE SATISFACTION OF
  THE COT PRECIL CHORMS INSECTION. THE COST OF WINDHOLD AND THE RESILECT OF PRICE CARETY
  WAY PROPARED RECEINED RECORDS OF WINDHOLD AS ELECTION FROM THE PROPERTY FILE OF THE
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### UTILITY REQUIREMENTS

- ANY UTILITY CUT WITHIN CITY STREETS SHALL BE EITHER PERPENDICULAR OR PARALLEL TO THE CENTER OF THE STREET. DIAGONAL CUTS MILL NOT BE ALLOWED.
   BECHLO FERSIONES SHALL BE DONE IN LIFTS OF NO MORE THAN TWO FEET (2) WITH WAITER JET AND APPROPRIATE COMPACTION TOOL USED BETWEEN EACH LIFT. ONE SACK SLUTRY MIX CAN BE USED IN PLACE OF
- NATIVE SOIL.
  3. AFTER BACKFILLING THE TRENCH A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND
- 3. AFTER MORELLING THE TREMCHAT TREMCHARM ASPINED THAT OH SHUL BE FLACED OVER THE TREMCH AND IT. HE FERROMENT AND THAT OF THE TREMCHARM ASPINED THAT OF THAT
- COMPACTION IN RECEIVANCE MEMBERS OF INFORMATION AND STATE OF A STA

1. RECAUTIONS SHALL BE TAKEN TO PROVENT ANY CONSTRUCTION MATERIAL CERRS OR RANCH FROM ENTERING AND CONTROL STORAL DEATH OF ANY CONTROL TEXT OF ANY CONTROL TO ANY CONTROL DURING THE SAME ASSOCIATION CONTROL TO ANY CONTROL DURING THE SAME ASSOCIATION CONTROL TO ANY CONTROL DURING THE SAME ASSOCIATION CONTROL TO ANY CONTRO

- 10+ HOME DEVELOPMENTS.
  PARKING LOTS, 25 SPACES OR MORE.
  RESTAURANTS
- RESTAURONTO SERVICE STATIONS. AUTO REPAIR FACILITIES. 400 000 SQUARE FEET COMMERCIAL DEVELOPMENTS.

### JOB SAFETY REQUIREMENTS

- I PRODER SARGHLOSES SHALL SE FLACED ARKNUR ANY CONSTRUCTION STET WHITH THE FLASH
  REPORT OF ANY. THESE BARPACIES SHALL COMEY WITH THE RECORDERATIOS OF THE WORK
  AREA TRAFFIC CONTROL HANDBOOK (W.A.T. C.H.) MANUAL.

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  5. # SCAPPOLIONE IS NEEDED ON THE PUBLIC RIGHT OF WAY, A PERMIT LIBE REQUIRED AND ALL PROVISIONS OF THE VITES TERMON MAST BE PROVISIONED FOR THE VITES TERMON MAST BE
- MELI.

  8. NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LIEFT ON PUBLIC PROPERTY OVERNIGHT WITHOUT FROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS OPERATING
- AFTER DARK.
  7. NO OVERNIGHT CLOSURES WILL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF
- PUBLIC WORKS.

  8. AMP PUBLIC SIDEWALK DAMAGE TO THE POINT OF CAUSING A TRIP HAZARD DURING
  CONSTRUCTION, THAT PANEL OF CONCRETE SHALL BE <u>REMOVED IMMEDIATELY AND PATCHED WITH.</u>
  <u>A TEMPORARY ASSHALT PATCH</u> WHICH MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT

  DEPORTMENT OF CONSTRUCTOR.

- INTERMEDIATE ASSISTANT MINOR MAST SE KEPT IN COOR SPARA INTEL THE FERRAMENT 
  DEBENKAL SO CONSTITUCES OFF AN AUGUST THAT FOR FLOW AND THE PROPER SOMME 
  ALL HERDES THAT HAT FLOW STORT AND THAT THE FLOW AND THAT THAT FOR A 
  ALL HERDES THAT A THAT THE WASTE ON MANNA.

  A LAL HORSE VINENCE ARE STREET TO ALL PROVIDES PRIVATE RESTRICTIONS.

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- 10 PM.
  ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE BEING POURED A. SEWER LATERAL PERMITS WILL NOT BE FINAL UNLESS A SEWER LATERAL DIAGRAM HAS BEEN COMPLETED AND APPROVED.

### **GENERAL NOTES**

- BUILDING COMPLIES WITH 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, AND CITY OF HERMOSA
- CH.

  ADMINISTRATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK.

  WIRED FORM IS AVAILABLE AT THE COMMAIN TO EVEL OPHENT DEPARTMENT, PROVIDE PROOF

  MOTIFICATION MAJE WITH RETURN RECEIPT) 00 DAYS BEFORE BULLIONE PERMIT IS SISSUED,

  COMPLETE, ASSESTIOS NOTFICATION WAVER.

  LIE BULLIONE FEATURES PROJECTION OF SEQUIRED SETBACKS ARE INDICATED ON STEPLOT
- IN.

  SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND 
  REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND 
  REPORTED TO THE AREA OCCUPIED BY THE 
  STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE
- .DING. INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO PTER 25 UBC. APTER 25 UBC.
  ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. AND ALL NEW PLUMBING FIXTURES
- ALL BE CERTIFIED LOW FLOW FIXTURES.

  ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON
- DEVICE.

  9. PROVIDE APPROVED BACKWATER VALVE FOR ALL PLIMBING FOXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM IMMINIOL COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE TREGOLGH THE BOOKWATER VALVE. PROVIDE CAST ROOK WHIST EPPE, RISERS.

  10. ALL WINDOW COVERINGS REQUIRED BY CFR. FORM SHALL BE POSTED PRIOR TO FINAL.
- PECTION. WINTEN APPROVAL FROM THE SOUTH COAST AR QUALITY MANAGEMENT DISTRICT (SCAGMG), 1982 2000 FER RULE 1 403 FOR THE PROPERS DISPOSAL OF ASSESTIOS. ONLY 10.5 ANGELSE COUNTY HEAT. THE DEPREMENTAL PROPPOLE DEVICES MAY BE UTILIZED FOR DISCAPE REPROATION AGAY FLOW PREVENTION DEVICES.

  LILL STEE DRAININGS SOULE ETERMINISTED AT PUBLIC VAIVA NON ERROSIVE DEVICE PER PARTIES.

- HAMASHER
  PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
  THE ARCHITECT IS NOT RESPONSIBLE FOR STE GRADING OR DRAINAGE.
  MAPILO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
  POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWIELLING PRIOR TO
- INSPECTION.
  INSTELLED THE BUILDING IS WITHIN THE BUILDING IS WITHIN BEIT THAT THE BUILDING IS WITHIN BEIT THAT THE BUILDING IS WITHIN BEIT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY

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### **EXCAVATION NOTES**

- PROVIDE CONTINUOUS INSPECTION DURING EXCAVATION OF SHORING AND INSTALLATION OF SHORM WINDERSENS
  SHORM WINDERSENS
  AND ADMINISTRATION RESMIT SHALL BE GRITNED PROOF TO CONSTRUCTION OF ANY
  AND ADMINISTRATION RESMIT SHALL BE SHOUNDED.
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- 4. IT IS THE CONTRACTIONS RESPONSIBILITY TO CONTRACT TO BALERT PROBE TO ANY EXCAVATION IN THE PREUE REGIFFOR—WAY (1890) 227-808.

  5. PROVINE TEMPORARY SWICKING OF ADMICHIT PROPERTY. QUALIFIED PRESONS REGISTERED WITH THE STATE SHALL DESIGN SHORMS.

  6. A PERMIT IS REQUIRED FROM THE STATE DIVISION OF INDUSTRIAL SAFETY FOR TRENCHES WITH A PROPERTY OF THE PROPERTY OF T

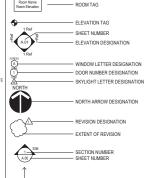
### ABBREVIATION SYMBOL LEGEND



PROJECT SUMMARY

PROJECT LOCATION: LEGAL DESCRIPTION:

ASSESSOR PARCEL NO: ZONING: SCOPE OF WORK:



"NEW TWO STORY + ROOF DECK SER WITH ATTACHED TWO CAR GARAGE I THIRD FLOOR

2,850 SF 65%

### PROJECT DATA

### PROPERTY OWNERS

ANDY & ANN LLOYD ann.lloyd@gmail.com | 415-509-8963 1415 CARLTON ROAD HILLSBOROUGH, CA 94010

### LEGAL DESCRIPTION

### OCCUPANCY AND ZONING

### CITY, STATE, NATIONALLY APPLICABLE

2019 CRC, 2019 CBC, 2019 CMC, 2019 CPC, 2019 CEC, STATE OF CALIFORNIA, AND THE

### HEIGHT CALCULATIONS

LOT SIZE:	2,850 SF
LOT COVERAGE:	

LIVING AREA:			
	UNIT 1	ADU	
FIRST FLOOR:	432 SF	756 SF	
SECOND FLOOR:	1,635 SF	000 SF	
THIRD FLOOR:	860 SF	000 SF	
TOTAL LIVING:	2,927 SF	756 SF	
TOTAL LIVING AREA	3,683	SF	
GARAGE	370 SF		
BALCONIES/DECKS	1197	SF	

### CONSULTANTS

CIVIL CONSULTANT

STRUCTURAL CONSULTANT

ENERGY CONSULTANT

INTERIOR DESIGNER

PROJECT INFORMATION

HERMOSA BEACH

OCCUPANCY: R-3IU ZONING: R-2B CONSTRUCTION TYPE: TYPE VB - SPRINKLERED NUMBER OF UNITS: 2 NUMBER OF STORIES: 3 + BASEMENT

### AREA CALCULATIONS

LOT SIZE:	2,850 SF
LOT COVERAGE:	
MAX ALLOWABLE LOT COVERAGE: PROPOSED LOT COVERAGE:	1,853 SF (65%) 1,839 SF (65%)

SECOND FLOOR:	1,635 SF	000 SF
THIRD FLOOR:	860 SF	000 SF
TOTAL LIVING:	2,927 SF	756 SF
TOTAL LIVING AREA	3,683	

### OPEN SPACE CALCS.

OPEN SPACE REQUIRED	=	300 SI
FIRST FLOOR	-	000 SI
SECOND FLOOR	=	123 SI
THIRD FLOOR	=	200 SI
TOTAL OPEN SPACE	=	323 S

### SURVEYOR DENN ENGINEERS 3914 DEL AMO BLVD, SUITE 921 TORRANCE, CA 90603 T. 310.542.9433

FGB & ASSOCIATES 17410 ELAINE AVENUE ARTESIA, CA 90701 T. 562 584 1071

GEO-TECHNICAL CONSULTANT

### SHEET INDEX SHEET#

CIVIL SURVEY SUSTAINABLE LANDSCAPE PLAN

AREA CALCULATIONS FIRST / SECOND FLOOR PLAN THIRD / ROOF FLOOR PLAN CRITICAL POINT DIMENSION PLAN

ELEVATIONS

PROJECT

### LLOYD RESIDENCE 84 17TH ST. HERMOSA BEACH, CA 90254

ARCHITECTURE

MANHATTAN BEACH, CA 90266

TEL: 310-318-8089 WWW.TOMARO.COM

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PROJECT NUMBER

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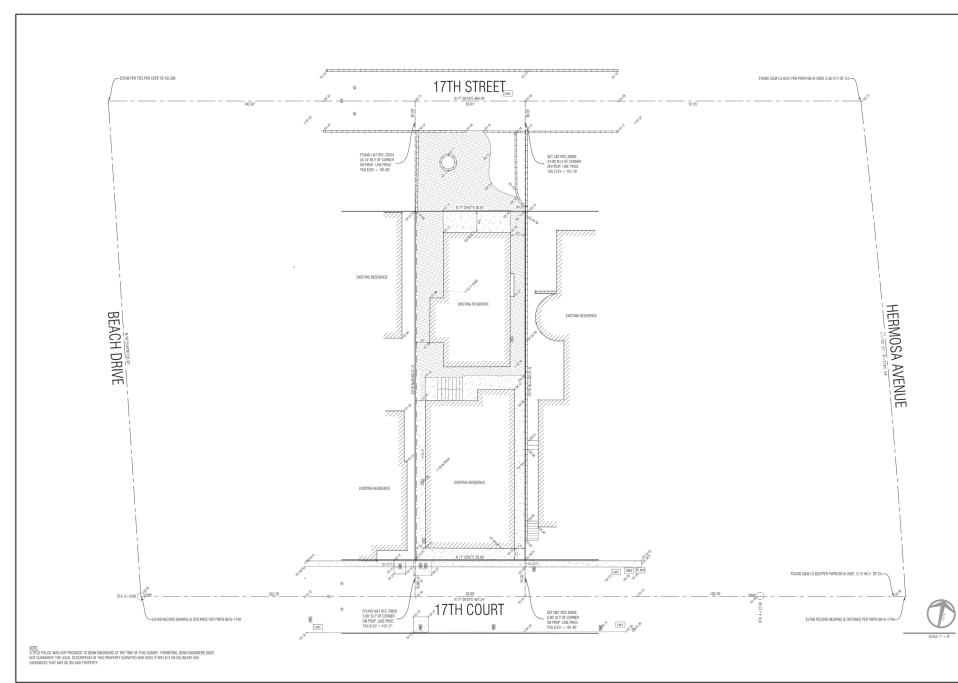
**PROJECT** INFORMATION

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# **ENCROACHMENT NOTES**

Exhibit 2. 5-21-0756 Lloyd **Project Plans** 







SURVEY AND TOPOGRAPHY

ANN & ANDY LLOYD 1415 CARLTON ROAD HILLSBOROUGH, CA 94010 (415) 505-5247

JOB ADDRESS

LEGAL DESCRIPTION LOT 16, BLOCK 17 M.B. 1-25-26 APN 4183-006-015

GARY J. ROEHL R.C.E. 30826

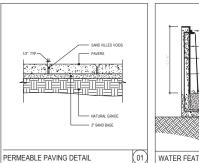
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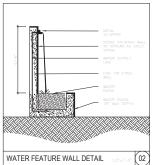
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SHEET 1 OF 1 JOB NO. 20-512





### LANDSCAPE NOTES:

ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAMED) WATER MUST USE DRIP OR MICROSPRAY BRIGATION SYSTEMS.
 2) PROPOSED LANDSCAPE MUST MEET HERMOSA BEACH MILLICIPAL COORS CHAPTER 8.6 - WATER CONSERVATION AND 8.60 - EFFICIENT LENSCAPING

PERMEABLE AREA CALCULATI	ON
LOT AREA	2850 SF
BUILDING FOOTPRINT	1668 SF
EXTERIOR SURFACE AREA	1182 SF
LANDSCAPE AREA	000 SF
NON-PERMEABLE SURFACE (HARDSCAPE)	443 SF
PERMEABLE SURFACE (HARDSCAPE)	724 SF
PERMEABLE AREA	636 SF
AT LEAST 50% (591 SF) OF THE EXTERIOR SURFACE ARE.	

# **ARCHITECTURE**

2617 NORTH SEPULVEDA BLVD. MANHATTAN BEACH, CA 90266 TEL: 310-318-8089 WWW.TOMARO.COW

PLANTING LIST

_	LANTING LIGH			
M.	BOTANICAL NAME	QTY	SIZE	WUCC
þ	CORDYLINE 'FESTIVE GRASS'	0	1g	L/M
ĝ.	KALANCHOE THYRSIFLORA ' PADDLE PLANT'	4	1g	L
,	AEONIUM TREE HOUSELEEK	0	1g	L

### LANDSCAPE LEGEND

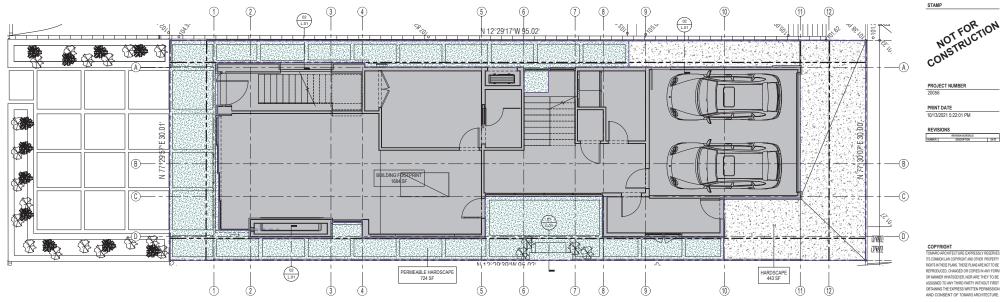
BUILDING FOOTPRINT

HARDSCAPE

PERMEABLE HARDSCAPE

PROJECT

LLOYD RESIDENCE 84 17TH ST. HERMOSA BEACH, CA 90254





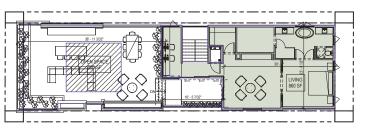
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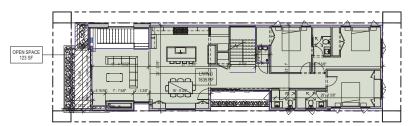
SUSTAINABLE LANDSCAPE PLAN

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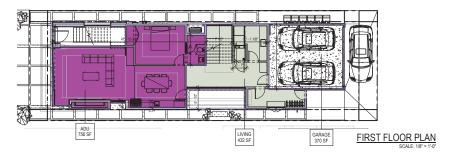
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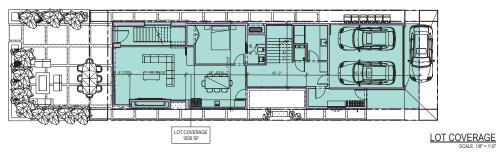


### THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN





AREA CALCULATIONS		
LOT SIZE:	2,85	0 SF
LOT COVERAGE:		
MAX ALLOWABLE LOT COVERAGE PROPOSED LOT COVERAGE		SF (65%) SF (65%)
LIVING AREA:		
FIRST FLOOR:	UNIT 1 432 SF	756 SF
SECOND FLOOR:	432 SF 1,635 SF	756 SF 000 SF
	432 SF 1,635 SF	756 SF 000 SF 000 SF
SECOND FLOOR: THIRD FLOOR:	432 SF 1,635 SF 860 SF	756 SF 000 SF 000 SF 756 SF



2617 NORTH SEPULVEDA BLVD. MANHATTAN BEACH, CA 90266 TEL: 310-318-8089 WWW.TOMARO.COM OPEN SPACE CALCS.

PROJECT

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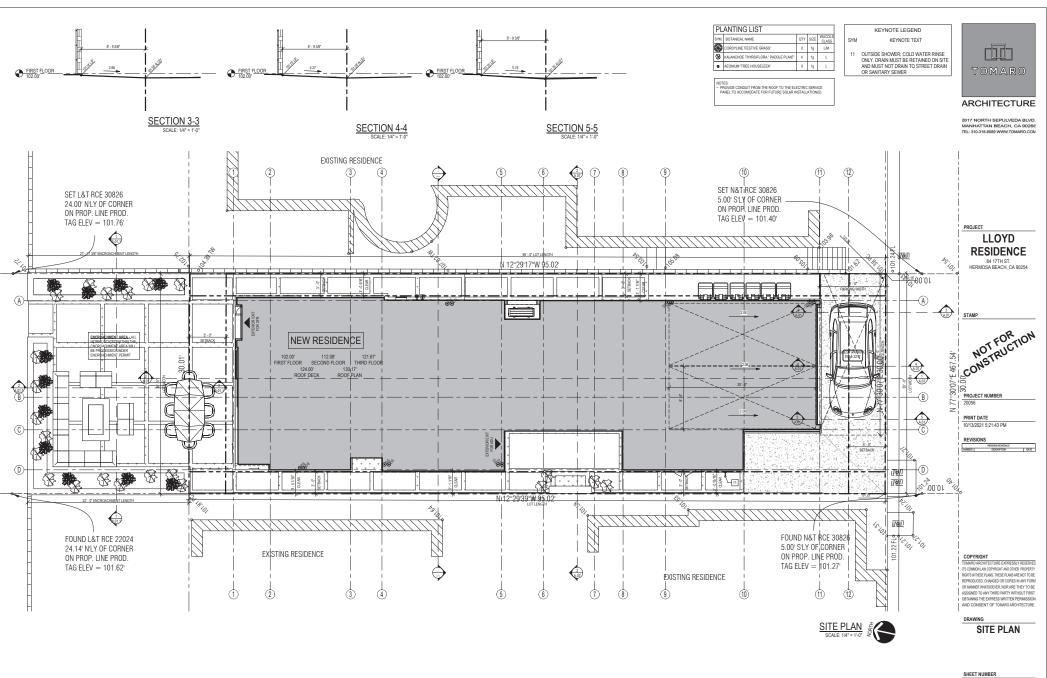
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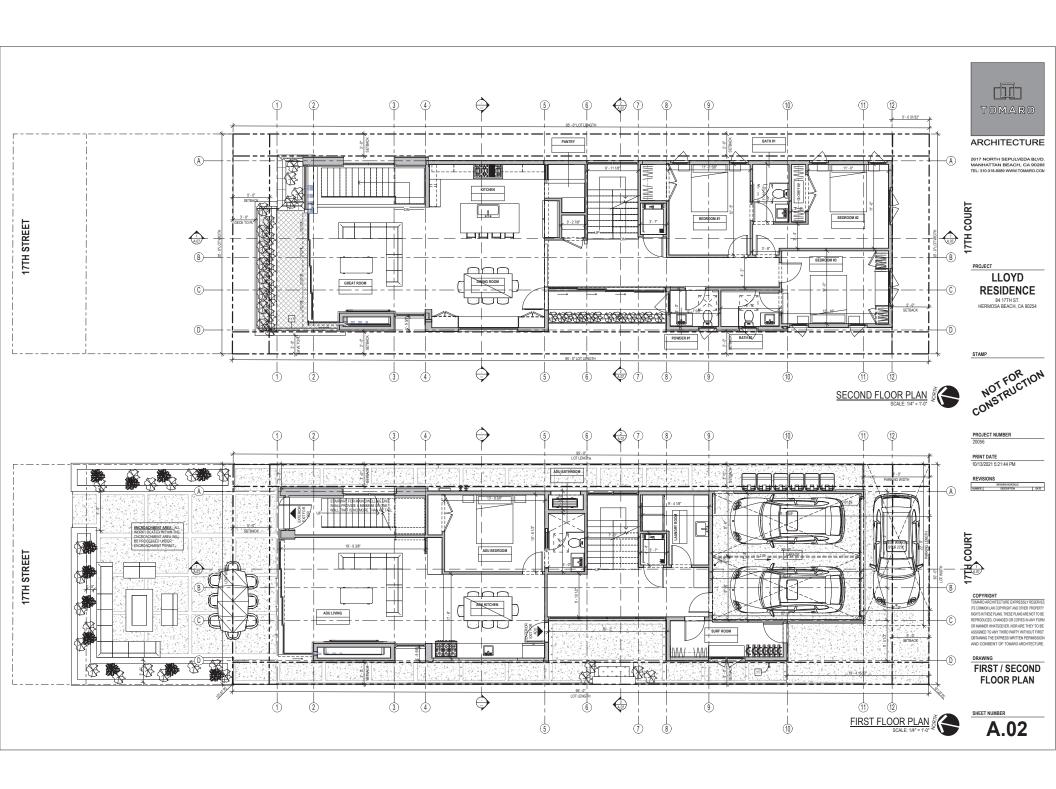
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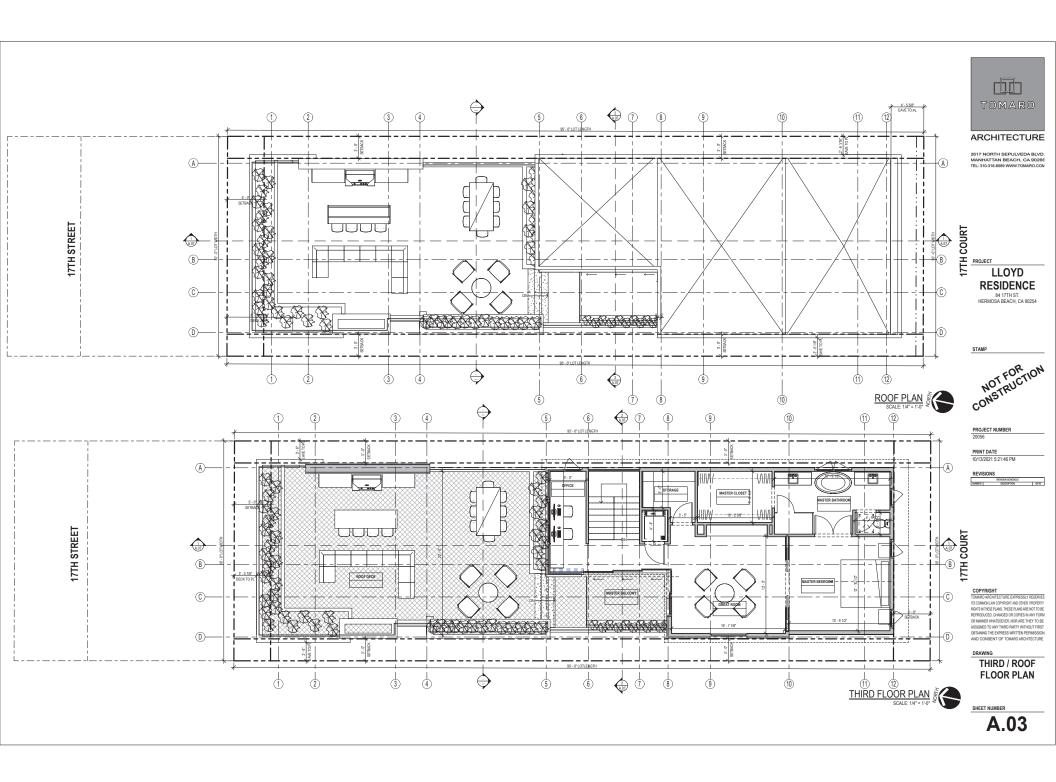
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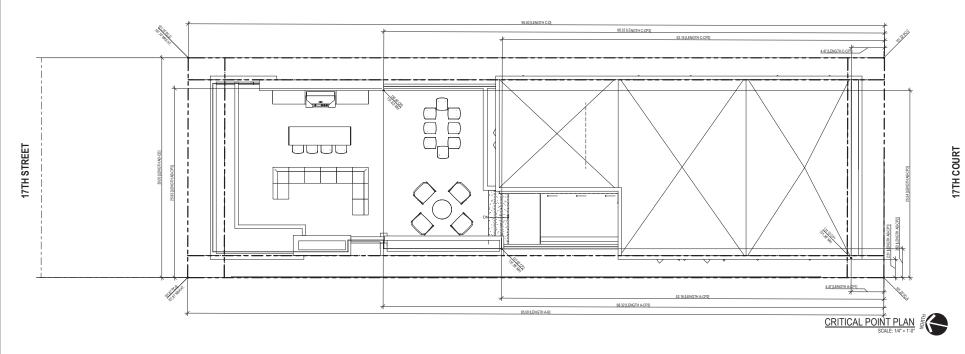
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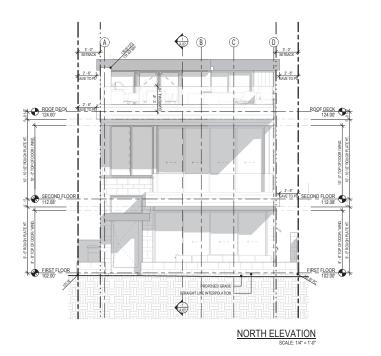
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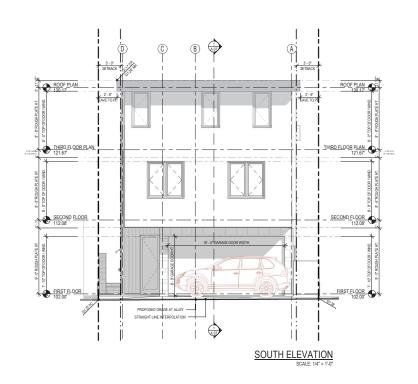
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CRITICAL POINT DIMENSION PLAN

SHEET NUMBER

A.03.1







ARCHITECTURE

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PROJECT

LLOYD RESIDENCE 84 17TH ST. HERMOSA BEACH, CA 90254

STAMP

NOT FOR TION CONSTRUCTION

PROJECT NUMBER 20056

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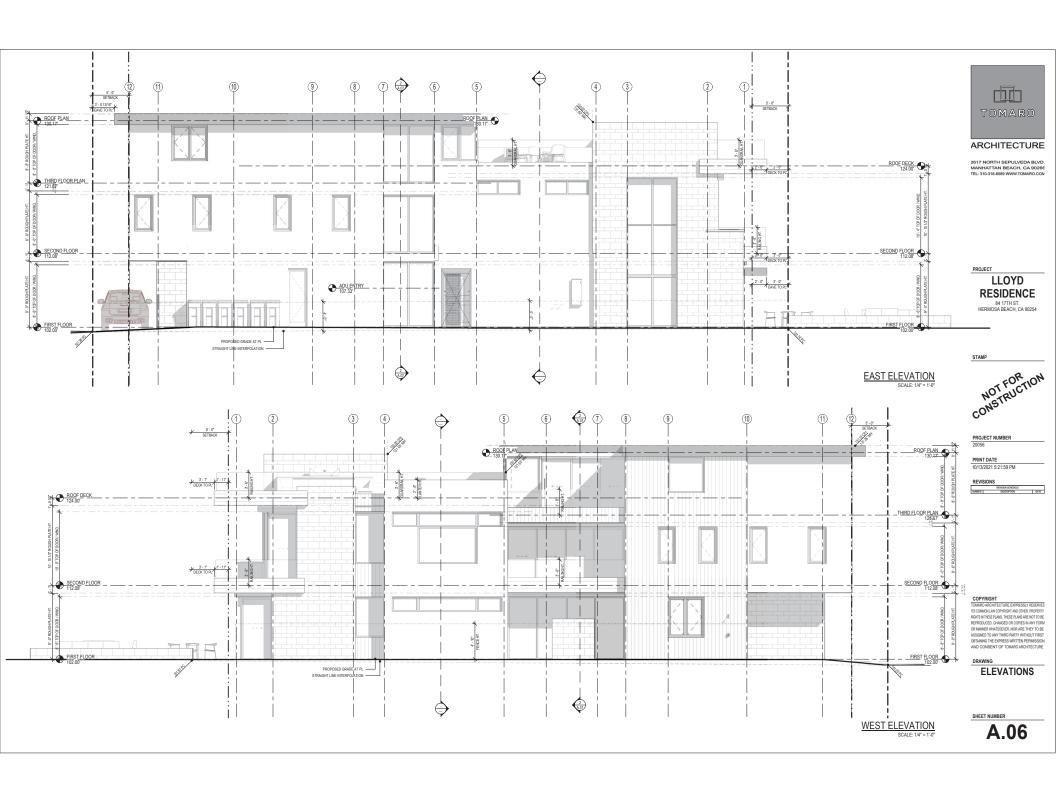
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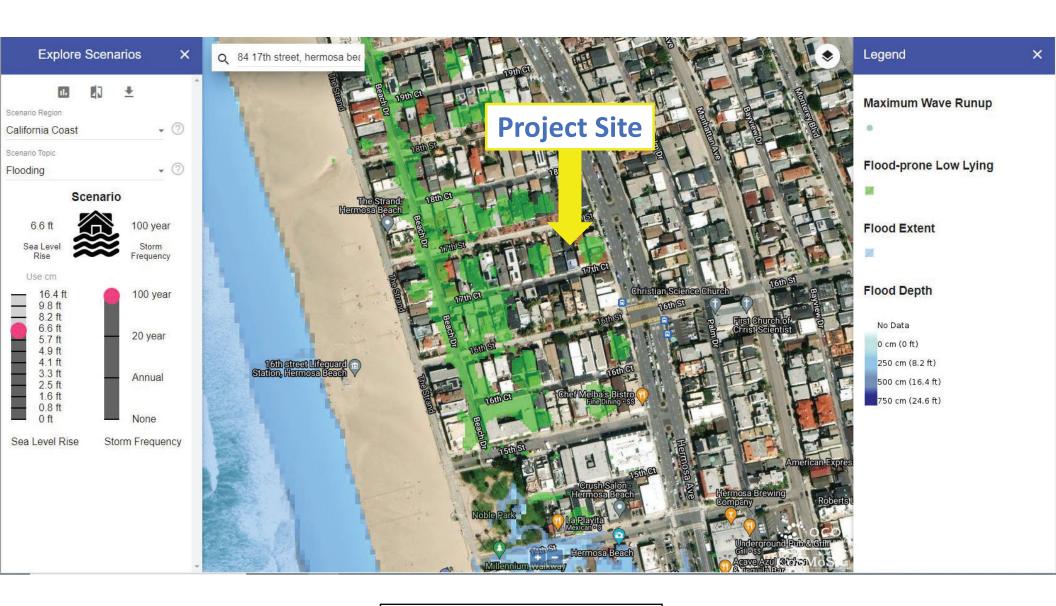


Exhibit 3. 5-21-0756 Lloyd CosMos Flooding Analysis



Exhibit 4. 5-21-0756 Lloyd CosMos Groundwater Analysis

## Community Character Survey

Address	Residence Type	Structure Size (sq.	Lot Size (sq. ft.)
		ft.)	
20 17 <sup>th</sup> St.	duplex	4,056	3,941
30 17 <sup>th</sup> St.	single-family	1,794	2,853
34 17 <sup>th</sup> St.	single-family	3,709	3,631
40 17 <sup>th</sup> St.	single-family	2,785	3,622
50 17 <sup>th</sup> St.	duplex	2,346	2,852
52 17 <sup>th</sup> St.	duplex	2,516	2,854
60 17 <sup>th</sup> St.	duplex	2,608	2,864
68 17 <sup>th</sup> St.	single-family	720	2,850
76 17 <sup>th</sup> St.	single-family	5,124	2,850
80 17 <sup>th</sup> St.	duplex	1,472	2,853
84 17 <sup>th</sup> St.*	duplex	2,084	2,852
92 17 <sup>th</sup> St.	single-family	4,137	2,850
1625 Hermosa Ave.	condo (2 units)	2,970	4,739
1617 Hermosa Ave.	single-family	2,829	1,956
17 16 <sup>th</sup> St.	duplex	3,890	3,167
27 16 <sup>th</sup> St.	single-family	3,220	2,858
33 16 <sup>th</sup> St.	single-family	2,501	3,678
41 16 <sup>th</sup> St.	single-family	4,140	3,622
45 16 <sup>th</sup> St.	triplex	2,880	2,854
54 17 <sup>th</sup> Ct.	single-family	1,963	2,852
55 16 <sup>th</sup> St.	duplex	1,426	2,851
63 16 <sup>th</sup> St.	duplex	2,462	2,851
71 16 <sup>th</sup> St.	duplex	1,988	2,854
73 16 <sup>th</sup> St.	single-family	4,470	2,865
79 16 <sup>th</sup> St.	duplex	3,493	2,849
85 16 <sup>th</sup> St.	multi-family	3,216	2,860
	residential (5 units)		
97 16 <sup>th</sup> St.	multi-family residential (10 units)	2,920	3,479
	Tresidential (10 dilits)		

<sup>\*</sup> Project Site

Exhibit 5. 5-21-0756 Lloyd Community Character Analysis