

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD, SUITE 300
LONG BEACH, CA 90802-4325
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FAX (562) 590-5084



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F20a

5-21-0451

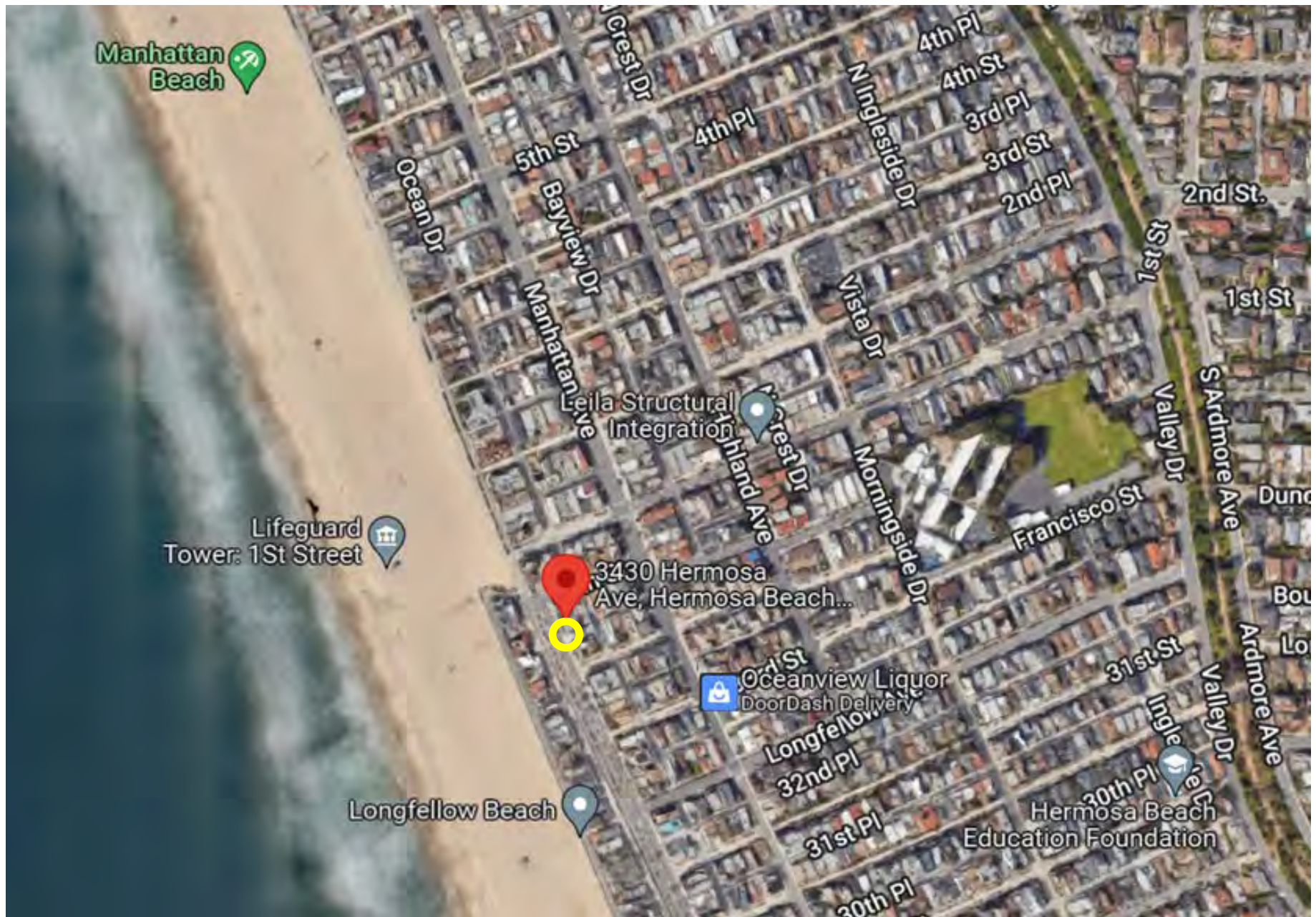
(HNP Investments LLC)

MAY 13, 2022

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Exhibit 1 – Vicinity Map





A NEW THREE STORY TWO UNIT RESIDENCE WITH ATTACHED TWO CAR GARAGE

NEW TWO UNIT RESIDENCE

3430 HERMOSA AVE. HERMOSA BEACH, CA. 90254



SUCH PROJECTS MUST CAPTURE AND TREAT THE FIRST 3/4" INCH OF RAIN RUNOFF FROM THEIR SITE

14. PROVIDE DRAIN PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
15. PROVIDE STUCCY STOPS PRIOR TO FOUNDATION INSULATION TO VERNITY LOT LINES.
16. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
17. FINISH APPOINTMENT REQUIRED FOR ONE PRICE LAVALORY.
18. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS IN DWELLING PRIOR TO FINAL INSPECTION.
19. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS TO VERNITY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SERVICE CONSULTANT.
20. COMPLY WITH ALL VALVES FOR SHUTTERS AND THRESHOLDS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. U.P.C. SEC. 407.4.
21. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS FROM ALL PERMANENT AND TEMPORARY STRUCTURING INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION TO GUARANTEE THE PROTECTION OF THE EXISTING STRUCTURE WITHIN THE CITY OF SOUTHERN CALIFORNIA EXHIBION CODE. BEFORE COMMENCING CONSTRUCTION.
22. PROVIDE PROTECTION TO PEDESTRIANS PER U.P.C. SECTION 303.3 DURING CONSTRUCTION.
23. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS TO VERNITY THAT THE PLANNY IS VISIBLE AND LEGIBLE FROM THE STREET PER C.S.C. SEC. 301.
24. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF "APPROACH CHART" TO "SECURITY OF BICYCLES".
25. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS TO VERNITY THAT THE MINOR SEWER LINES MUST BE LISTED FOR RESIDENTIAL USE.
26. ALL DOORS PROVIDING DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH A SELF CLOSING, SELF LATCHING DEVICE WITH A RELEASE MECHANISM PLACING NO LOWER THAN 54".
27. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS TO VERNITY THAT THE UNDERGROUND ELECTRICAL SERVICE REQUIRED FOR ALL REPAIRS, REMODELS OR EXPANSION SHALL BE PROVIDED TO THE PROPERTY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SHALL NOT EXCEED FIFTY PERCENT OF THE EXISTING VALUATION PRIOR TO CONSTRUCTION.
28. ALL WATER TREATMENT SHALL BE WITH CONSTRUCTION. C.S.C. SEC. 402.2.
29. PROVIDE EVIDENCE OF COMPLIANCE WITH THE MINIMUM REQUIREMENTS TO VERNITY THAT THE MINOR SEWER LINES REQUIRES INVESTIGATION TO ASCERTAIN THE NEED FOR SEWER BACKFLOW.

[illegible]

1. 002.755.5409






ENERGY CONSULTANT

G.00

HERMOSA BEACH, CA	SHEET NUMBER <div style="font-size: 2em; font-weight: bold;">G 00</div>
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5-21-0451
Exhibit 2
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LEGEND

-  GARAGE
-  LOT COVERAGE
-  OPEN SPACE
-  UNIT 1: LIVING
-  UNIT 2: LIVING

LOT COVERAGE CALCULATIONS

LOT SIZE	=	2,552 SF
MAX LOT COVERAGE	=	1,659 SF (65% OF LOT SIZE)
PROPOSED LOT COVERAGE	=	1,659 SF (65% OF LOT SIZE)

OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED	=	300 SF
OPEN SPACE PROVIDED	=	991 SF
THIRD FLOOR OPEN SPACE	=	114 SF
FOURTH FLOOR OPEN SPACE	=	877 SF
TOTAL OPEN SPACE	=	991 SF

AREA CALCULATIONS:

LOT SIZE	=	2,552 SF
BASEMENT LIVING	=	1,629 SF
GROUND FLOOR LIVING	=	779 SF
FIRST FLOOR LIVING	=	1,050 SF
SECOND FLOOR LIVING	=	1,554 SF
THIRD FLOOR LIVING	=	329 SF
TOTAL	=	5,341 SF
TOTAL LIVING	=	6,150 SF
TOTAL BALCONY	=	1,529 SF
TOTAL GARAGE	=	386 SF



5817 NORTH STEPHENSON BLVD.
MANHATTAN BEACH, CA 90266
TEL: 310-318-9089 WWW.TOMARO.COM

PROJECT

**NEW
RESIDENCE**
3430 HERMOSA AVE.
HERMOSA BEACH, CA 90254

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**AREA
CALCULATIONS**

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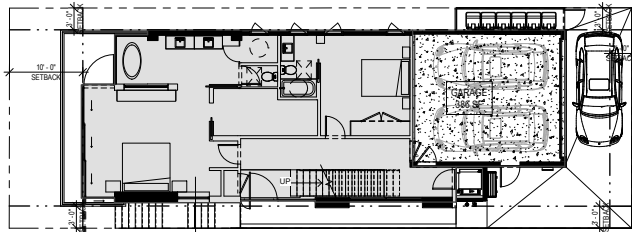
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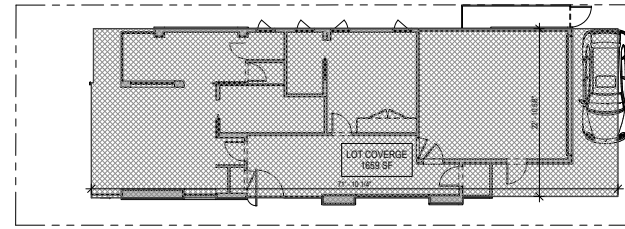
Exhibit 2

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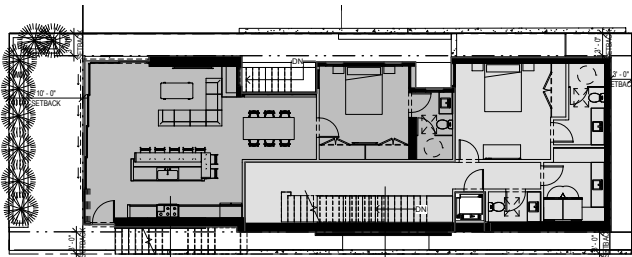
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



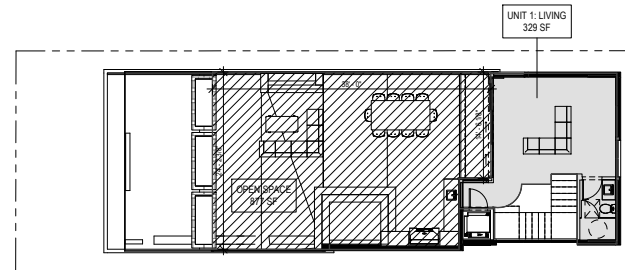
LOT COVERAGE

SCALE: 1/8" = 1'-0"



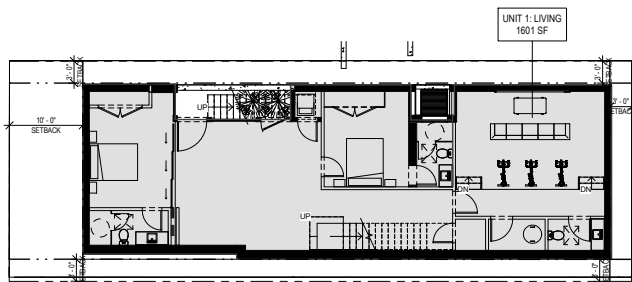
GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



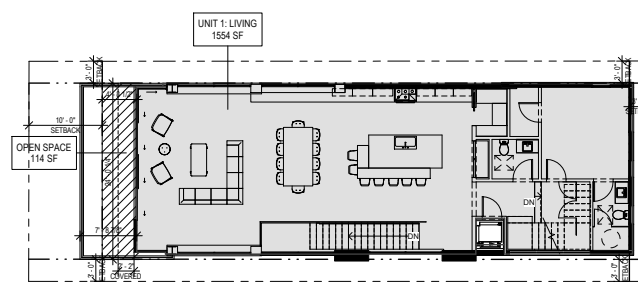
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



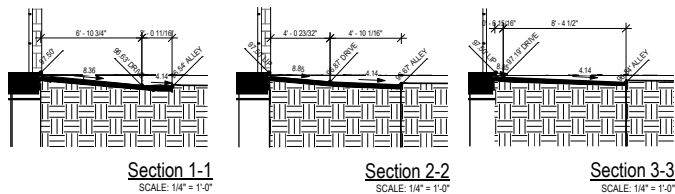
BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PLANTING LIST			
SYM	BOTANICAL NAME	QTY	SIZE
1	CORDYLINE 'FESTIVE GRASS'	4	1g
2	HALIMNCHIE THYRSIFLORA 'PADDLE PLANT'	12	1g
3	AEONUM TREE HOUSELEEK	15	1g

NOTES:
 - PROVIDE CONDUIT FROM THE ROOF TO THE ELECTRIC SERVICE PANEL TO ACCOMMODATE FOR FUTURE SOLAR INSTALLATIONS

KEYNOTE LEGEND	
SYM	KEYNOTE TEXT
3	400 AMP ELECTRICAL SERVICE PANEL: CALCULATIONS TO BE SUBMITTED AS A DEFERRED SUBMITTAL PER CITY ORDINANCE
4	GAS METER WITH APPROVED SEISMIC GAS SHUTOFF VALVE
9	TRASH AREA LOCATION TO COMPLY WITH HBMC CHAPTER 8.12
12	HEAT PUMP (STACKED)
14	NEW WOOD GATE
16	NEW CONCRETE DRIVEWAY. DRIVEWAY TO BE COLORED CONCRETE WITH ACID WASH FINISH. SCORED AS SHOWN. VERIFY WITH ARCHITECT TO SELECT PATTERN AND COLOR
18	NEW SIDEWALK PER CITY STANDARD
30	
138	CAST IRON VERTICAL RISERS TO RUN IN WALL
154	DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL



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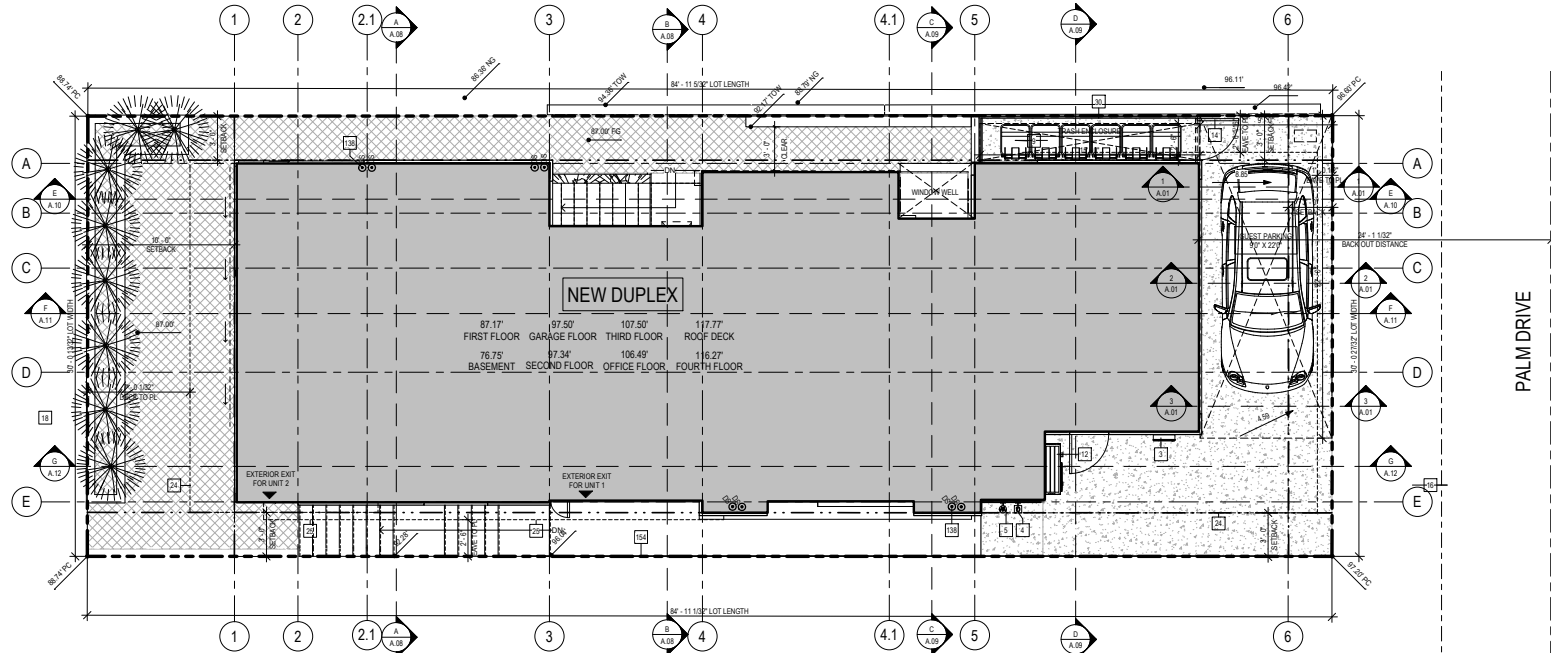
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HERMOSA AVE.



SITE PLAN
 SCALE: 1/4\"/>



LANDSCAPE NOTES:

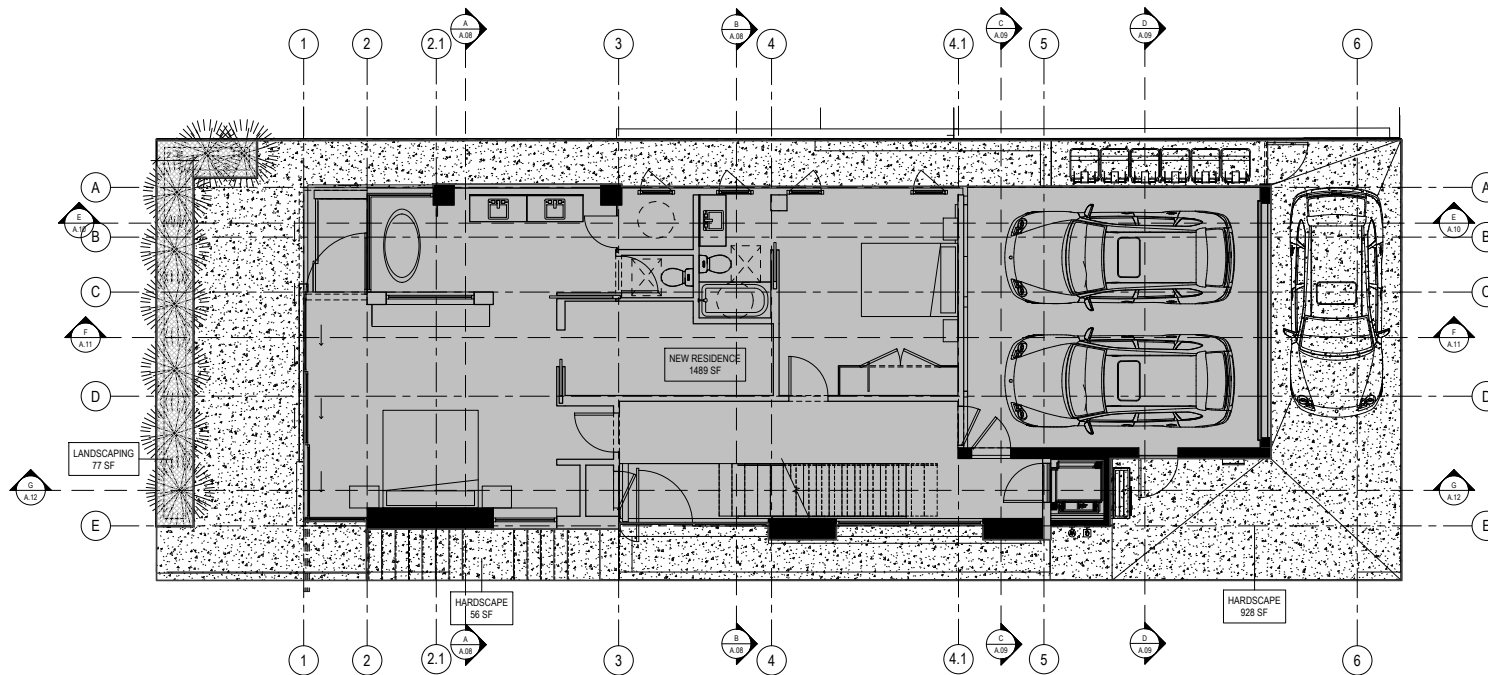
- 1) ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED WATER) MUST USE Drip OR MICROSPRAY IRRIGATION SYSTEMS.
- 2) PROPOSED LANDSCAPE MUST MEET HERMOSA BEACH MUNICIPAL CODES CHAPTER 8.55 - WATER CONSERVATION AND 8.60 - EFFICIENT LANDSCAPING

PERMEABLE AREA CALCULATION	
LOT AREA	2632 SF
BUILDING FOOTPRINT	1489 SF
EXTERIOR SURFACE AREA	1060 SF
LANDSCAPE AREA	77 SF
NON-PERMEABLE SURFACE (HARDSCAPE)	528 SF
PERMEABLE SURFACE (HARDSCAPE)	600 SF
PERMEABLE AREA	77 SF
AT LEAST 60% (630 SF) OF THE EXTERIOR SURFACE AREA MUST BE PERMEABLE OR AN INFILTRATION SYSTEM MUST BE PROVIDED	

PLANTING LIST			
SYM.	BOTANICAL NAME	QTY	SIZE
✱	CORNYLUS FERTILE GRASS	4	1g
✱	HALIMCHOE THYRSIFLORA "PADDLE PLANT"	12	1g
●	AEONIUM TREE HOUSELEEK	15	1g

LANDSCAPING LEGEND

- HARDSCAPE
- LANDSCAPING
- NEW RESIDENCE
- PERMEABLE HARDSCAPE



SUSTAINABLE LANDSCAPING PLAN
SCALE: 1/4" = 1'-0"



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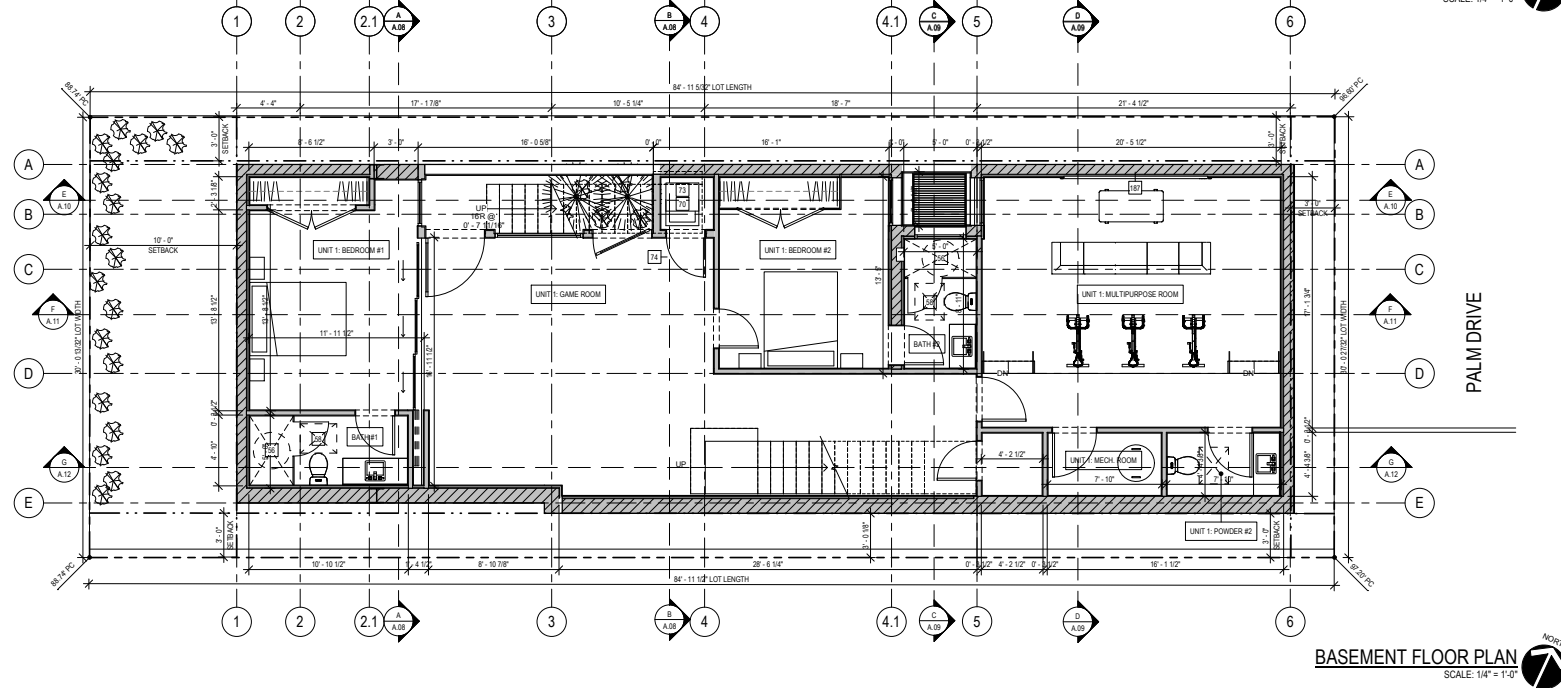
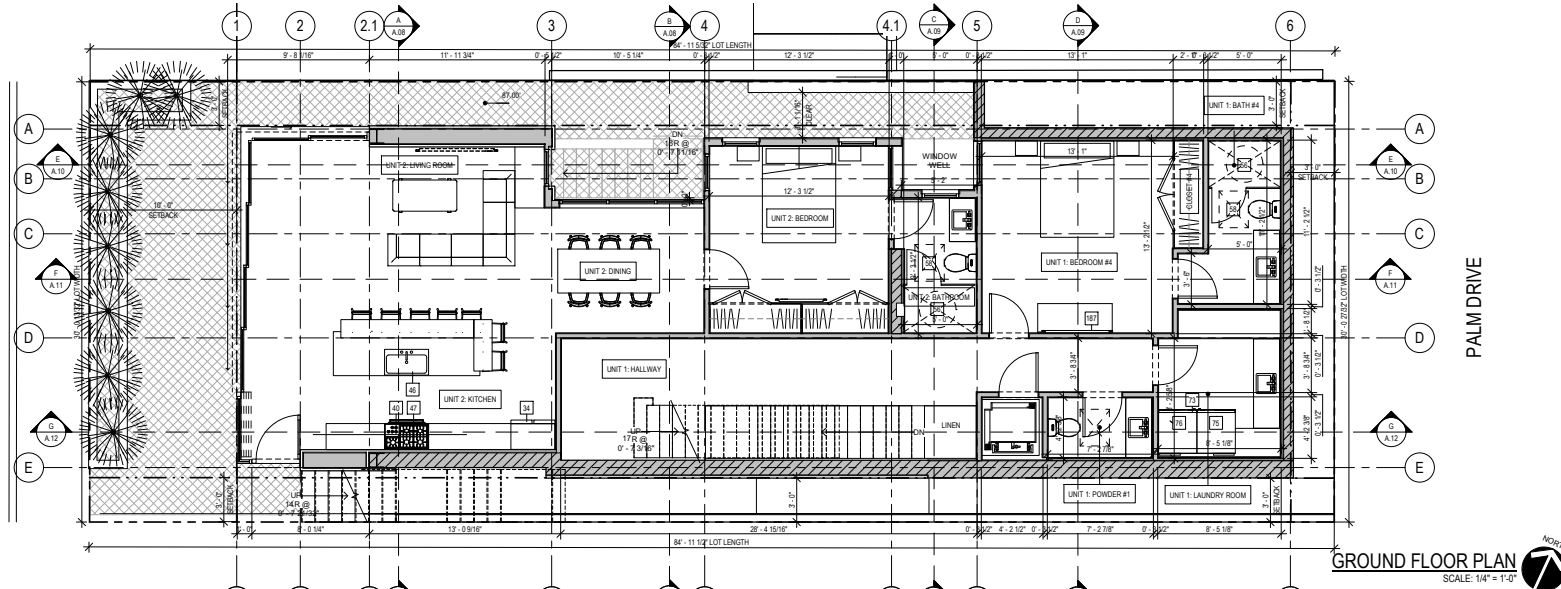
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SUSTAINABLE LANDSCAPE PLAN

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A.01.1

HERMOSA AVE.

HERMOSA AVE.



SYM	KEYNOTE TEXT
34	2'6" FULL HEIGHT FRIDGE / FREEZER
40	36" WIDE RANGE WITH HOOD ABOVE
46	36" ISLAND SINK
47	36" WIDE OVEN
56	PROVIDE 4'x4" SHOWER CURB, 30" DIAMETER MINIMUM INTERIOR CLEAR AT SHOWER AREA, FRAMELESS 1/2" THICK TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURES, PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS
58	24"x30" CLEAR AREA IN FRONT OF TOILET
70	STACK WASHER DRYER
73	VENT DRYER EXHAUST TO OUTSIDE WITH 4" FLEXIBLE DUCT, 14' MAX. LENGTH, WITH MAX. TWO BENDS
74	100 SQ. IN. OF VENT OPENING FOR CLOTHES DRYER MAKE UP AIR.
75	WASHER
76	DRYER
187	WALL MOUNTED TV: PROVIDE POWER PER MANUFACTURERS SPECS, (OWNER TO VERIFY LOCATION)



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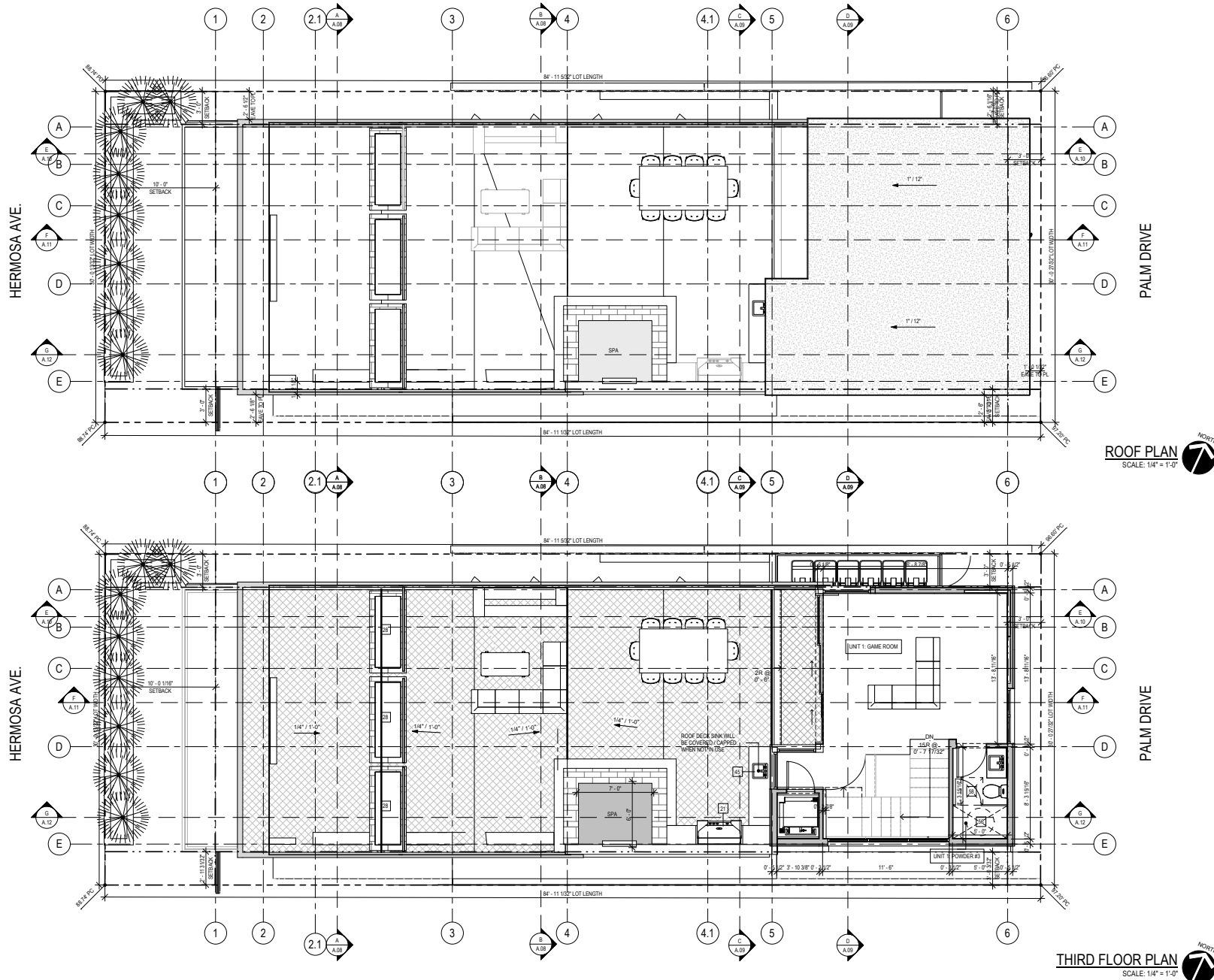
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BASEMENT / GROUND FLOOR PLAN

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A.02

SCALE: 1/4" = 1'-0"

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KEYNOTE LEGEND

SYM	KEYNOTE TEXT
21	BARBEQUE
28	LARGE CUSTOM PLANTER INSERT
45	BAR SINK
56	PROVIDE 4"x4" SHOWER CURB, 30" DIAMETER MINIMUM INTERIOR CLEAR AT SHOWER AREA, FRAMELESS 1/2" THICK TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURES, PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS
58	24"x30" CLEAR AREA IN FRONT OF TOILET

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ARCHITECTURE

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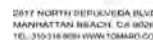
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THIRD FLOOR / ROOF PLAN

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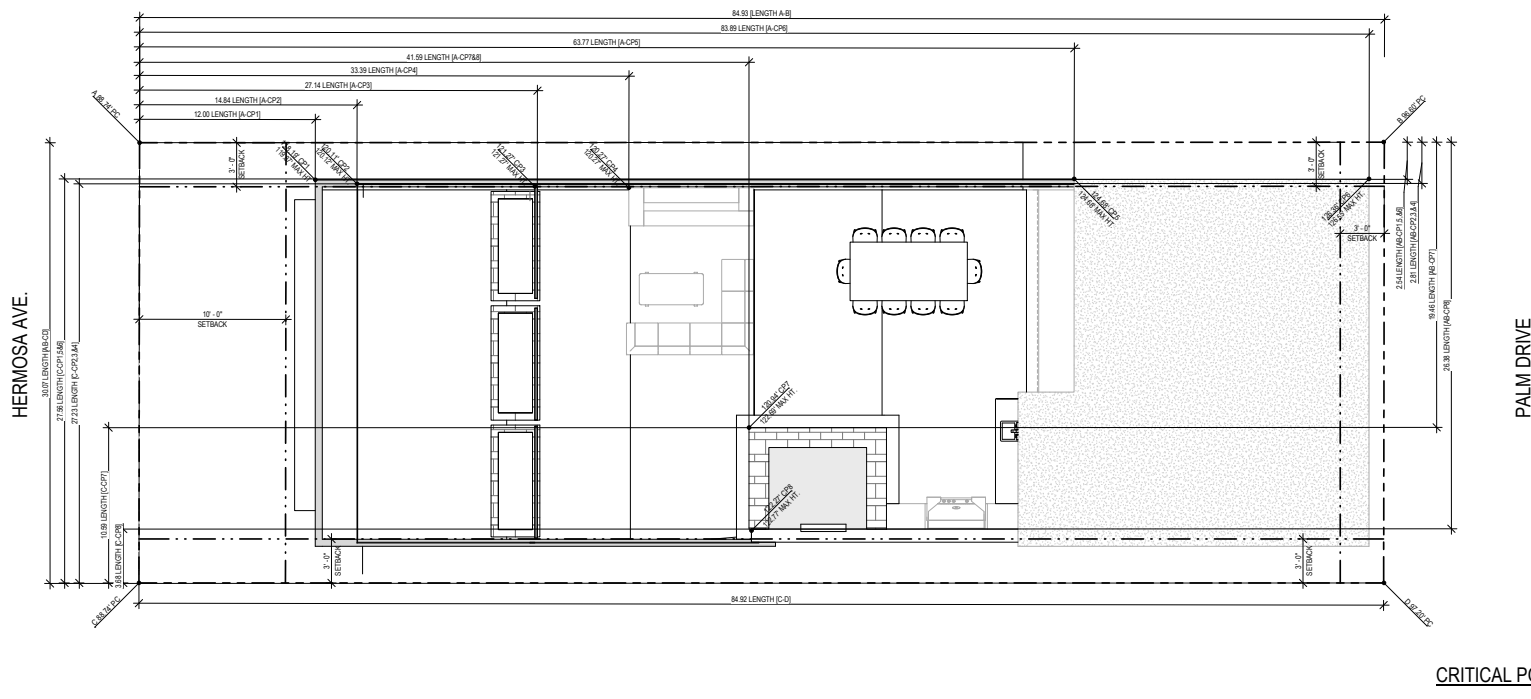
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**CRITICAL POINT
DIMENSION
PLAN**

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CRITICAL POINT PLAN
SCALE: 1/4" = 1'-0"



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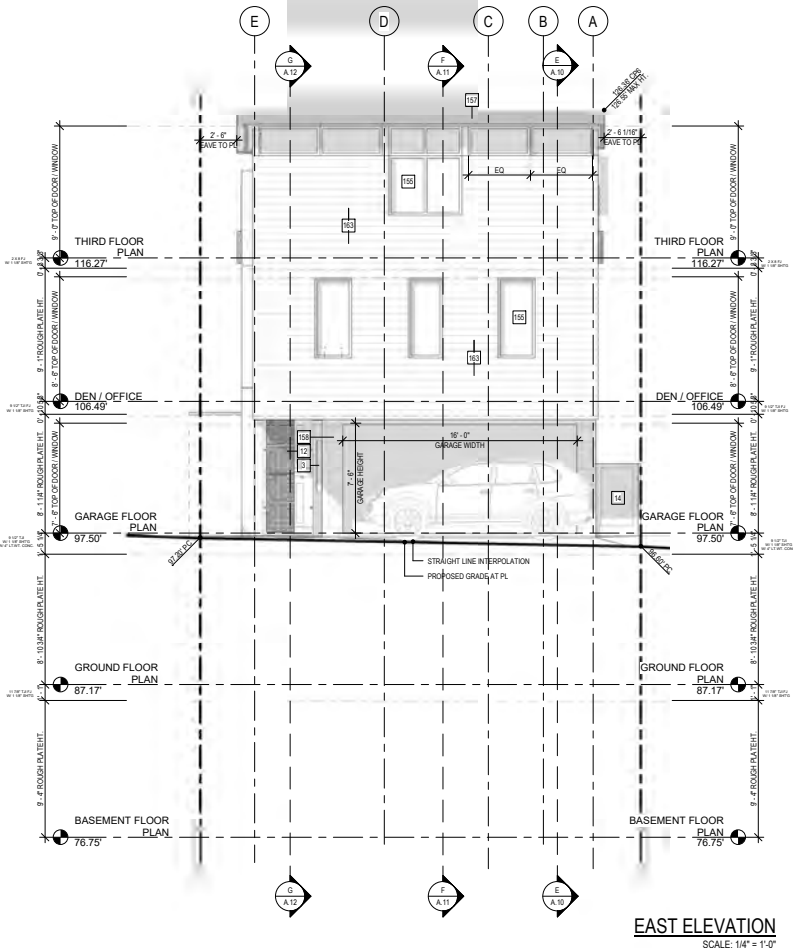
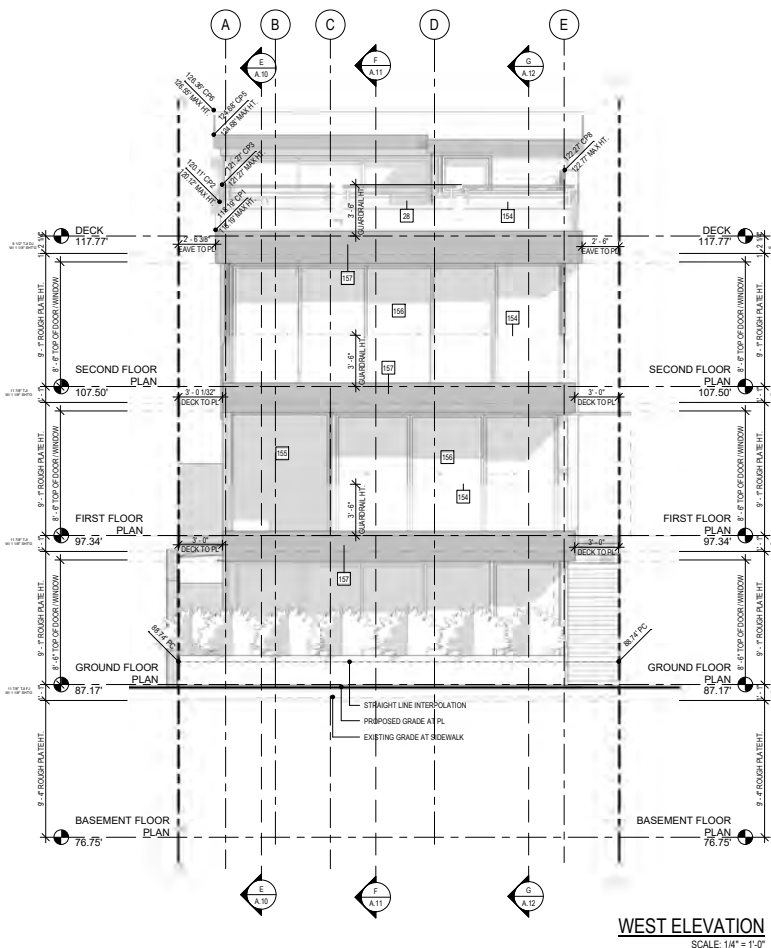
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DRAWING
ELEVATIONS

SHEET NUMBER
A.06

- KEYNOTE LEGEND
- | SYM | KEYNOTE TEXT |
|-----|--|
| 3 | 400 AMP ELECTRICAL SERVICE PANEL: CALCULATIONS TO BE SUBMITTED AS A DEFERRED SUBMITTAL PER CITY ORDINANCE |
| 12 | HEAT PUMP (STACKED) |
| 14 | NEW WOOD GATE |
| 28 | LARGE CUSTOM PLANTER INSERT |
| 154 | DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL. |
| 155 | WINDOWS: DUAL PANE FLEETWOOD ALUMINUM. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 156 | DOORS: DUAL PANE FLEETWOOD ALUMINUM GLAD SLIDING DOORS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 157 | BONDERIZED METAL WITH PAINTED FINISH (ARCHITECT TO SPECIFY COLOR) |
| 158 | STONE VENEER: SPLIT FACE LIMESTONE, ATTACHED TO STUCCO BROWN COAT PER CBC SECTION 1403.5.4. PROVIDE PRECAST CONCRETE LEDGE CAP (OWNER TO VERIFY) |
| 163 | TRESPA MYSTIC CEDAR WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO VERIFY) |





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ELEVATIONS

SHEET NUMBER
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- KEYNOTE LEGEND
- | SYM | KEYNOTE TEXT |
|-----|--|
| 3 | 400 AMP ELECTRICAL SERVICE PANEL; CALCULATIONS TO BE SUBMITTED AS A DEFERRED SUBMITTAL PER CITY ORDINANCE |
| 4 | GAS METER WITH APPROVED SEISMIC GAS SHUTOFF VALVE |
| 5 | WATER MAIN RISER |
| 12 | HEAT PUMP (STACKED) |
| 14 | NEW WOOD GATE |
| 24 | LINE OF THIRD FLOOR ABOVE |
| 30 | LARGE CUSTOM PLANTER INSERT |
| 154 | DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL |
| 155 | WINDOWS: DUAL PANE FLEETWOOD ALUMINUM. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 156 | DOORS: DUAL PANE FLEETWOOD ALUMINUM CLAD SLIDING DOORS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 157 | BONDERIZED METAL WITH PAINTED FINISH (ARCHITECT TO SPECIFY COLOR) |
| 158 | STONE VENEER: SPLIT FACE LIMESTONE, ATTACHED TO STUCCO BROWN COAT PER CBC SECTION 1403.5.4. PROVIDE PRECAST CONCRETE LEDGE CAP (OWNER TO VERIFY) |
| 159 | WHITE STUCCO: 7/8" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH 8d COOLER NAILS @ 6" O.C. (OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR) |
| 163 | TRESPA MYSTIC CEDAR WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO VERIFY) |

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NORTH ELEVATION
SCALE: 1/4" = 1'-0"

California Coastal Commission

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Exhibit 2
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Exhibit 3 – CoSMoS Flooding Analysis

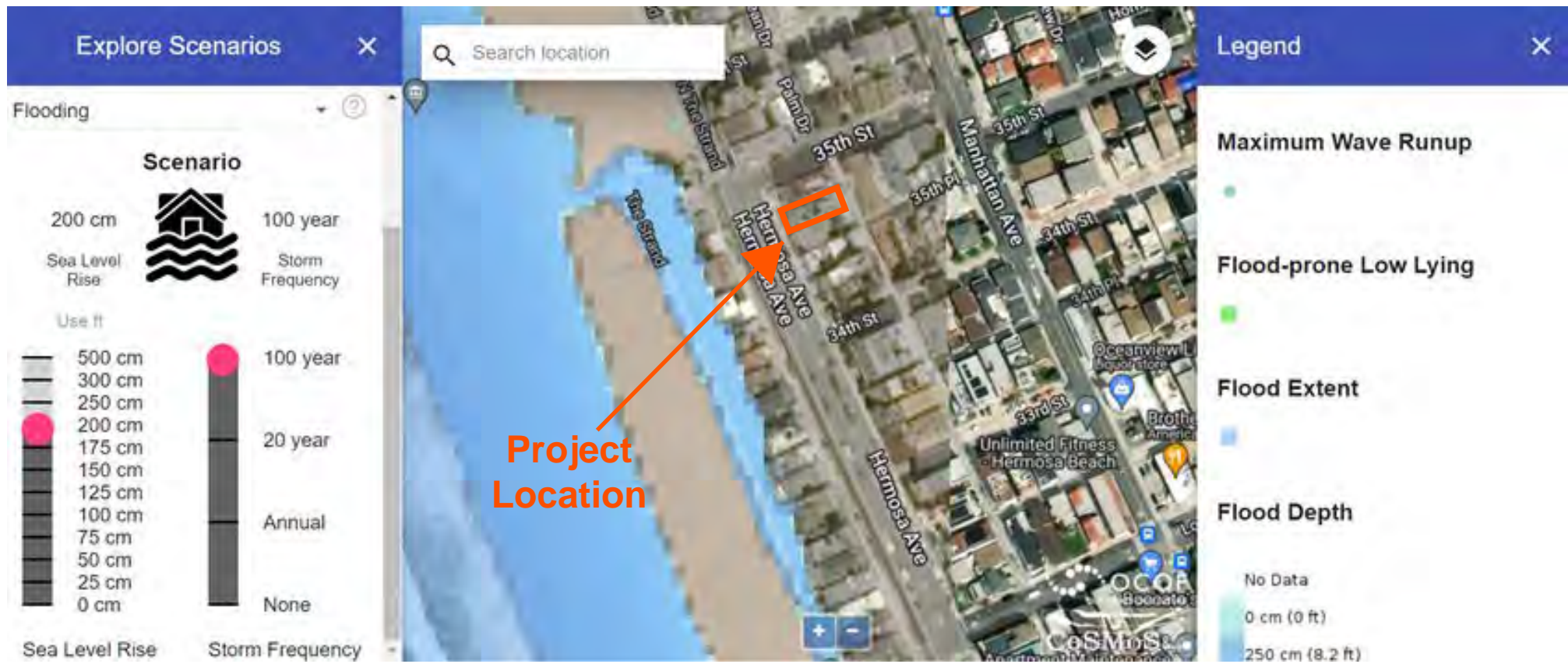


Exhibit 4 – CoSMoS Groundwater Analysis

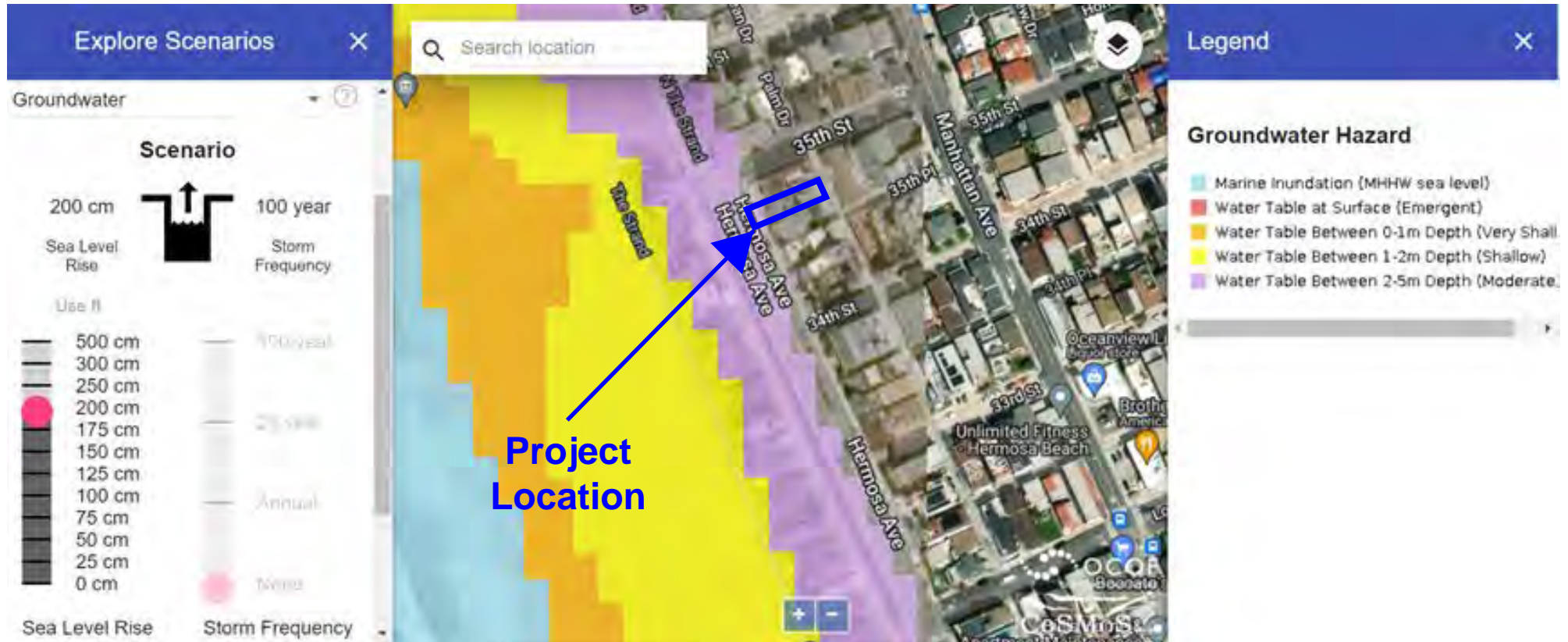


Exhibit 5 – Community Character Analysis

Community Character Survey

Address	Residence Type	Structure Size (sq. ft.)	Lot Size (sq. ft.)
115 Longfellow Ave	Duplex	1,606	2,546
3206 Hermosa Ave	Triplex	2,236	2,553
3216 Hermosa Ave	Single-Family	4,207	2,554
3224 Hermosa Ave	Single-Family	2,410	4,247
3232 Hermosa Ave	Quadrplex	3,085	3,400
3302 Hermosa Ave	Duplex	1,970	2,965
3312 Hermosa Ave	Single-Family	3,563	2,554
3316 Hermosa Ave	Single-Family	4,433	2,555
3324 Hermosa Ave	Multi-Family (5+ Units)	10,327	5,519
3410 Hermosa Ave	Single-Family	4,040	2,560
3415 Palm Dr	Quadrplex	2,395	2,559
3422 Hermosa Ave	Single-Family	1,860	2,550
3430 Hermosa Ave	Duplex	2,236	2,541
108 35th St	Single-Family	3,891	2,644
3443 Hermosa Ave	Quadrplex	2,868	4,204
3436 The Strand	Duplex	1,682	1,736
3435 Hermosa Ave	Duplex	925	1,779
3423 Hermosa Ave	Single-Family	3,900	2,738
3417 Hermosa Ave	Single-Family	2,608	2,838
3410 The Strand	Single-Family	2,192	1,658
3411 The Strand	Duplex	2,443	1,949
3405 The Strand	Single-Family	1,686	2,352
3330 The Strand	Single-Family	3,152	2,084
3320 The Strand	Single-Family	3,670	2,144
3318 The Strand	Single-Family	2,566	2,177
3310 The Strand	Duplex	2,244	2,223

* **Project Site**