CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE 301 E. OCEAN BLVD, SUITE 300 LONG BEACH, CA 90802-4325 VOICE (562) 590-5071 FAX (562) 590-5084



Click here to go to staff report

F20a

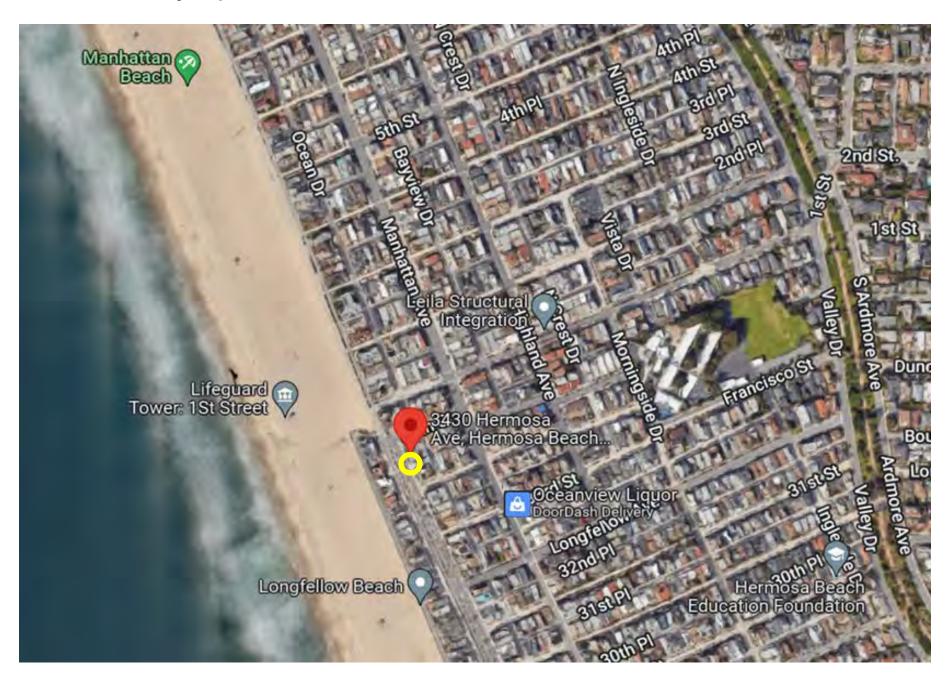
5-21-0451 (HNP Investments LLC)

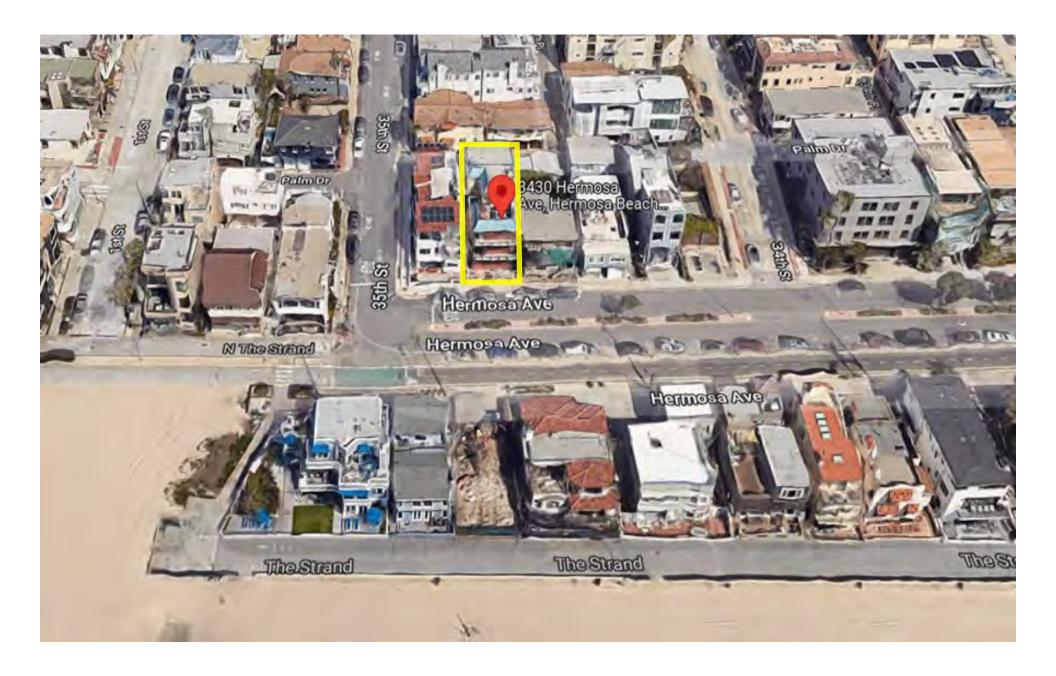
MAY 13, 2022

EXHIBITS

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Exhibit 1 – Vicinity Map





A NEW THREE STORY TWO UNIT RESIDENCE WITH ATTACHED TWO CAR GARAGE

NEW TWO UNIT RESIDENCE

3430 HERMOSA AVE. HERMOSA BEACH, CA. 90254

CITY OF HERMOSA BEACH DEPT. OF PUBLIC WORKS PUBLIC RIGHT OF WAY REQUIREMENTS

THE FOLLOWING STANDARD CONDITIONS APPLY TO ALL PROJECTS REQUIRING A BUILDING PERMIT UNLESS IT IS DETERMINED UNNECESSARY BY THE PUBLEC WORKS DRECTOR. A GRADING PLAY IS REQUIRED FOR ANY PROJECT REQUIRING A BUILDING PERMIT UNLESS WAIVED BY THE DIRECTOR OF PUBLIC WORKS. ALL CONSTRUCTION MUST COURTY WITH THE CITY OF HERMICSA BEACH AND LOS ANGELES COUNTY STANDARDS.

1. ALL PLANS FOR NEW AND OR GOLDTONG ONE FIGH. HARRISE (AM) QUARE FEET AND FE SIGNATION OF THE FOR HARRISE (AM) QUARE FEET AND FE SIGNATION TO THE LAND FROM THE FOR T

A SEMER OF PERMIT MAST SE COURSED SETORS, 1990.LITTON FERRIT THALLES (SISED)

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3. ALL CONTINCTIONS WORKING OF A PILLEY WROSS PROJECTS MAST HAVE A DIRECT OFF OF TERMODAL REGION ENGINEERING THE CONTINUE OF T

MEMBAULA.

9. SECTION 42/84217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERBANT TO SCHWATE "WILL BE WALD. FOR YOUR DIG ALERT ID. NUMBER CALL UNDERGROUND SERVICE ALERT AT (80) 227-2400 TWO WORKING DAYS BEFORE YOU DIG.

ALL EXISTING CURB, GUTTER, CONCRETE DRAINAGE SWALE, SIDWALK AND DRIVEWAY WITHIN THE PROPERTY LIMITS SHALL BE. REMOVED AND REPLACED, UNLESS IT IS DETERMINED BY THE CITY PUBLIC WORKS INSPECTOR THAT THEY MEET THE CURBENCY IT OF YEMANGAGES.
 IF THE CURB, GUTTER, CONCRETE DRAINAGE SWALE, SIDEWALK OR DRIVEWAY DO NOT EXIST THEY SHALL BE CONCRETE AND THE CONCRETE OF THE SHALL BE CONCRETED.

ISTRUCTED. CURB AND GUTTER SHALL BE POURED MONOLITHICALLY, BUT SEPARATE FROM SIDEWALK.

ALL DRIVEWAY SLOPES TO BE 2% FROM TOP OF CURB OR LIP OF SWALE TO RIGHT-OF-WAY.
WHEELCHAIR RAMPS ARE REQUIRED ON CORNER LOTS AND MAY BE REQUIRED AT OTHER LOCATIONS.
GRAFFTH IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WHATEVER MEANS NECESSARY UP TO AND

IN GREAT IN A RESIDENT POUNDED CONCRETE SHALL BE RESUVED BY WANTENES MEANS INCESSARY UP TO AND ACCUMENT ACCUMENT AND ACCUMENT ACCUMENT

ATERAL. 2. EXISTING SEWER LATERALS MAY BE USED IF THE CRITERIA OUTLINED IN NOTES (10) AND (11) ARE MET AND A VIDEO APE HAS BEEN PROVIDED TO THE PUBLIC WORKS DEPARTMENT AND IF THE VIDEO SHOW THE LATERAL TO BE IN GOOD

ANY ASPINALT OR CONCRETE STREET WITHIN THE PROPERTY LIMITS THAT IS DAMAGED PRIOR TO CONSTRUCTION
SHALL BE REMOVED AND REPLACED TO MEET CURRENT OFT STRAMARDS.
ANY PRILED PROPERTY DAMAGED DIMED CONSTRUCTION SHALL BE REPLACED IN MICH TO THE SMISSACTION OF
THE CONTROLL CHOISES INSECTION. THE COST OF WHICH THIS SECRETION AND IN HE MISTERS OF PRILED ASSETT
WAS PRAYED GENERAL PROCESSION, THE COST OF WHICH THE SECRETICITY FOR THE PROPERTY HELD THE THE PROPERTY HELD THE PROPERTY HE PROPERTY HELD THE PROPERTY HE PROPERTY HELD THE PROPERTY HE PROPERTY HELD THE PROPERTY HELD THE PROPERTY HELD THE PROPERTY

ANY UTILITY CUT WITHIN CITY STREETS SHALL BE EITHER PERPENDICULAR OR PARALLEL TO THE CENTER OF THE STREET. DIAGONAL CUTS WILL NOT BE ALLOWED. STREET. DIAGONAL CUTS WILL NOT BE ALLOWED. APPROPRIATE COMPACTION TOOL USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF

NATIVE SOIL.
3. AFTER BACKFILLING THE TRENCH A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND

3. AFTER ADDICALLING THE TREMCHAT TREMCHARM ASPINED THAT OH SHALL BE FLACED UPOR THE TREMCH AND INTHE FERMANMENT FORWARD ASSESSMENT OF THE TREMCHARM OF THE TREMCHARM ASSESSMENT OF THAT OF THAT OF THAT OF THAT OF THE TREMCHARM ASSESSMENT OF THAT OF THAT

COMPACTION IN RECEIVANCE, REMOND TO INFORMATION CONTROL TO A COMPACT TO A COMPACT TO BE OPILIZED.

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1. RECOUNTIONS SHALL BE TAKEN TO PROMENT ANY CONSTRUCTION MATERIAL CERRS OR RUNOFF FROM ENTERING ANY CONTROLL OF THE CONTROLL OF THE CONTROLL OF THE CONTROLL OF THE CONTROL OF THE CONTRO

- 10+ HOME DEVELOPMENTS.
 PARKING LOTS, 25 SPACES OR MORE.
 RESTAURANTS

- SERVICE STATIONS.
 AUTO REPAIR FACILITIES.
 100.000 SQUARE FEET COMMERCIAL DEVELOPMENTS.

1. PROOFS JURICLOSES SHALLS ER JACED JACOUR DAY CONSTRUCTION SITS WHITE THE PRINCE REPORT OF MY THESE SHAPPICADES SHALL ON THE PRINCE REPORT OF MY THESE SHAPPICADES TO THE WORK AREA TRAFFIC CONTROL HANDSOON (HIJA T. CH. HANDAUL S. J. AWTHER AS TESTE OR ALLEY S GOOD THE CLOSED THE APPROVAL OF THE PUBLIC WORKS AND THE CONTROL OF THE CONTROL OF THE PUBLIC WORKS AND THE CONTROL OF THE PUBLIC WORKS AND THE CONTROL OF THE PUBLIC WORKS AND THE PUBLIC WO

STREET, PALES AND SHEWHALL MANUFES REQUIRES PROPERTY SHOWER AND SHEWHALL AND SHEWHALL AND SHEWHALL AND SHEWHALL AND ALL CONSTRUCTION FENCES, SHE OF IDE BEHNOT THE STREWALK AND ALL CONSTRUCTION MATERIAL WITHOUT FERMITS ARE TO BE BEHNOT THE FENCE. SIDEMALKS ARE TO BE ACCESSIBLE TO PRESENTED AT ALL TIMES.
5. IF SCAPPOLOMIS IS RESERVED ON THE PUBLIC PRICET OF WAY, A PERSON THUS BE REQUIRED AND ALL THE PROVISIONS OF THE PUBLIC PRICET OF WAY, A PERSON THE LITTLE STREMM, AND ALL THE PUBLIC PRICET OF WAY, A PERSON THE LITTLE STREMM AND THE PUBLIC PRICET OF WAY, A PERSON SHE AND ALL THE PUBLIC PRICET OF WAY, A PERSON SHE ALL THE POWER AND ALL THE PUBLIC PRICET OF WAY, A PERSON SHE ALL THE PUBLIC PRICET OF WAY.

MELI.

8. NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LIEFT ON PUBLIC PROPERTY OVERNIGHT WITHOUT FROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS OPERATING

PUBLIC WORKS:

8. AMY PUBLIC SIDEWALK DAMAGE TO THE POINT OF CAUSING A TRIP HAZARD DURING
CONSTRUCTION, THAT PANEL OF CONCRETE SHALL BE <u>REMOVED IMMEDIATELY AND PATCHED WITH</u>
A <u>TEMPORARY ASSHALT PATCH</u> WHICH MUST BE KEPT IN GOOD REPARL NITH. THE PERMANENT

10 PM.
ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE BEING POURED. SEWER LATERAL PERMITS WILL NOT BE FINAL UNLESS A SEWER LATERAL DIAGRAM HAS BEEN IPLETED AND APPROVED.

GENERAL NOTES

BUILDING COMPLIES WITH 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, AND CITY OF HERMOSA

CH.
AUMN DIFFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK.
UNIESD FORM IS AWALABLE AT THE COMMAINTY DEVILOPMENT DEPARTMENT, PROVIDE PROOF
NOTHEACTION ANAL WITH RETURN BECORPT) 10 DAYS BEFORE BUILDING PERMIT IS SISSUED,
COMPLETE ASSESTOR NOTHEACTION WAVER.
ME BUILDING FEATURES PROJECTION IN 101 DEQUIRED SETBACKS ARE INDICATED ON STEPLOT

AN.

SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND
RTHWORK AS REQUIRED BY CBC SECTION 1804.

STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12' IN THE AREA OCCUPIED BY THE

DING. INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO PTER 25 UBC.

MAPTER 20 UBC.

ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX, AND ALL NEW PLUMBING FIXTURES ALL BE CERTIFIED LOW FLOW FIXTURES.

ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON

DEVICE.

9. PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FOUTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MAN-PIOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE TREQUEST THE BOOKWATER VALVE. PROVIDE CAST RIGHWATER PIPE, RESERS.

10. ALL WINDOW COVERINGS REQUIRED BY CFIR. FORM SHALL BE POSTED PRIOR TO FINAL.

PECTION. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAOMD).
1398-2000 FER RULE 1403 FOR THE PROFES DISPOSAL OF ASSESTIOS.
ONLY LOS ANGESTES COUNTY HEAT THE PERFATENT APPROVED DEVICES MAY BE UTILIZED FOR MISCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
ALL SITE DRANAGE SAULE BE TERMINATED AT PUBLIC WAY VIA NON-EROSIVE DEVICE PER

HAMASHER
PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
THE ARCHITECT IS NOT RESPONSBLE FOR SITE GRADING OR DRAINAGE.
MAPILO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWIELLING PRIOR TO

ALI INSPECTION.
I IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN E HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY

ANTS. FROL VALVE FOR SHOWERS AND TUBISHOWERS SHALL BE OF THE PRESSURE BALANCE OR JUNI NOL VALUE FOR STOTELE AND TOLEN ASSESSMENT AND TOLEN ASSESSMENT AND TEMPORARY
WHO STATIC MIXING VALVE TYPE. UPC. SECT. 410.7.
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EXCAVATION NOTES

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SYMBOL LEGEND - ROOM TAG

SHEET NUMBER - FI EVATION DESIGNATION

WINDOW LETTER DESIGNATION

- DOOR NUMBER DESIGNATION SKYLIGHT LETTER DESIGNATION NORTH ARROW DESIGNATION

REVISION DESIGNATION



PROJECT SUMMARY

PROJECT LOCATION

ZONING: SCOPE OF WORK:

4TH FLOOR LIVING AREA	329 SF	NA.
DECKS/BALCONES	1,232 SF	NA
TOTAL LIWING AREA	5,341 SF	837 SF
TOTAL DECKS/ BALCONES	2,005 SF	0.50
ND. OF BEDROOMS	5	1
NO. OF BATHROOMS	11	1
ZONING INFORMATION	,	
AREA	REQUIRED	PROVIDED
LOT AREA		1352 SF
LOT COVERAGE	62%	65%
19805		
FRONT	10"	
SDE	2	
REAR	y'	
PARKING AND DRIVEWAYS		
NUMBER OF SPACES	2	2
QUEST SPACES	1	1
PARKING SETBACK	V .	¥
PARKING STALL DIMENSION	0.0. x 30.0.	EG. X 58.0.
TURNING AREA	TURNING AREA	36
DRIVEWAY WIDTH	100"	100"

CONSULTANTS

CIVIL CONSULTANT

STRUCTURAL CONSULTANT M.S. STRUCTURAL ENGINEERING 3719 EMERALD STREET, UNIT A TORRANCE, CA 90503

GEO-TECHNICAL CONSULTANT NORCAL ENGINEERING 10641 HUMBOLT STREET LOS ALAMITOS, CA 90721 T. 562.799.9469

SURVEYOR DENN ENGINEERS 3914 DEL AMO BLVD, SUITE 921,

INTERIOR DESIGNER

ENERGY CONSULTANT

PROJECT DATA

PROPERTY OWNERS HNP INVESTMENTS LLC | khulusi@me.com | 310-963-1711 924 HIGHVIEW AVENUE MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION TRACT: SHAKESPEARE APN: 4181-033-015

OCCUPANCY AND ZONING

OCCUPANCY: R3/U ZONING: R3 CONSTRUCTION TYPE: TYPE V-B, SPRINKLERED NUMBER OF STORIES: 3 + BASEMENT & SUB-BASEMENT CITY, STATE, NATIONALLY APPLICABLE CODES

2019 CRC, 2019 CBC, 2019 CMC, 2019 CPC, 2019 CEC, STATE OF CALIFORNIA AND THE CITY OF HERMOSA BEACH

AREA CALCULATIONS

LOT SIZE = 2.552 SF UNIT 2 BASEMENT LIVING SECOND FLOOR LIVING THIRD FLOOR LIVING = 5341 SF 837 SF TOTAL LIVING

= 1,529 SF = 386 SF TOTAL GARAGE LOT COVERAGE CALCULATIONS

= 2.552 SF MAX LOT COVERAGE (65% OF LOT SIZE) PROPOSED LOT COVERAGE

(65% OF LOT SIZE) HEIGHT CALCULATIONS

MAXIMUM ALLOWABLE HEIGHT = 30' - 0" ACTUAL HEIGHT = SEE SHEET A.05 FOR HEIGHT INFO

OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED OPEN SPACE PROVIDED THIRD FLOOR OPEN SPACE = 114 SF FOURTH FLOOR OPEN SPACE = 877 SF TOTAL OPEN SPACE = 991 SF

ABBREVIATION

LIGHT WEIGHT CONCRETE

SHEET INDEX SHEET# PROJECT INFORMATION CIVIL SURVEY

SITE PLAN SUSTAINABLE LANDSCAPE PLAN BASEMENT / GROUND FLOOR PLAN FIRST / SECOND FLOOR PLAN THIRD FLOOR / ROOF PLAN CRITICAL POINT DIMENSION PLAN

ELEVATIONS

PROJECT NEW RESIDENCE

TOMARO

ARCHITECTURE

STAMP



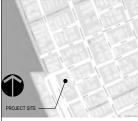
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REVISIONS

VICINITY MAP

HERMOSA BEACH, CA



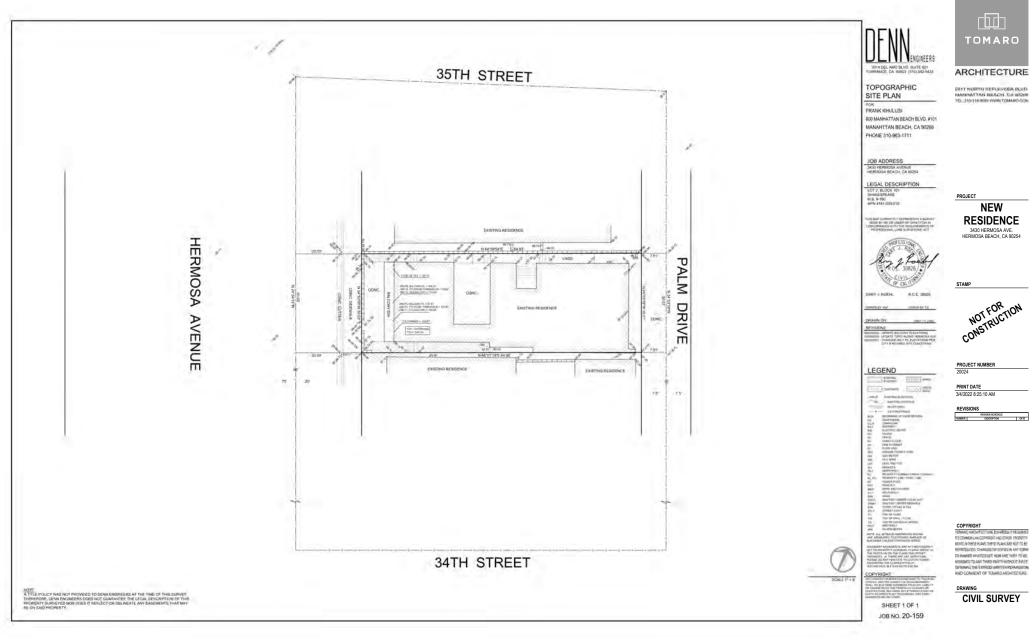
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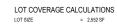


SHEET NUMBER

C.01 California Coastal Commission

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MAX LOT COVERAGE = 1,659 SF (65% OF LOT SIZE) PROPOSED LOT COVERAGE = 1,659 SF (65% OF LOT SIZE) OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED = 300 SF
OPEN SPACE PROVIDED = 991 SF

| THIRD FLOOR OPEN SPACE | = 114 SF | FOURTH FLOOR OPEN SPACE | = 877 SF | TOTAL OPEN SPACE | = 991 SF

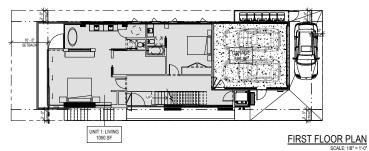
AREA CALCULATIONS:

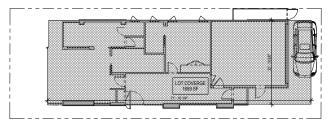
LOT SIZE = 2,552 SF

TOTAL LIVING = 6,150 SF TOTAL BALCONY = 1,529 SF TOTAL GARAGE = 386 SF



2617 NORTH SEPULVEDA BLVD. MANNATTAN BEACH CA BOSIE TO. 310-316-800 WWW TOMARO COM

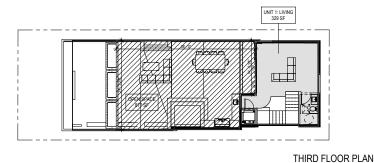






LOT COVERAGE SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



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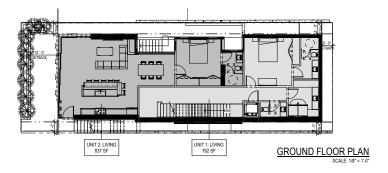
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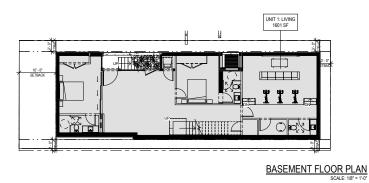
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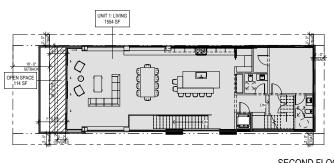
REVISIONS

REMISION SCHEDULE

NUMBER | DESCRIPTION | DATE







SECOND FLOOR PLAN SCALE: 1/8* = 1'-0* COPYRIGHT

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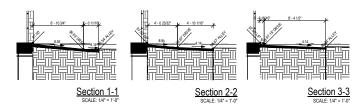
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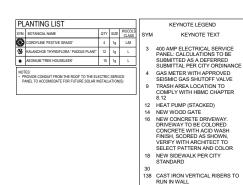
AREA CALCULATIONS

SHEET NUMBER

A.00
California Coastal Commission

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TOMARO ARCHITECTURE

2617 NORTH SEPULVEDA BLVD. MANNATTAN BEACH CA BOSIE TO. 310-316-800 WWW TOMARO COM

PROJECT

154 DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL.

NEW RESIDENCE 3430 HERMOSA AVE. HERMOSA BEACH, CA 90254

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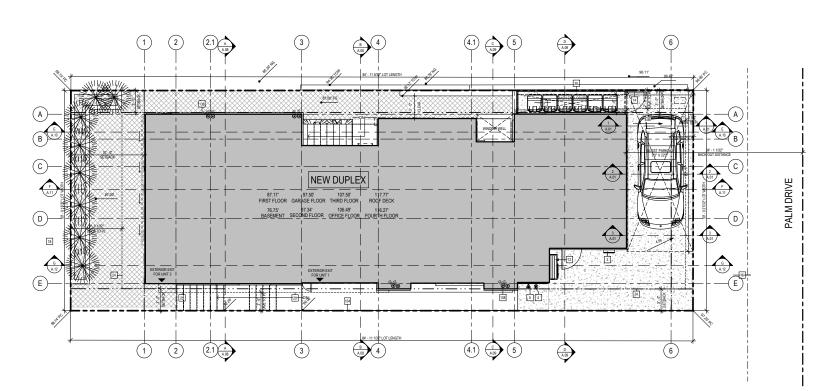
SITE PLAN



SHEET NUMBER

A.01 California Coastal Commission

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HERMOSA AVE.



ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAMED) WATER MIST USE DRIP OR MICROSPRAY IRRIGATION SYSTEMS.
 PROPOSED LANDSCAPE MUST MEET HERMOSA BEACH MINICIPAL CODES CHAPTER 8.56 - WATER CONSERVATION AND 8.60 - EFFICIENT LANDSCAPING

PERMEABLE AREA CALCULATION	RMEABLE AREA CALCULATION		
LOT AREA	2552 8		
BUILDING FOOTPRINT	1489 5		
EXTERIOR SURFACE AREA	1060 8		
LANDSCAPE AREA	77 SI		
NON-PERMEABLE SURFACE (HARDSCAPE)	928 S		
PERMEABLE SURFACE (HARDSCAPE)	000 S		
PERMEABLE AREA	77 SI		
AT LEAST 50% (530 SF) OF THE EXTERIOR SURFACE AREA IN BE PERMEABLE OR AN INFILTRATION SYSTEM MUST BE PRO			

ARCHITECTURE

2617 NORTH SEPULVEDA BLVD. MANNATTAN BEACH CA BOSIE TO. 310-316-800 WWW TOMARO COM

TOMARO

=				
PL	ANTING LIST			
SYM.	BOTANICAL NAME	QTY	SIZE	WUC
(4)	CORDYLINE 'FESTIVE GRASS'	4	1g	L/N
8	KALANCHOE THYRSIFLORA ' PADDLE PLANT'	12	1g	L
8	AEONIUM 'TREE HOUSELEEK'	15	1g	L

LANDSCAPING LEGEND

HARDSCAPE

LANDSCAPING

NEW RESIDENCE

PERMEABLE HARDSCAPE

PROJECT

NEW RESIDENCE 3430 HERMOSA AVE. HERMOSA BEACH, CA 90254

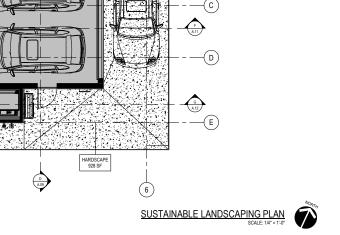
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PROJECT NUMBER 20024

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NEW RESIDENCE 1489 SF

(4.1)

LANDSCAPING 77 SF

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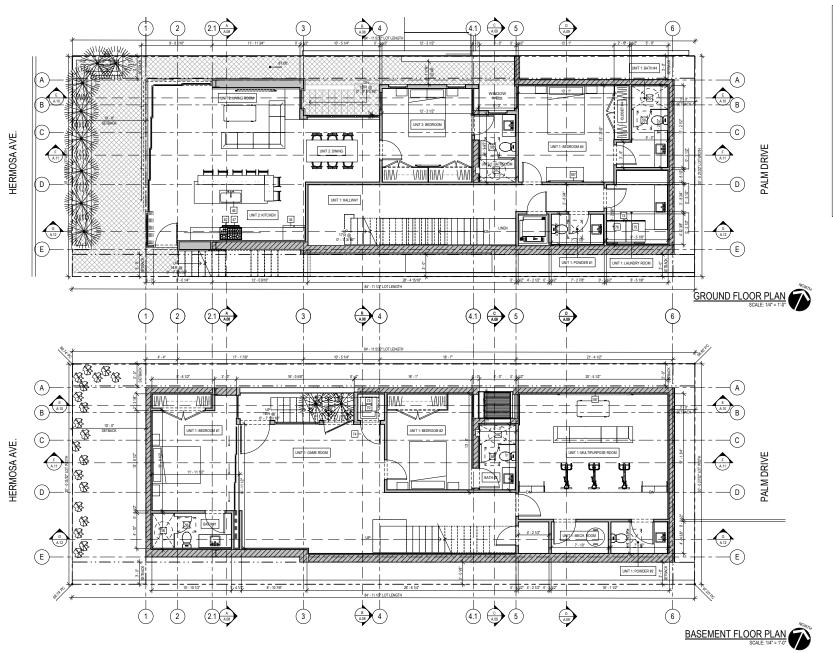
SUSTAINABLE LANDSCAPE PLAN

SHEET NUMBER

A.01.1

California Coastal Commission

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KEYNOTE TEXT

- 34 2'6" FULL HEIGHT FRIDGE / FRFFZFR
- 40 36" WIDE RANGE WITH HOOD ABOVE
- 46 36" ISLAND SINK
- 46 36" SILAND SINK 47 36" WIDE OVEN 56 PROVIDE 4"X4" SHOWER CURB, 30" DIAMETER MINIMUM INTERIOR CLEAR AT SHOWER AREA, FRAMELESS 1/2" THICK TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURES, PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS
- 58 24"X30" CLEAR AREA IN FRONT OF TOILET
- 70 STACK WASHER DRYER
 73 VENT DRYER EXHAUST TO OUTSIDE WITH 4" FLEXIBLE DUCT, 14' MAX. LENGTH, WITH MAX. TWO
- BENDS
 74 100 SQ. IN. OF VENT OPENING FOR CLOTHS DRYER MAKE UP AIR.
- 75 WASHER
- 76 DRYER 187 WALL MOUNTED TV: PROVIDE POWER PER MANUFACTURERS SPECS. (OWNER TO VERIFY LOCATION)

TOMARO

ARCHITECTURE

2617 NORTH DEFLECTEDA BLVD. MANHATTAN BEACH, CA BODIE TO, 319316 KW WWW.TOMARO COM

PROJECT

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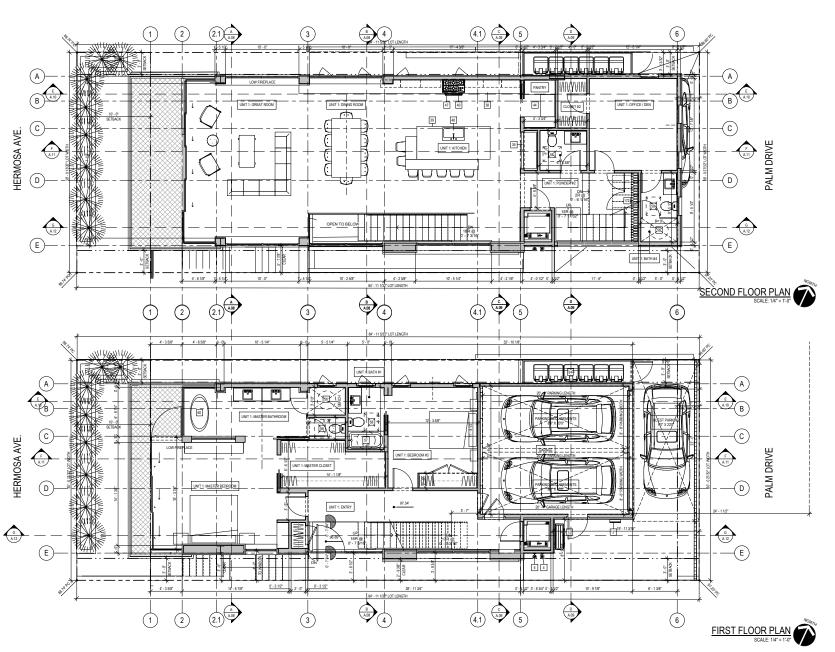
BASEMENT / **GROUND** FLOOR PLAN

SHEET NUMBER

A.02

California Coastal Commission

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KEYNOTE TEXT

- 3 400 AMP ELECTRICAL SERVICE PANEL: CALCULATIONS TO BE SUBMITTED AS A DEFERRED SUBMITTAL PER CITY ORDINANCE
- 4 GAS METER WITH APPROVED
- SEISMIC GAS SHUTOFF VALVE 5 WATER MAIN RISER
- 12 HEAT PUMP (STACKED)
- 24 LINE OF THIRD FLOOR ABOVE
- 35 60" FRIDGE / FREEZER
- 38 36" COUNTER TOP WITH BASE CABINETS BELOW 39 42" ISLAND COUNTER TOP
- 40 36" WIDE RANGE WITH HOOD ABOVE
- 44 PANTRY 46 36" ISLAND SINK
- 47 36" WIDE OVEN
- 47 36" WIDE OVEN

 PROVIDE 4Y4" SHOWER CURB, 30"
 DIAMETER NIMIMUM INTERIOR
 CLEAR AT SHOWER AREA,
 FRAMELESS 1/2" THICK TEMPERED
 PLATE GLASS SHOWER DOOR AND
 ENCLOSURES, PROVIDE SOAP
 NICHES, OWNER SHALL APPROVE
 LOCATIONS
- 57 5'-0" TUB/SHOWER COMBO WITH TEMPERED GLASS ENCLOSURE. PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS 58 24"X30" CLEAR AREA IN FRONT OF
- TOILET
- 60 FREE STANDING BATHTUB 172 WINE CELLAR

TOMARO ARCHITECTURE

2617 NORTH DEFLECTEDA BLVD. MANHATTAN BEACH, CA BODIE TO, 319316 KW WWW.TOMARO COM

PROJECT

NEW RESIDENCE 3430 HERMOSA AVE. HERMOSA BEACH, CA 90254

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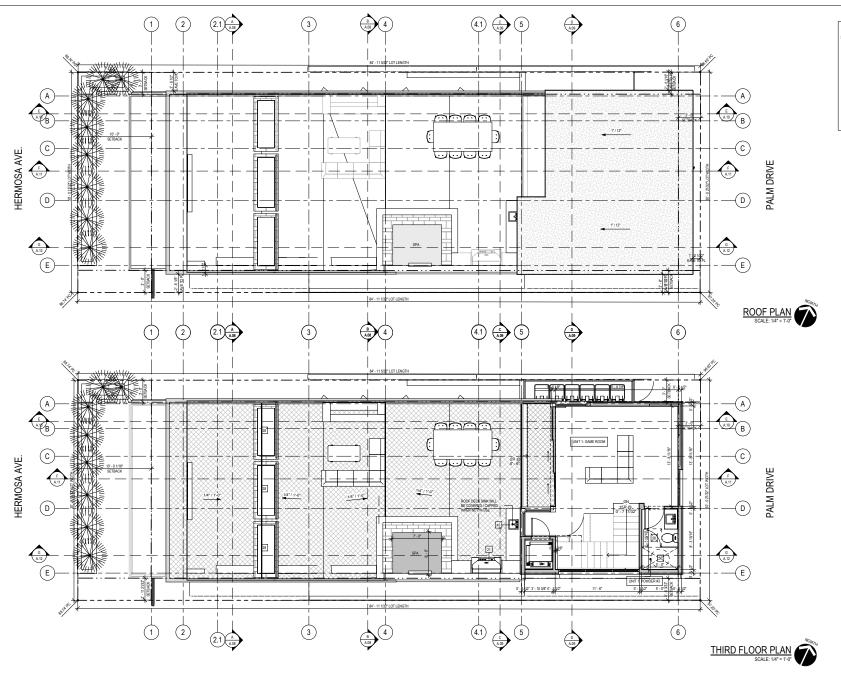
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FLOOR PLAN

SHEET NUMBER

A.03 California Coastal Commission

5-21-0451 Exhibit 2 Page 7 of 11



KEYNOTE TEXT

21 BARBEQUE

21 BARBEQUE
22 LARGE CUSTOM PLANTER INSERT
45 BAR SINK
50 PROVIDE 47%1 SHOWER CURB, 30"
DUBLETER MINIMUM INTERIOR
DUBLETER MINIMUM INTERIOR
DUBLETER MINIMUM INTERIOR
PLANTELESS 11/2" THICK TEMPERED
PLATE CLASS SHOWER BOOR AND
ENCLOSURES, PROVIDE SOAP
NICHES, COWIER SHALL APPROVE
LOCATIONS
22 25/20/20 CERP ABEA IN EPOINT OF

58 24"X30" CLEAR AREA IN FRONT OF TOILET



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THIRD FLOOR / **ROOF PLAN**

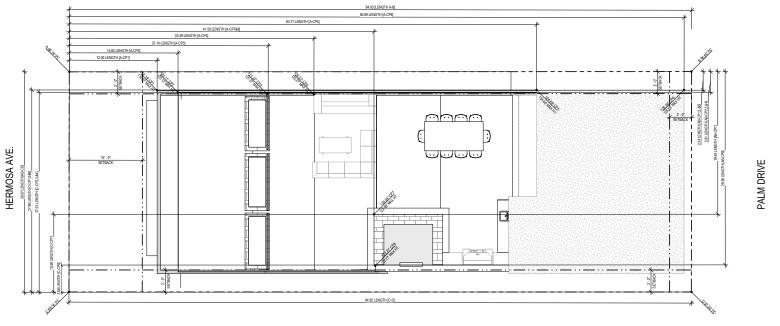
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California Coastal Commission

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CRITICAL POINT PLAN
SCALE: 1/4" = 1'-0"

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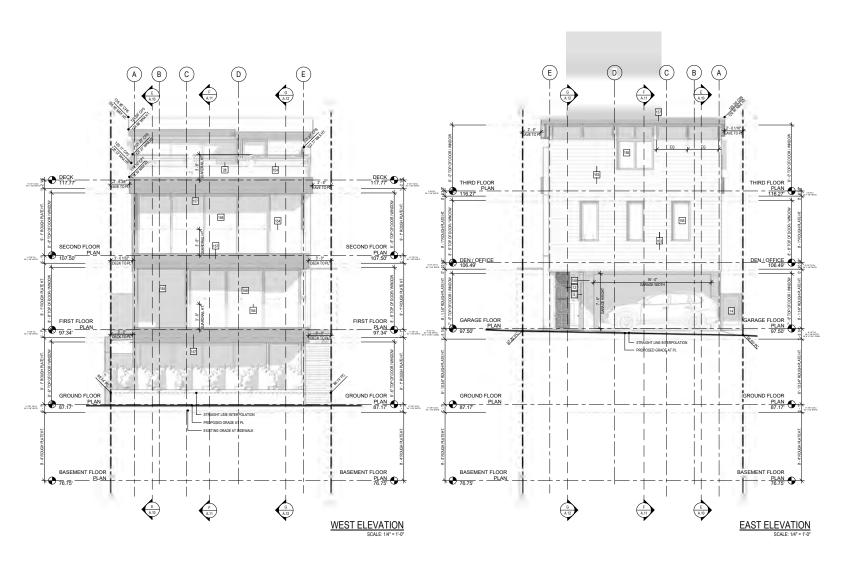
CRITICAL POINT DIMENSION PLAN

SHEET NUMBER

A.05

California Coastal Commission

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KEYNOTE TEXT

- 3 400 AMP ELECTRICAL SERVICE PANEL: CALCULATIONS TO BE SUBMITTED AS A DEFERRED SUBMITTAL PER CITY ORDINANCE
- 12 HEAT PUMP (STACKED)
- 14 NEW WOOD GATE
- 28 LARGE CUSTOM PLANTER INSERT
 154 DECK RAILING: CLEAR GLASS
 RAILING IN METAL BASE CHANNEL
- 155 WINDOWS: DUAL PANE FLEETWOOD ALUMINUM. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
- OWNER AND ARCHITECT.

 50 DOORS: DUAL PANE FLEETWOOD ALUMINUM CLAD SLIDING DOORS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
- 157 BONDERIZED METAL WITH PAINTED FINISH (ARCHITECT TO SPECIFY COLOR) 158 STONE VENEER: SPLIT FACE
- STONE VENEER: SPLITFACE LIMESTONE, ATTACHED TO STUCCO BROWN COAT PER CBC SECTION 1403.5.4: PROVIDE PRECAST CONCRETE LEDGE CAP (OWNER TO VERIFY)
- 163 TRESPA MYSTIC CEDAR WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO VERIFY)

TOMARO

ARCHITECTURE

2617 NORTH SEPULVEDA BLVD. MANNATTAN BEACH CA BOSIE TO. 310-316-800 WWW TOMARO COM

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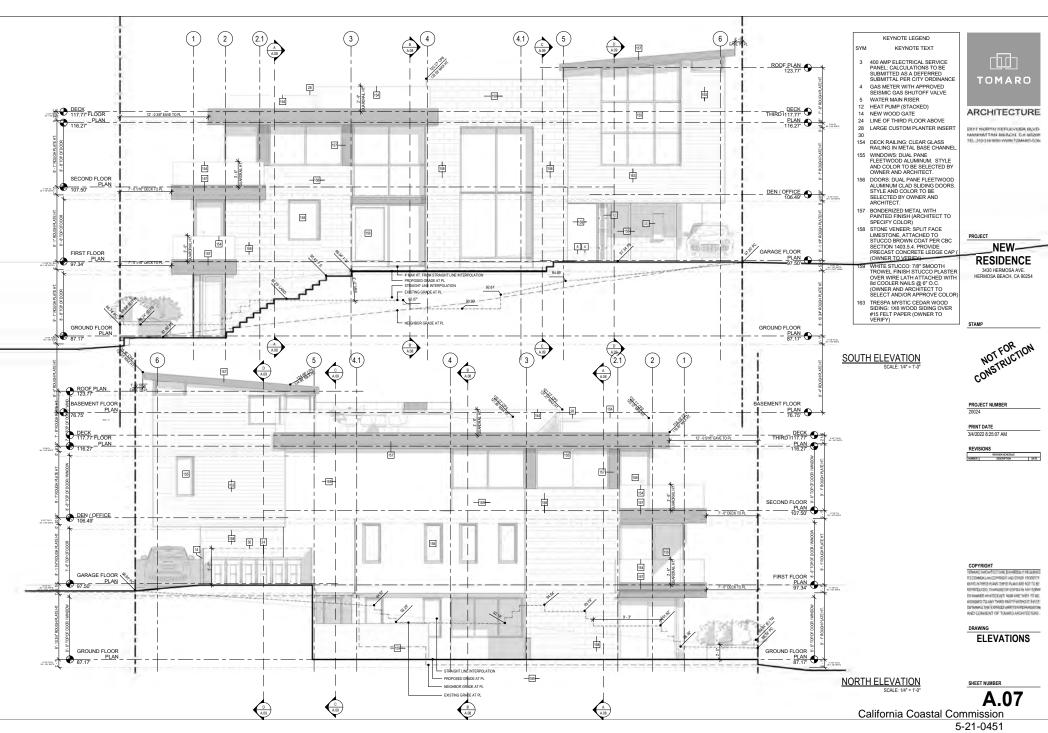
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California Coastal Commission

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Exhibit 3 – CoSMoS Flooding Analysis

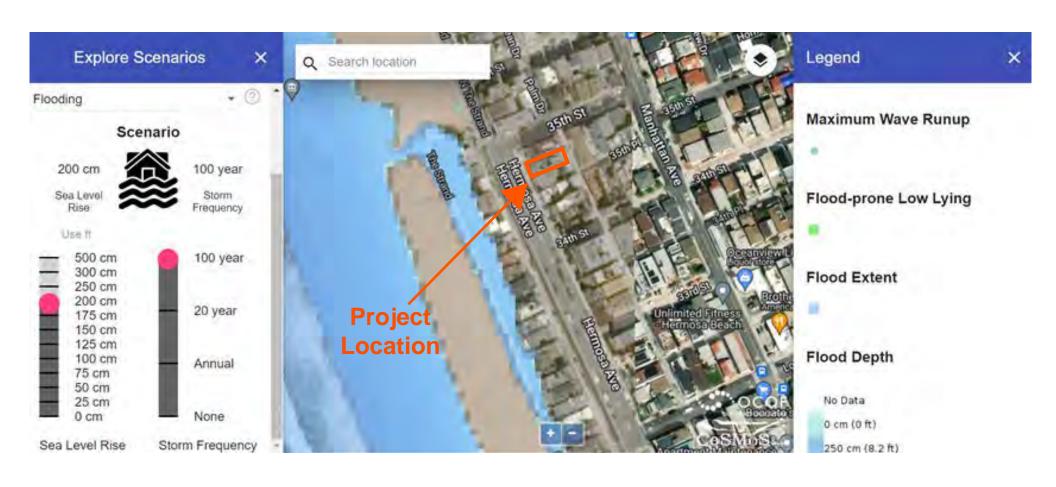


Exhibit 4 – CoSMoS Groundwater Analysis

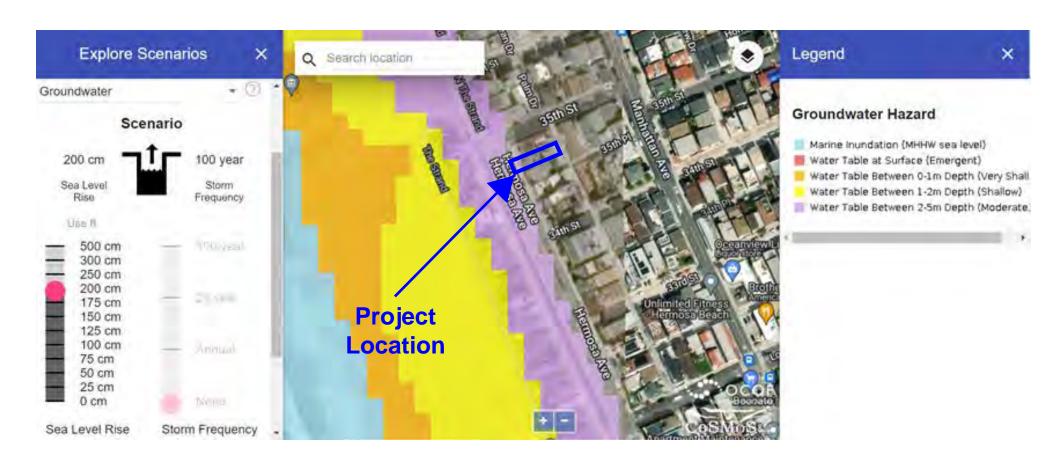


Exhibit 5 – Community Character Analysis

Community Character Survey

Address	Residence Type	Structure Size (sq. ft.)	Lot Size (sq. ft.)
115 Longfellow Ave	Duplex	1,606	2,546
3206 Hermosa Ave	Triplex	2,236	2,553
3216 Hermosa Ave	Single-Family	4,207	2,554
3224 Hermosa Ave	Single-Family	2,410	4,247
3232 Hermosa Ave	Quadraplex	3,085	3,400
3302 Hermosa Ave	Duplex	1,970	2,965
3312 Hermosa Ave	Single-Family	3,563	2,554
3316 Hermosa Ave	Single-Family	4,433	2,555
3324 Hermosa Ave	Multi-Family (5+ Units)	10,327	5,519
3410 Hermosa Ave	Single-Family	4,040	2,560
3415 Palm Dr	Quadraplex	2,395	2,559
3422 Hermosa Ave	Single-Family	1,860	2,550
3430 Hermosa Ave	Duplex	2,236	2,541
108 35th St	Single-Family	3,891	2,644
3443 Hermosa Ave	Quadraplex	2,868	4,204
3436 The Strand	Duplex	1,682	1,736
3435 Hermosa Ave	Duplex	925	1,779
3423 Hermosa Ave	Single-Family	3,900	2,738
3417 Hermosa Ave	Single-Family	2,608	2,838
3410 The Strand	Single-Family	2,192	1,658
3411 The Strand	Duplex	2,443	1,949
3405 The Strand	Single-Family	1,686	2,352
3330 The Strand	Single-Family	3,152	2,084
3320 The Strand	Single-Family	3,670	2,144
3318 The Strand	Single-Family	2,566	2,177
3310 The Strand	Duplex	2,244	2,223

^{*} Project Site