

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD, SUITE 300
LONG BEACH, CA 90802-4325
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FAX (562) 590-5084



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F5a

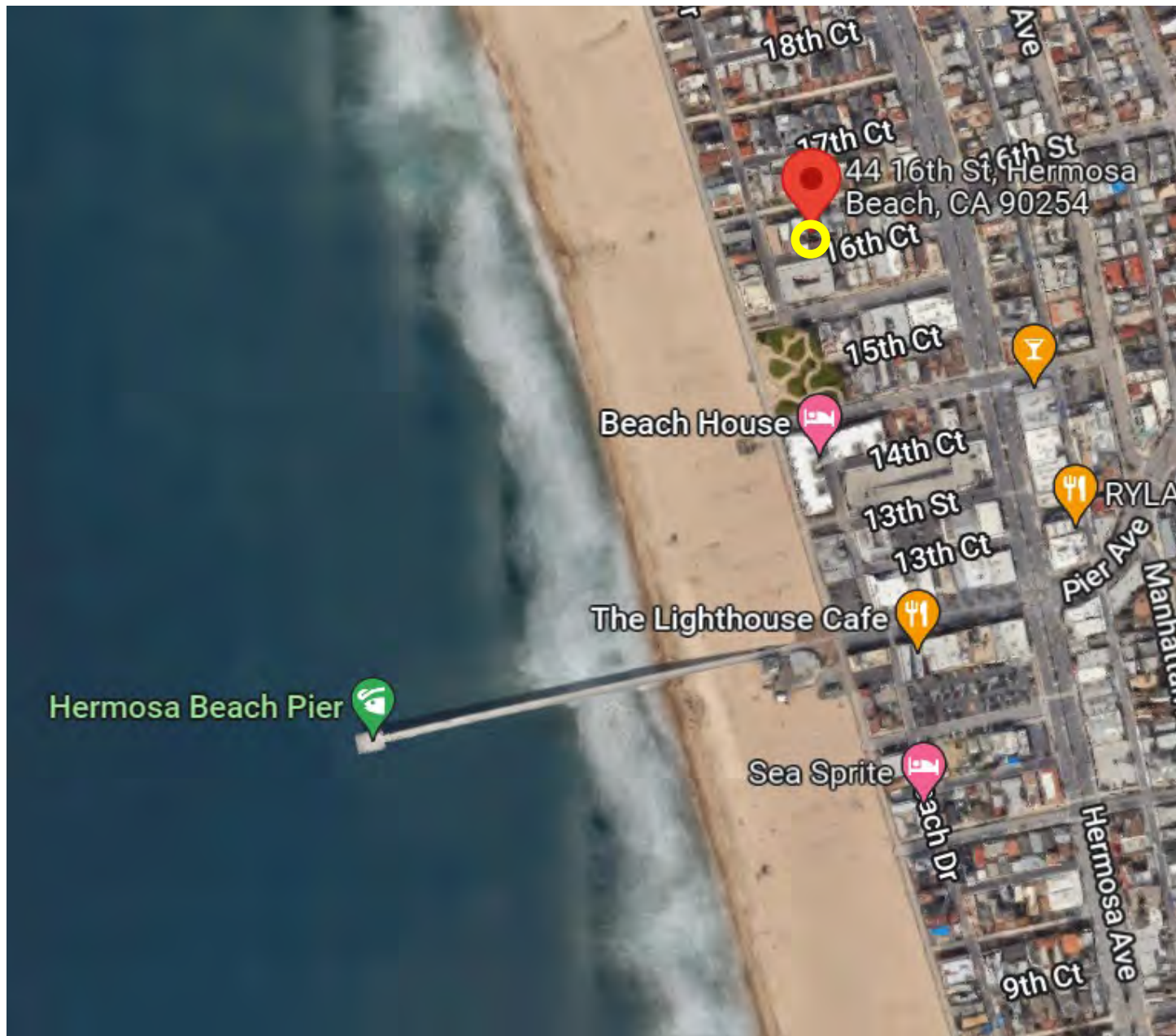
5-21-0649 (Sprague)

MAY 13, 2022

EXHIBITS

Exhibit 1 – Vicinity Map.....	2
Exhibit 2 – Project Plans	4
Exhibit 3 – CoSMoS Flooding Analysis.....	16
Exhibit 4 – CoSMoS Groundwater Analysis.....	17

Exhibit 1 – Vicinity Map







TOMARO
ARCHITECTURE

SURVEY AND TOPOGRAPHY

FOR
JOEL SPRAGUE
44 16TH STREET
HERMOSA BEACH, CA 90254
PHONE (310) 918-4210

JOB ADDRESS
44 16TH STREET
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION
LOT 32 & NELY 10' OF LOT 31
BLOCK 15
HERMOSA BEACH TRACT
M.S. 1-25-39
APN 4183-005-029

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYING ACT

GARY J. ROEHL R.C.E. 30626

DRAWN BY: J. SPRAGUE CHECKED BY: JR

DRAWN ON: APRIL 2, 2011

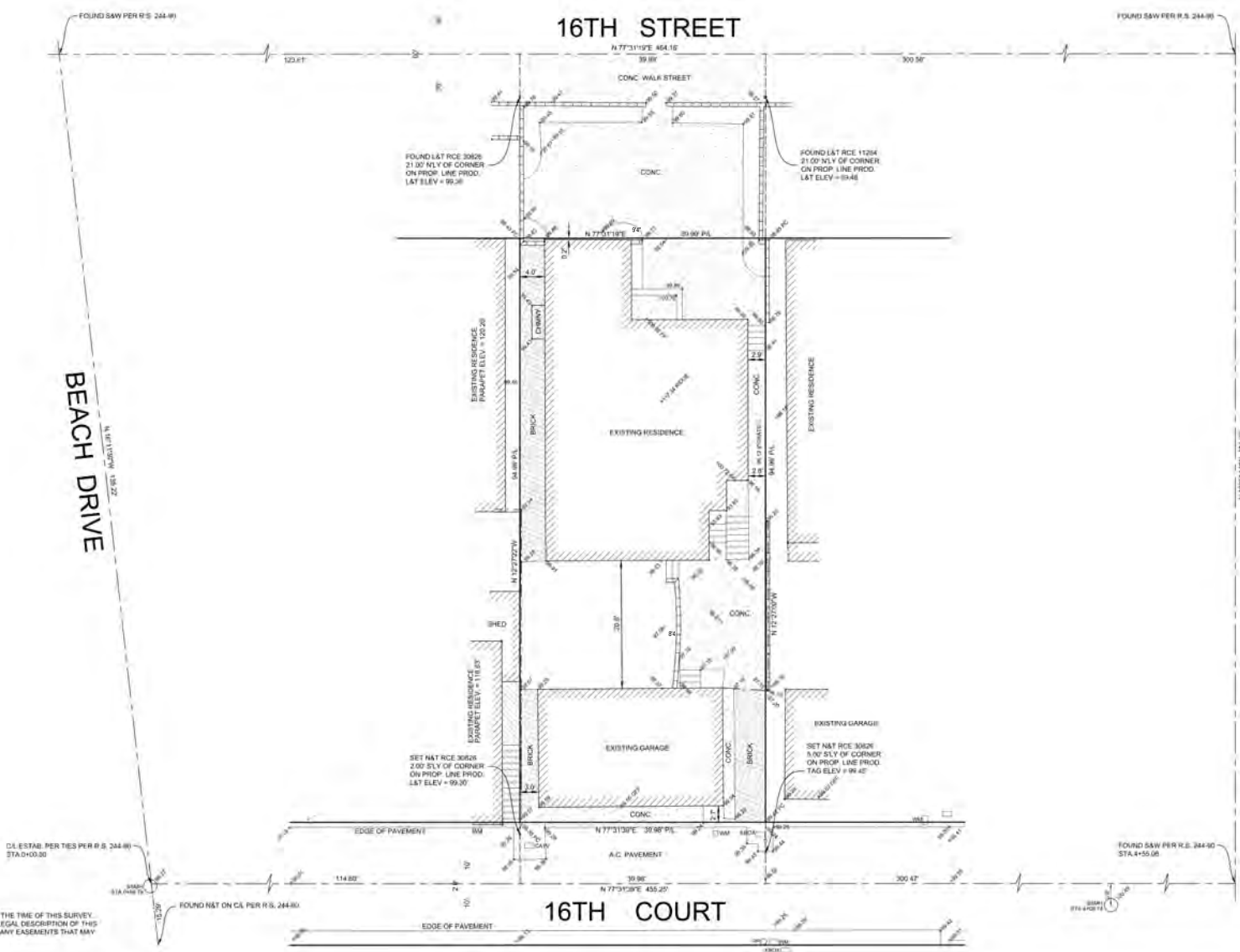
REVISIONS
SURVEY DATE: MAY 21, 2008
AUXILIARY HOUR: 10:00
AUGUST 4, 2008

LEGEND

CONCRETE	BRICK
EXISTING CONTOUR	PROPOSED CONTOUR
EXISTING FENCE	PROPOSED FENCE
EXISTING DRIVE	PROPOSED DRIVE
EXISTING WALK	PROPOSED WALK
EXISTING POOL	PROPOSED POOL
EXISTING GARAGE	PROPOSED GARAGE
EXISTING RESIDENCE	PROPOSED RESIDENCE
EXISTING LOT	PROPOSED LOT
EXISTING EASEMENT	PROPOSED EASEMENT
EXISTING RIGHT-OF-WAY	PROPOSED RIGHT-OF-WAY
EXISTING UTILITY	PROPOSED UTILITY
EXISTING SETBACK	PROPOSED SETBACK
EXISTING CORNER	PROPOSED CORNER
EXISTING BEARING	PROPOSED BEARING
EXISTING DISTANCE	PROPOSED DISTANCE
EXISTING AREA	PROPOSED AREA
EXISTING VOLUME	PROPOSED VOLUME
EXISTING WEIGHT	PROPOSED WEIGHT
EXISTING LENGTH	PROPOSED LENGTH
EXISTING WIDTH	PROPOSED WIDTH
EXISTING HEIGHT	PROPOSED HEIGHT
EXISTING DEPTH	PROPOSED DEPTH
EXISTING TEMPERATURE	PROPOSED TEMPERATURE
EXISTING PRESSURE	PROPOSED PRESSURE
EXISTING VELOCITY	PROPOSED VELOCITY
EXISTING ACCELERATION	PROPOSED ACCELERATION
EXISTING FREQUENCY	PROPOSED FREQUENCY
EXISTING PERIOD	PROPOSED PERIOD
EXISTING PHASE	PROPOSED PHASE
EXISTING POLARITY	PROPOSED POLARITY
EXISTING CHARGE	PROPOSED CHARGE
EXISTING CURRENT	PROPOSED CURRENT
EXISTING VOLTAGE	PROPOSED VOLTAGE
EXISTING POWER	PROPOSED POWER
EXISTING ENERGY	PROPOSED ENERGY
EXISTING MOMENTUM	PROPOSED MOMENTUM
EXISTING IMPULSE	PROPOSED IMPULSE
EXISTING FORCE	PROPOSED FORCE
EXISTING PRESSURE	PROPOSED PRESSURE
EXISTING STRESS	PROPOSED STRESS
EXISTING STRAIN	PROPOSED STRAIN
EXISTING DEFORMATION	PROPOSED DEFORMATION
EXISTING DISPLACEMENT	PROPOSED DISPLACEMENT
EXISTING VELOCITY	PROPOSED VELOCITY
EXISTING ACCELERATION	PROPOSED ACCELERATION
EXISTING FREQUENCY	PROPOSED FREQUENCY
EXISTING PERIOD	PROPOSED PERIOD
EXISTING PHASE	PROPOSED PHASE
EXISTING POLARITY	PROPOSED POLARITY
EXISTING CHARGE	PROPOSED CHARGE
EXISTING CURRENT	PROPOSED CURRENT
EXISTING VOLTAGE	PROPOSED VOLTAGE
EXISTING POWER	PROPOSED POWER
EXISTING ENERGY	PROPOSED ENERGY
EXISTING MOMENTUM	PROPOSED MOMENTUM
EXISTING IMPULSE	PROPOSED IMPULSE
EXISTING FORCE	PROPOSED FORCE
EXISTING PRESSURE	PROPOSED PRESSURE
EXISTING STRESS	PROPOSED STRESS
EXISTING STRAIN	PROPOSED STRAIN
EXISTING DEFORMATION	PROPOSED DEFORMATION
EXISTING DISPLACEMENT	PROPOSED DISPLACEMENT



SCALE 1" = 8'



NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY



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LOT COVERAGE CALCULATIONS

LOT SIZE	=	3,799 SF
MAX LOT COVERAGE	=	2,469 SF (65% OF LOT SIZE)
PROPOSED LOT COVERAGE	=	2,453 SF (65% OF LOT SIZE)

AREA CALCULATIONS

LOT SIZE	=	3,799 SF
FIRST FLOOR LIVING	=	1,837 SF
SECOND FLOOR LIVING	=	2,301 SF
THIRD FLOOR LIVING	=	1,912 SF
TOTAL LIVING	=	6,050 SF
TOTAL BALCONY	=	1,648 SF
TOTAL GARAGE	=	559 SF

OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED	=	300 SF
OPEN SPACE PROVIDED	=	401 SF
FIRST FLOOR OPEN SPACE	=	138 SF
SECOND FLOOR OPEN SPACE	=	000 SF
THIRD FLOOR OPEN SPACE	=	163 SF
ROOF DECK OPEN SPACE	=	100 SF
TOTAL OPEN SPACE	=	401 SF

PROJECT

SPRAGUE RESIDENCE

44 16TH ST.
HERMOSA BEACH 90254

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DRAWING

AREA CALCULATIONS

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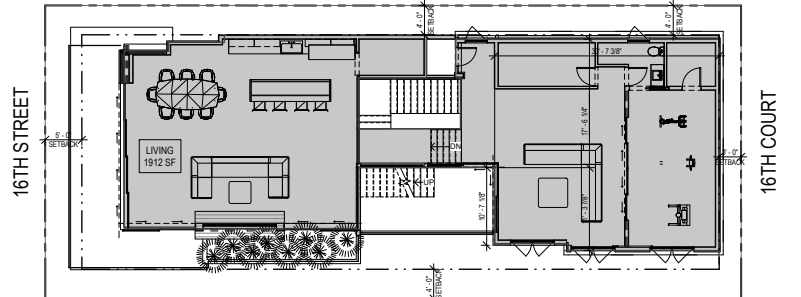
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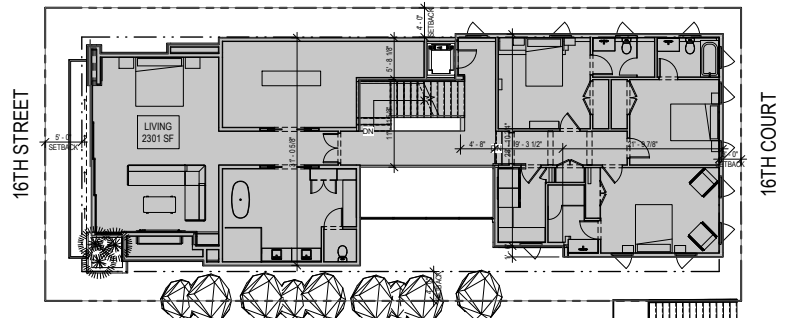
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Exhibit 2

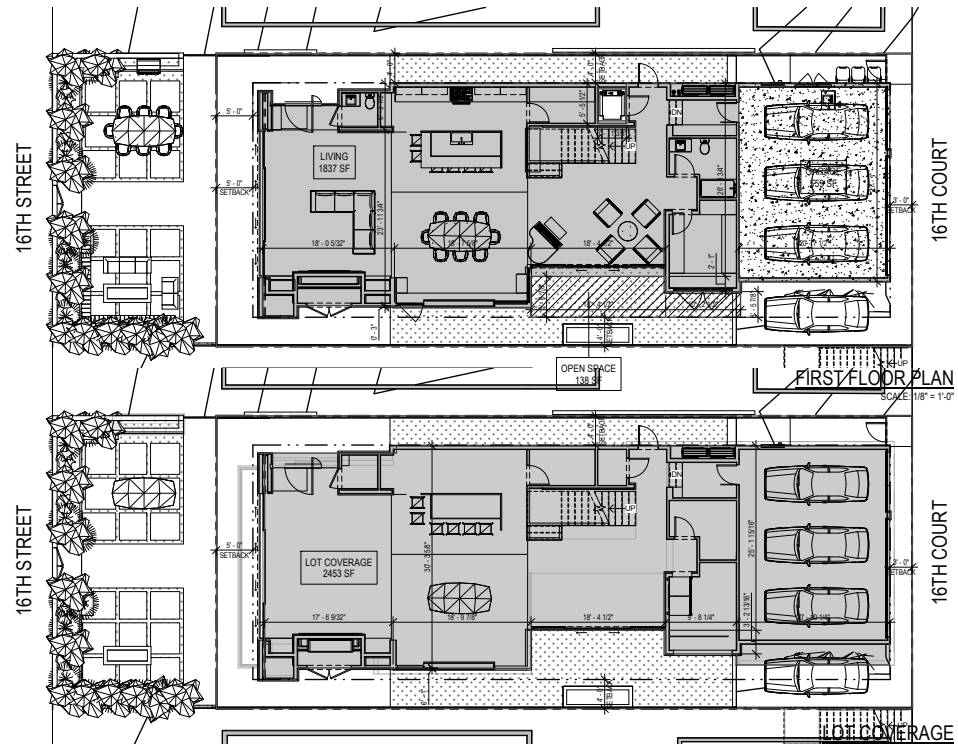
Page 3 of 12



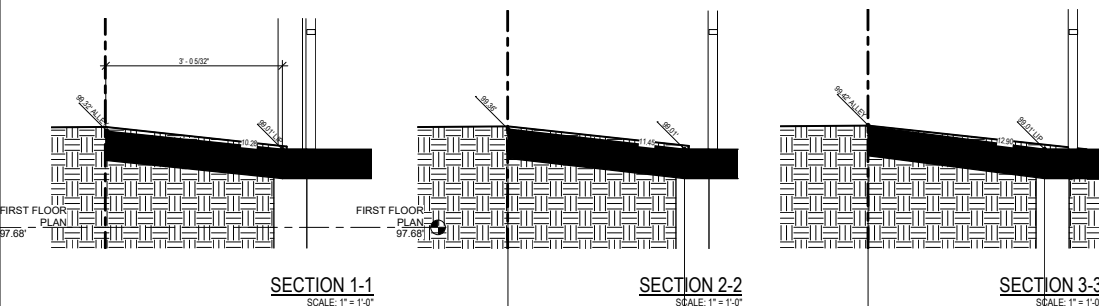
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



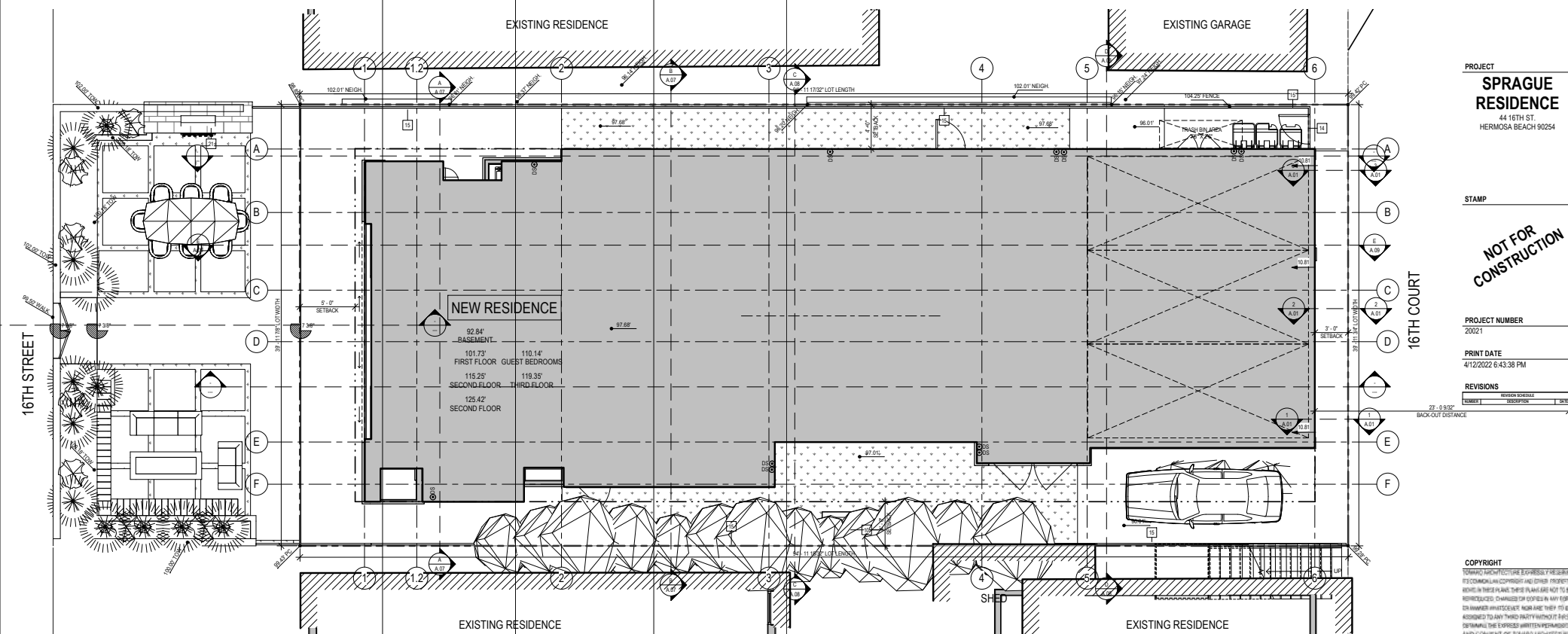
LOT COVERAGE
SCALE: 1/8" = 1'-0"



SYM	BOTANICAL NAME	QTY	SIZE	WOODS CLASS
1	CORDYLINE YESTIVE GRASS	4	1g	LH
2	KALANCHOE THYRSIFLORA "PADDLE PLANT"	12	1g	L
3	AEONUM TREE HOUSELEEK	15	1g	L

NOTES:
 • PROVIDE CONDUIT FROM THE ROOF TO THE ELECTRIC SERVICE PANEL TO ACCOMMODATE FOR FUTURE SOLAR INSTALLATIONS

SYM	KEYNOTE TEXT
10	18" DEEP REFLECTING POOL WITH INCORPORATED RECIRCULATING WATER SYSTEM
14	NEW WOOD GATE
15	NEW WOOD FENCE AT PROPERTY LINE (MAX HT. 5'0")
21	BARBEQUE



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SUSTAINABLE LANDSCAPE PLAN

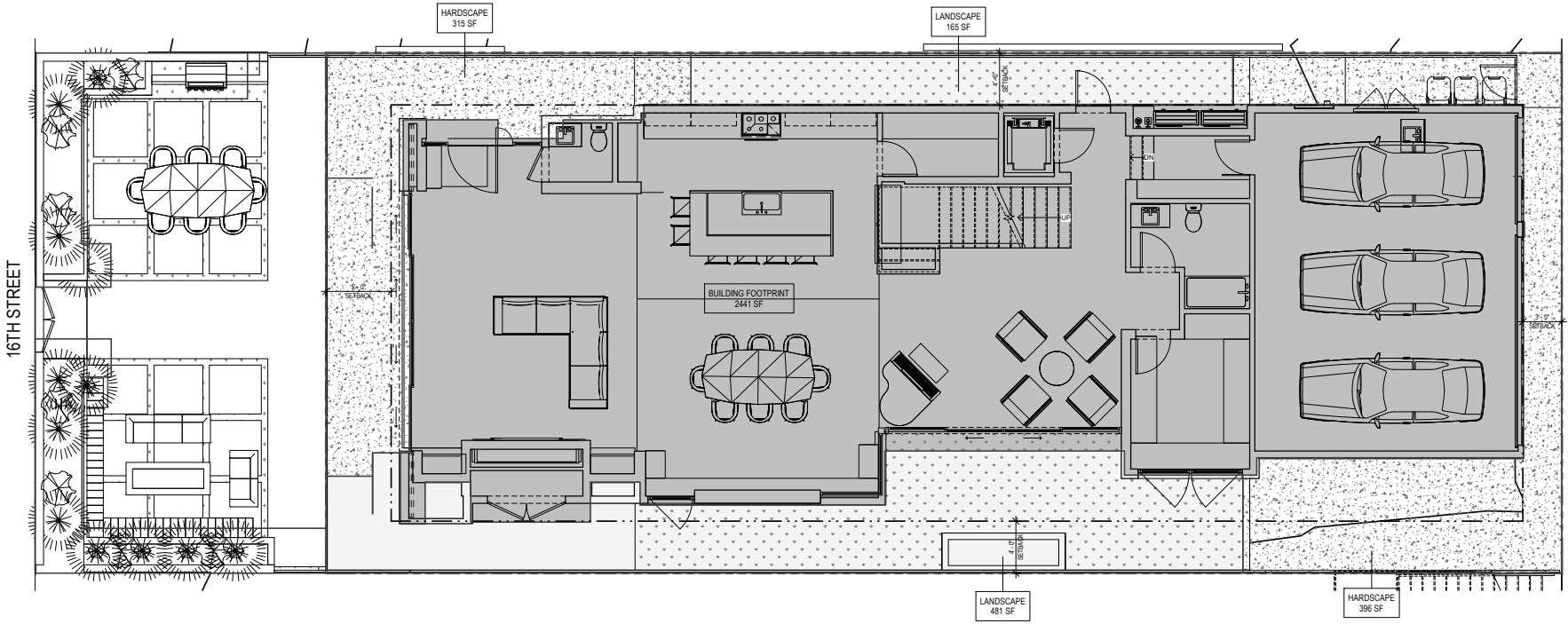
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Exhibit 2
Page 5 of 12

LANDSCAPE NOTES:
1) ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER MUST USE Drip OR MICROSPRAY IRRIGATION SYSTEMS.
2) PROPOSED LANDSCAPE MUST MEET HERMOSA BEACH MUNICIPAL CODES CHAPTER 8.55 - WATER CONSERVATION AND 8.60 - EFFICIENT LANDSCAPING

PERMEABLE AREA CALCULATION	
LOT AREA	3787 SF
BUILDING FOOTPRINT	2441 SF
EXTERIOR SURFACE AREA	1358 SF
LANDSCAPE AREA	648 SF
NON-PERMEABLE SURFACE (HARDSCAPE)	711 SF
PERMEABLE SURFACE (HARDSCAPE)	608 SF
PERMEABLE AREA	648 SF
AT LEAST 50% (678 SF) OF THE EXTERIOR SURFACE AREA MUST BE PERMEABLE OR AN INFILTRATION SYSTEM MUST BE PROVIDED	

PLANTING LIST			
SYM	BOTANICAL NAME	QTY	SIZE
1	CORDYLINE 'FESTIVE GRASS'	4	1g
2	KALANCHOE THYRSIFLORA 'PADDLE PLANT'	12	1g
3	AEONUM TREE HOUSELEEK	15	1g



LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

NOTARIZED OWNER'S AGREEMENT

• PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY SIGNED INSURANCE ENDORSEMENT FORM #1 (GENERAL) TO COMMUNITY DEVELOPMENT PRIOR TO FINAL INSPECTION.

ENCROACHMENT CALCULATIONS

AREA OF ENCROACHMENT IN PUBLIC RIGHT OF WAY
= 22'-4" x 40'-1" = 895 SF

LANDSCAPING CALCULATIONS

LANDSCAPING REQUIRED = 1/3 OF ENC. AREA
= 1/3 X 895 = 298 SF

LANDSCAPING PROVIDED = 180 + 50 = 230 SF

*ACTUAL LANDSCAPE AREA > REQUIRED LANDSCAPE AREA

ENCROACHMENT NOTES:

- ALL WALLS AND GATES IN ENCROACHMENT AREA TO BE LESS THAN 42"
- CONTRACTOR TO PROVIDE FOR AUTOMATIC IRRIGATION FOR ALL LANDSCAPED AREAS PER MUNICIPAL CODE
- LANDSCAPING WITHIN ENCROACHMENT AREA NOT TO EXCEED 42" MAX HEIGHT PER MUNICIPAL CODE

PLANTING LIST

SYM	BOTANICAL NAME	QTY	SIZE	MUCOLS CLASS
1	CORYLYNE 'FESTIVE GRASS'	4	1g	LM
2	KALANCHOE THYRSIFLORA 'PADDLE PLANT'	12	1g	L
3	AERONUM TREE HOUSELEEK	15	1g	L

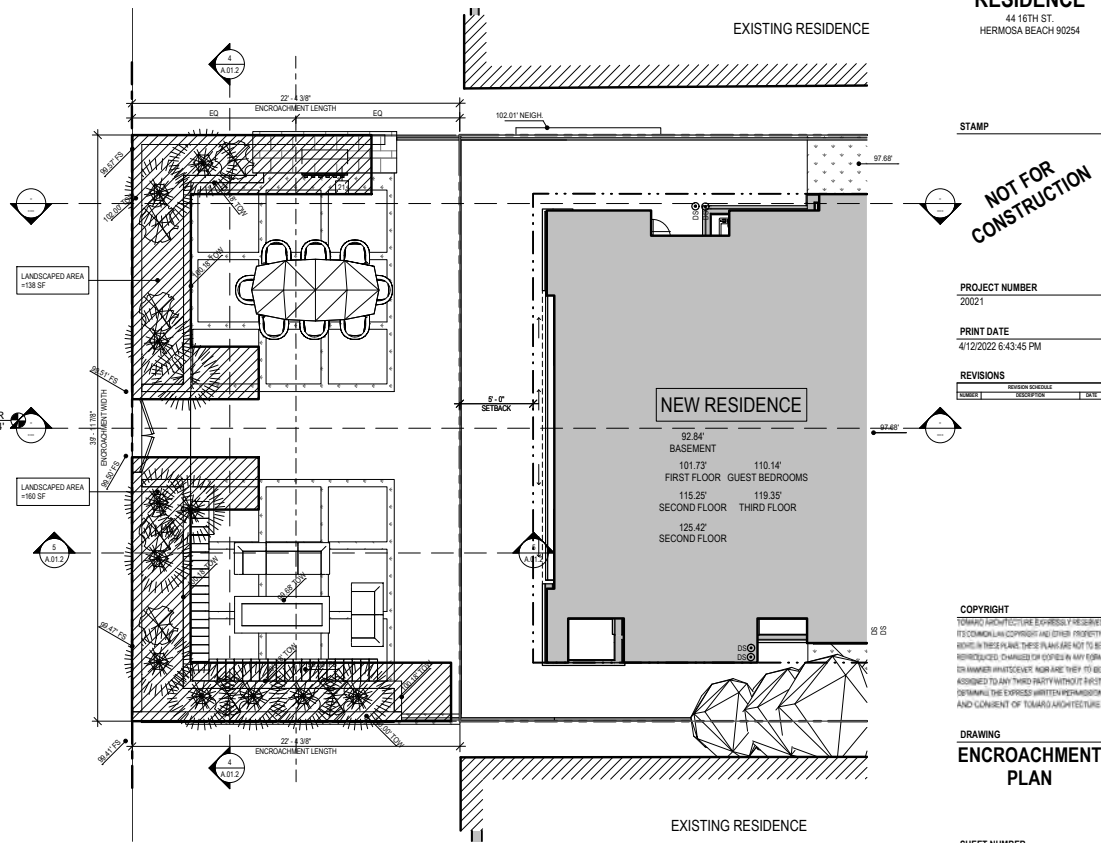
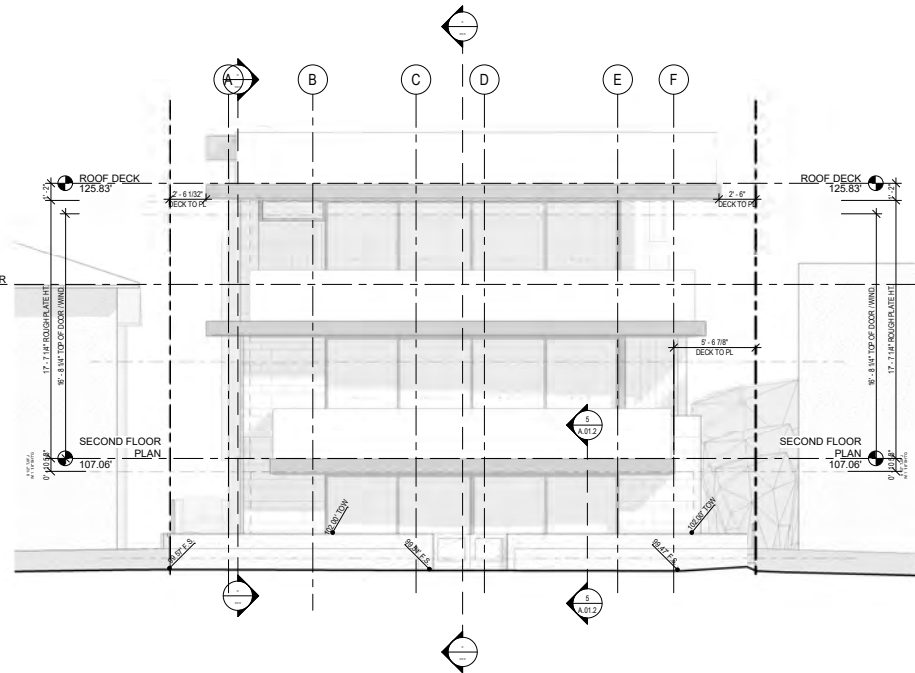
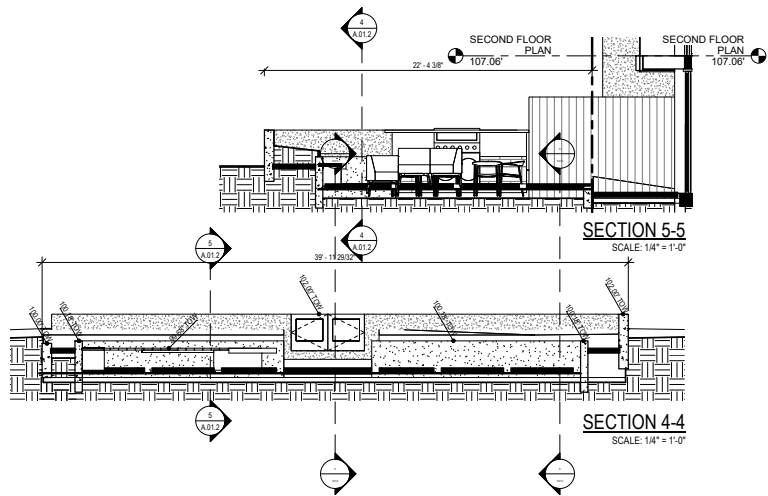
LANDSCAPE NOTES:

- 1) ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE
- NOT RECLAIMED WATER MUST USE DRP OR MICROSPRINT IRRIGATION SYSTEMS.

KEYNOTE LEGEND

SYM KEYNOTE TEXT

21 BARBEQUE



EXISTING RESIDENCE

ENCROACHMENT PLAN

SCALE: 1/4" = 1'-0"

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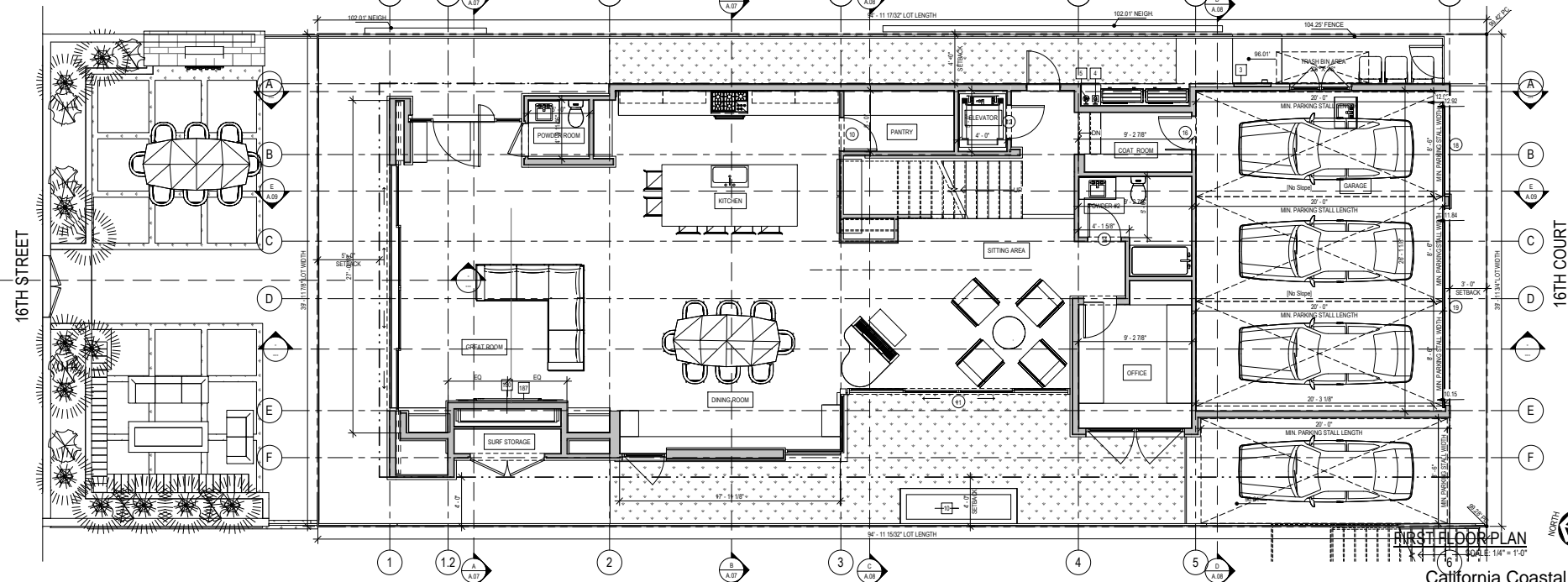
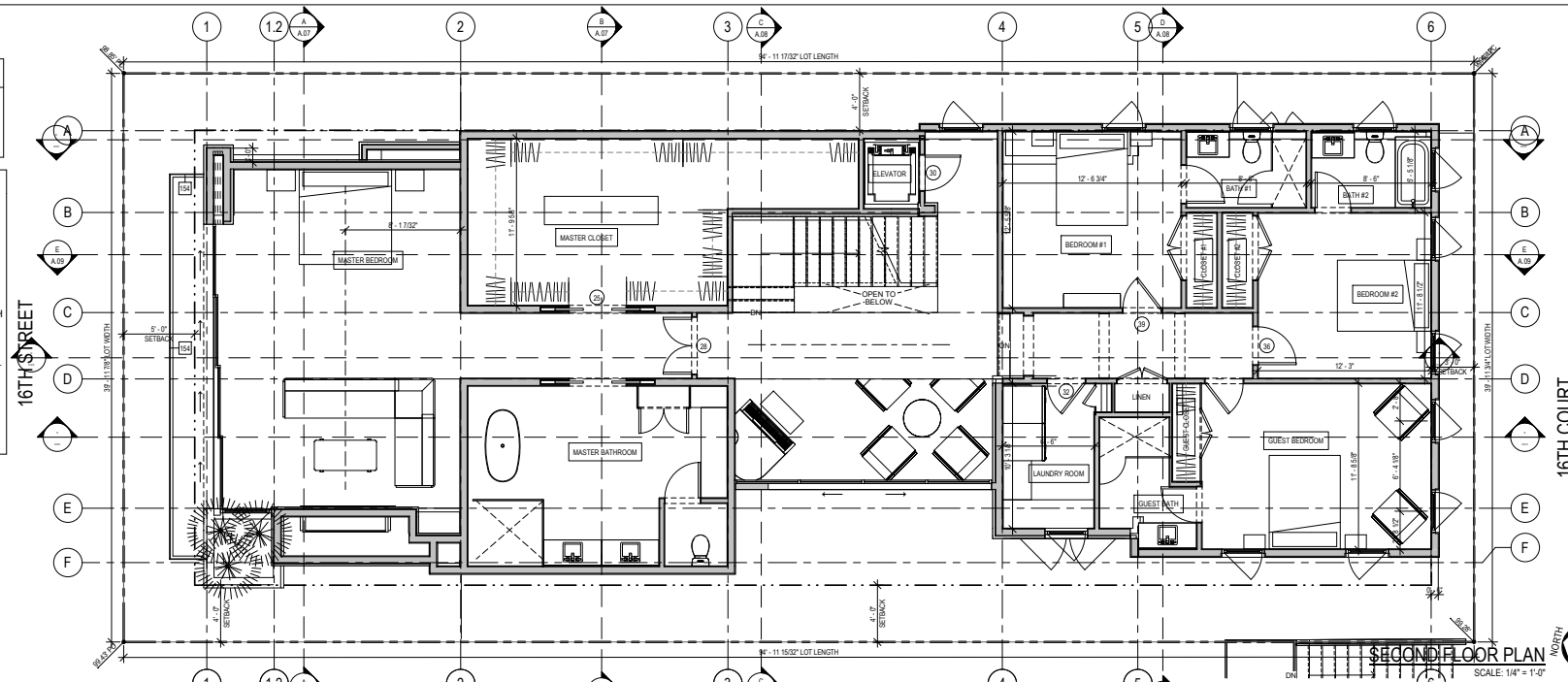
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Exhibit 2

Page 6 of 12

WALL LEGEND	
	CONCRETE RETAINING WALL CONSTRUCTION
	WOOD STUD WALL CONSTRUCTION
	ONE HOUR FIRE RATED WALL CONSTRUCTION

KEYNOTE LEGEND	
SYM	KEYNOTE TEXT
3	400 AMP ELECTRICAL SERVICE PANEL: CALCULATIONS TO BE SUBMITTED AS A DEFERRED SUBMITTAL PER CITY ORDINANCE
4	GAS METER WITH APPROVED SEISMIC GAS SHUTOFF VALVE
5	WATER MAIN RISER
10	16" DEEP REFLECTING POOL WITH INCORPORATED RECIRCULATING WATER SYSTEM
154	DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL
180	WALL MOUNTED FIREPLACE: STELLAR GALAXY SINGLE-SIDED FIREPLACE
187	WALL MOUNTED TV: PROVIDE POWER PER MANUFACTURERS SPECS. (OWNER TO VERIFY LOCATION)



2007 NORTH STEPHENSON BLVD.
HAWAIIAN ISLANDS, CA 96706
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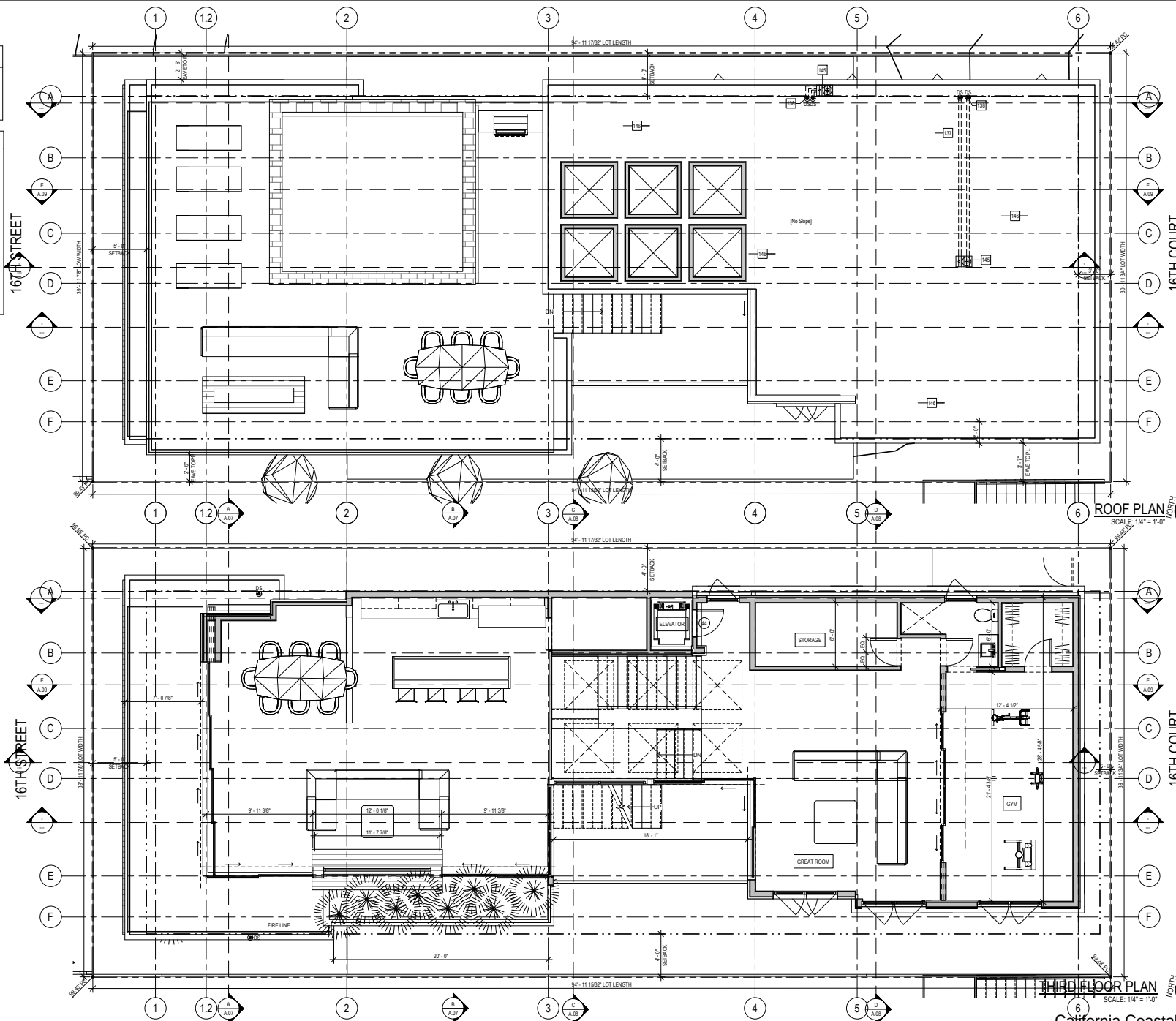
DRAWING
FIRST / SECOND FLOOR PLAN

SHEET NUMBER
A.02

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Exhibit 2
Page 7 of 12

WALL LEGEND	
	CONCRETE RETAINING WALL CONSTRUCTION
	WOOD STUD WALL CONSTRUCTION
	ONE HOUR FIRE RATED WALL CONSTRUCTION

KEYNOTE LEGEND	
SYM	KEYNOTE TEXT
137	2"-3" DIAMETER CAST IRON DRAIN LINES
138	CAST IRON VERTICAL RISERS TO RUN IN WALL
145	THUNDERBIRD ROOF DRAIN WITH 3" DIA. DRAIN LINES TO TIE INTO SITE DRAINAGE THROUGH POSITIVE FLOW (1/4"=12" MIN. SLOPE TO DRAIN)
146	FLAT ROOFING: BUILT-UP HOT MOP ASPHALT ROOFING (ICC# ESR-1388) WITH 1/4" PER 12" MIN. SLOPE. INSTALL PER MANUFACTURERS SPECIFICATIONS. MINIMUM CLASS A FIRE RATING



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DRAWING
THIRD FLOOR / ROOF PLAN

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Page 8 of 12

KEYNOTE LEGEND
SYM KEYNOTE TEXT



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CRITICAL POINT DIMENSION PLAN

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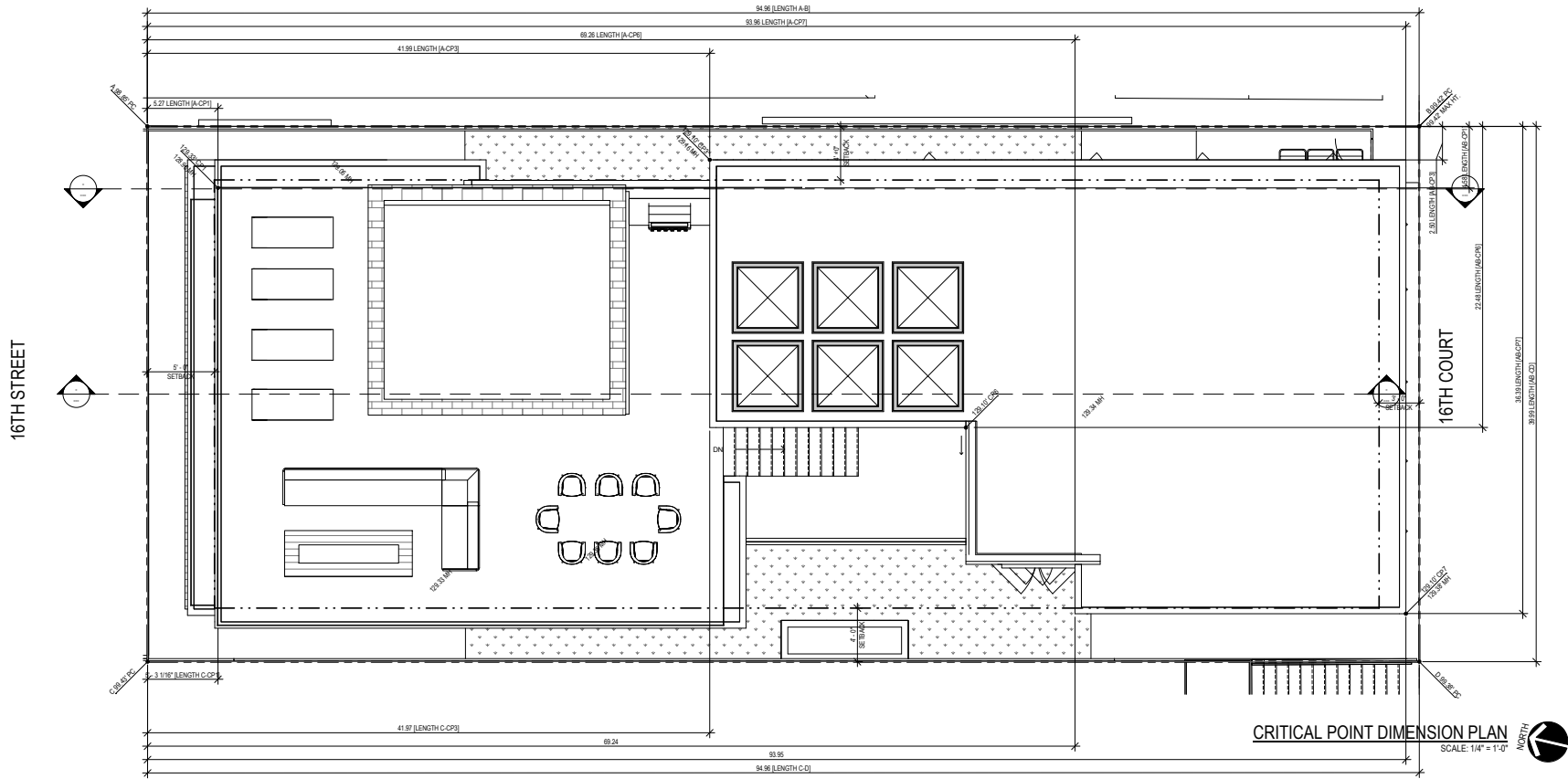
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Exhibit 2

Page 9 of 12



CRITICAL POINT DIMENSION PLAN
SCALE: 1/4" = 1'-0"
NORTH



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MANHATTAN BEACH, CA 90266
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KEYNOTE LEGEND	KEYNOTE TEXT
SYM	
14	NEW WOOD GATE
15	NEW WOOD FENCE AT PROPERTY LINE (MAX HT. 5'0")
154	DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL
157	BONDERIZED METAL WITH PAINTED FINISH (ARCHITECT TO SPECIFY COLOR)
159	STUCCO: 7/8" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH 8d COOLER NAILS @ 6" O.C. OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR
163	TRESPA WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO SPECIFY COLOR)

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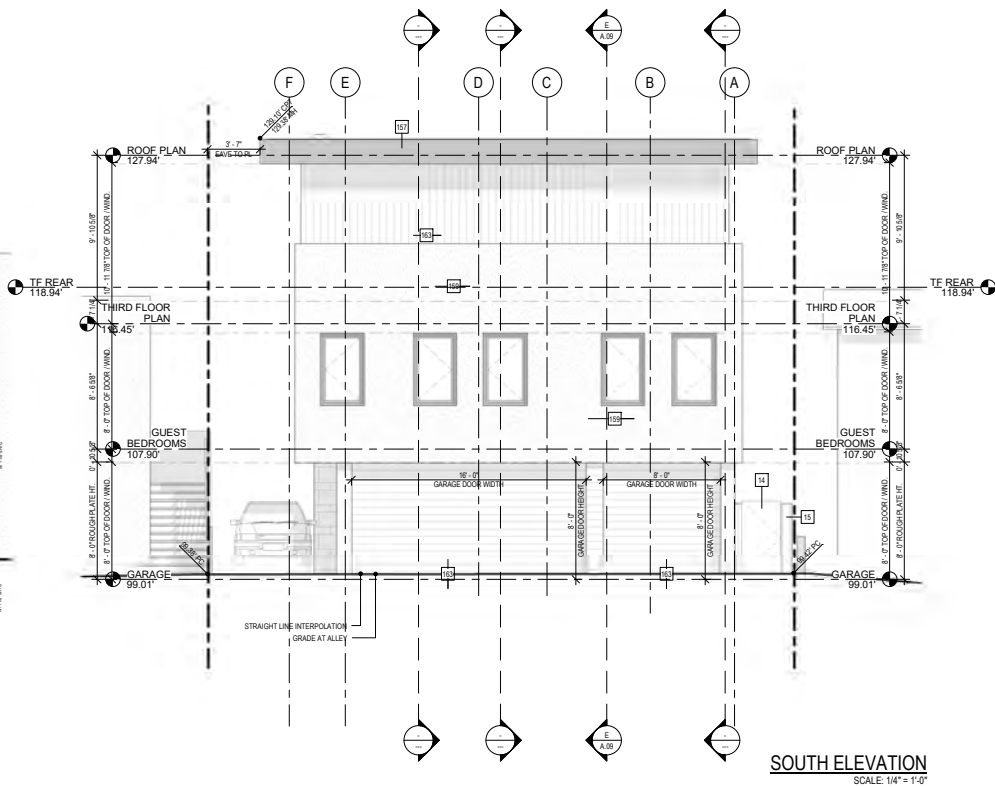
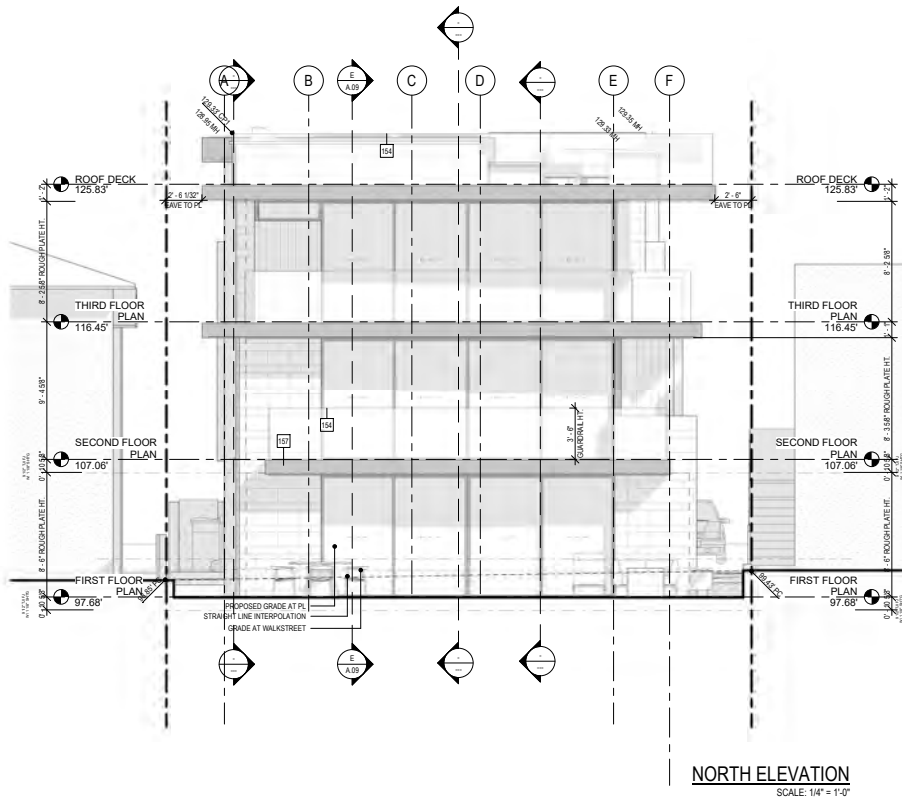
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NUMBER REVISION SCHEDULE DESCRIPTION

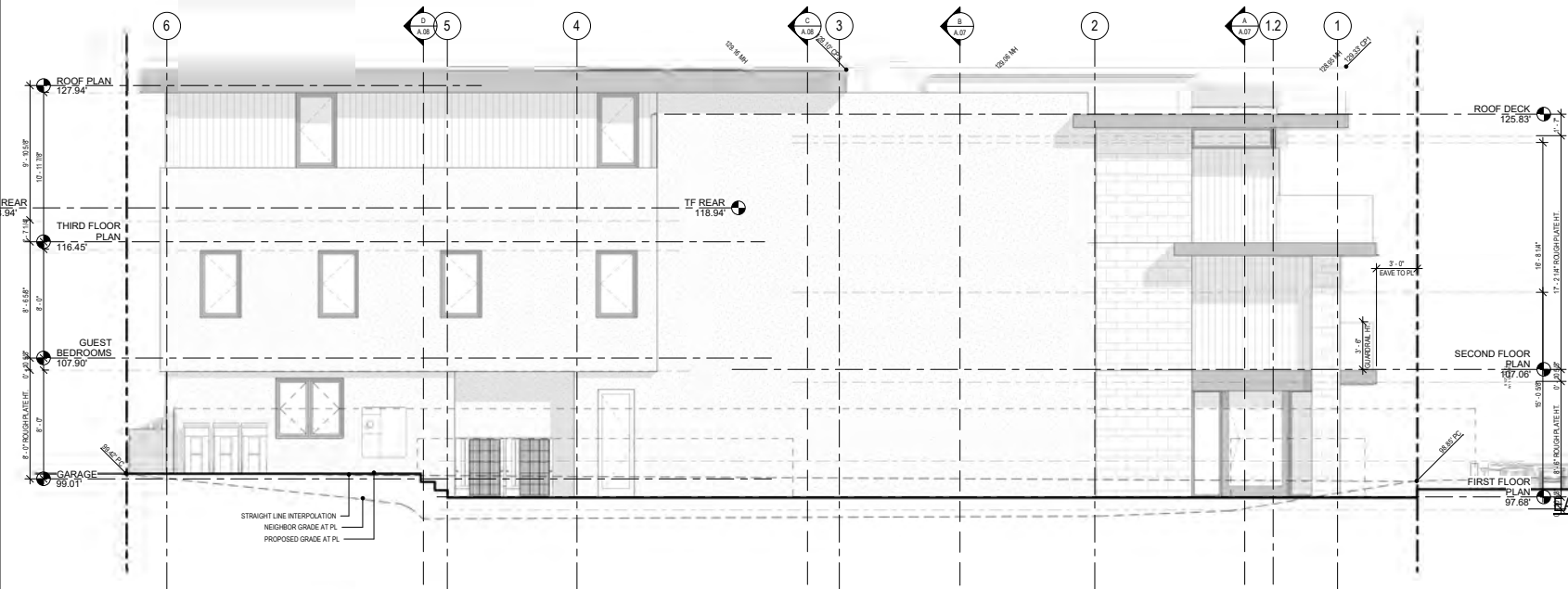
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DRAWING
ELEVATIONS

SHEET NUMBER
A.05

California Coastal Commission
5-21-0649
Exhibit 2
Page 10 of 12





- KEYNOTE LEGEND
- | SYM | KEYNOTE TEXT |
|-----|---|
| 154 | DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL. |
| 155 | WINDOWS: DUAL PANE FLEETWOOD ALUMINUM. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 156 | DOORS: DUAL PANE FLEETWOOD ALUMINUM CLAD SLIDING DOORS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 157 | BONDERIZED METAL WITH PAINTED FINISH (ARCHITECT TO SPECIFY COLOR) |
| 158 | STONE VENEER: (INTERIOR DESIGNER TO SPECIFY) ATTACHED TO STUCCO BROWN COAT PER CBC SECTION 1403.5.4. PROVIDE PRECAST CONCRETE LEDGE CAP |
| 159 | STUCCO: 7/8\"/> |
| 163 | TRESPA WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO SPECIFY COLOR) |

TOMARO
ARCHITECTURE

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KEYNOTE LEGEND	
SYM	KEYNOTE TEXT



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01

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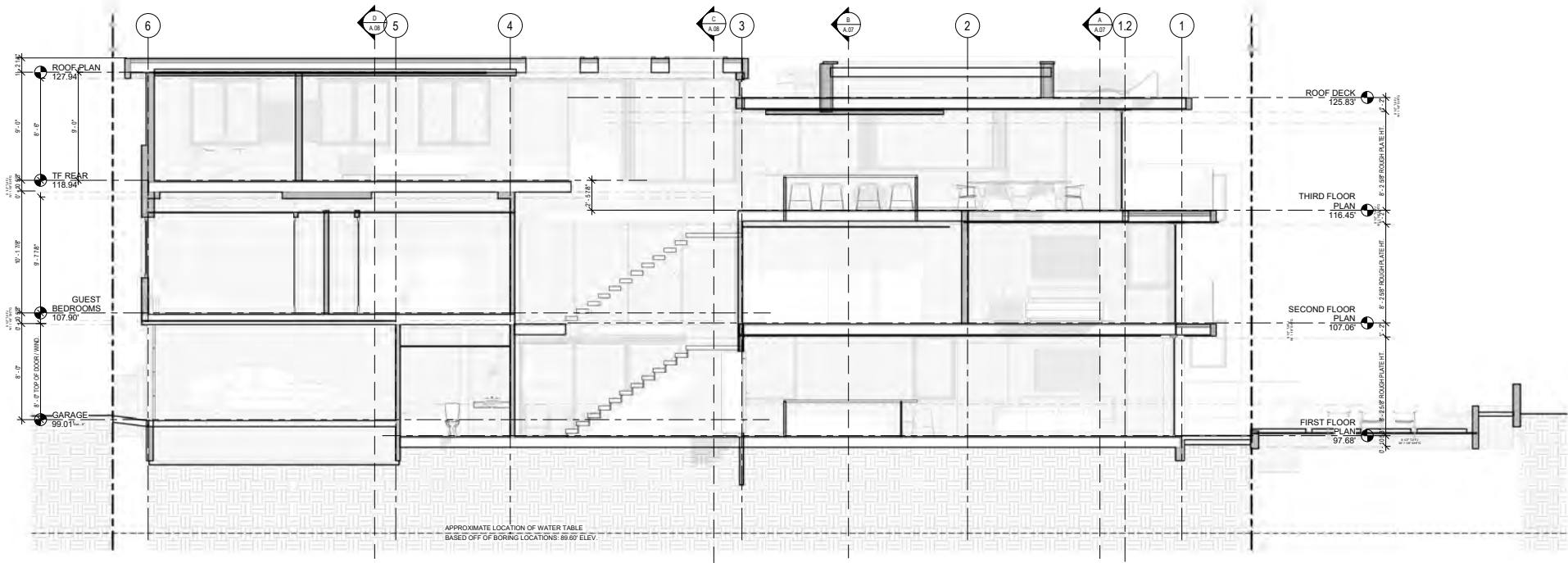
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SECTIONS

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A.09



SECTION E-E
SCALE: 1/4" = 1'-0"

Exhibit 3 – CoSMoS Flooding Analysis

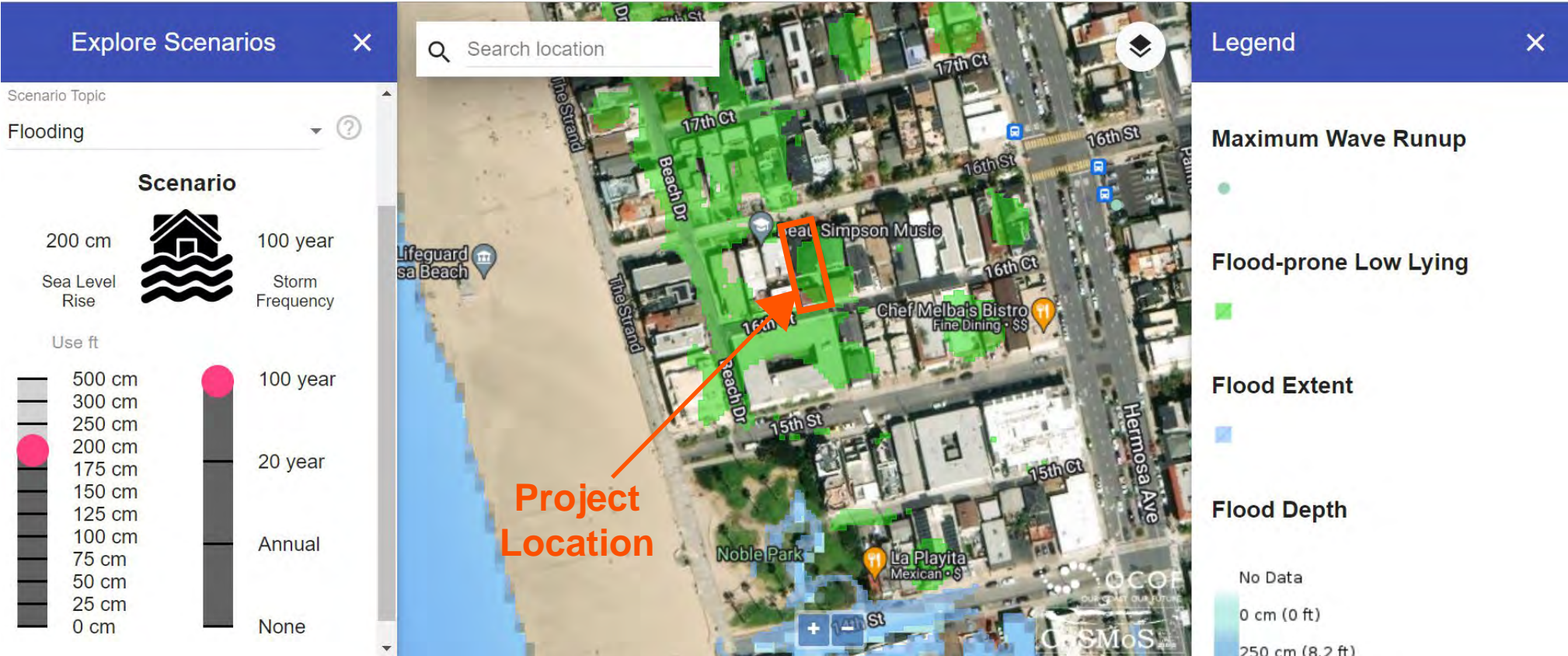


Exhibit 4 – CoSMoS Groundwater Analysis

