CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE 301 E. OCEAN BLVD, SUITE 300 LONG BEACH, CA 90802-4325 VOICE (562) 590-5071 FAX (562) 590-5084



Click here to go to staff report

F5a

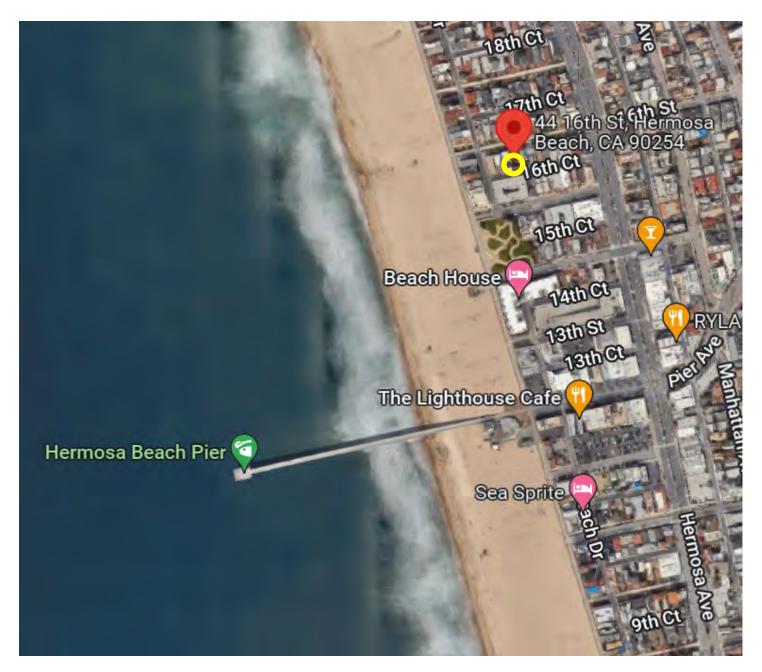
5-21-0649 (Sprague)

MAY 13, 2022

EXHIBITS

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Exhibit 1 – Vicinity Map





A NEW THREE STORY SFR WITH ATTACHED THREE CAR GARAGE

SPRAGUE RESIDENCE

44 16TH ST. HERMOSA BEACH, CA. 90254

CITY OF HERMOSA BEACH DEPT. OF PUBLIC WORKS PUBLIC RIGHT OF WAY REQUIREMENTS

THE FOLLOWING STANDARD CONDITIONS APPLY TO ALL PROJECTS REQUERING A BUILDING PERMIT UNLESS IT IS DETERMINED UNNECESSARY BY THE PUBLEC WORKS DRECTOR. A GRADING PLAY IS REQUIRED FOR ANY PROJECT REQUIRING A BUILDING PERMIT UNLESS WAVED BY THE DIRECTOR OF PUBLIC WORKS, ALL CONSTRUCTION MUST COMPLY WITH THE CITY OF HERMIOSIA BEACH AND LOS MIGGLES COUNTY STANDARDS.

1. ALL PLANS FOR NEW AND OR GOLDTONG ONE FIGH. HARRISE (AM) QUARE FEET AND FE SIGNATION OF THE FOR HARRISE (AM) QUARE FEET AND FE SIGNATION TO THE LAND FROM THE FOR THE FOR THE FIGHT OF T

- A SEMER OF PERMIT MAST SE COURSED SETORS, 1990.LITTON FERRIT THALLES (SISED)

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3. ALL CONTINCTIONS WORKING OF A PILLEY WROSS PROJECTS MAST HAVE A DIRECT OFF OF TERMODAL REGION ENGINEERING THE CONTINUE OF T

- MINIMUM.

 9. SECTION 42/84217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO SCHWATE "WILL BE WALD. FOR YOUR DIG ALERT ID. NUMBER CALL UNDERGROUND SERVICE ALERT AT (80) 227-2400 TWO WORKNOK DAYS BEFORE YOU DIG.

- ALL EXISTING CURB, GUTTER, CONCRETE DRAINAGE SWALE, SIDWALK AND DRIVEWAY WITHIN THE PROPERTY LIMITS SHALL BE. REMOVED AND REPLACED, UNLESS IT IS DETERMINED BY THE CITY PUBLIC WORKS INSPECTOR THAT THEY MEET THE CURBENCY IT OF YEMANGAGES.
 IF THE CURB, GUTTER, CONCRETE DRAINAGE SWALE, SIDEWALK OR DRIVEWAY DO NOT EXIST THEY SHALL BE CONCRETE AND THE CONCRETE OF THE SHALL BE CONCRETED.
- ISTRUCTED. CURB AND GUTTER SHALL BE POURED MONOLITHICALLY. BUT SEPARATE FROM SIDEWALK.
- ALL DRIVEWAY SLOPES TO BE 2% FROM TOP OF CURB OR LIP OF SWALE TO RIGHT-OF-WAY.
 WHEELCHAIR RAMPS ARE REQUIRED ON CORNER LOTS AND MAY BE REQUIRED AT THEIR LOCATIONS.
 GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WINATEVER MEMSN NECESSARY UP TO AND
- IN GREAT IN A RESIDENT POUNDED CONCRETE SHALL BE RESUVED BY WANTENES MEANS INCESSARY UP TO AND ACCUMENT ACCUMENT AND ACCUMENT ACCUMENT
- ATERAL. 2. EXISTING SEWER LATERALS MAY BE USED IF THE CRITERIA OUTLINED IN NOTES (10) AND (11) ARE MET AND A VIDEO APE HAS BEEN PROVIDED TO THE PUBLIC WORKS DEPARTMENT AND IF THE VIDEO SHOW THE LATERAL TO BE IN GOOD

- ANY ASPINALT OR CONCRETE STREET WITHIN THE PROPERTY LIMITS THAT IS DAMAGED PRIOR TO CONSTRUCTION
 SHALL BE REMOVED AND REPLACED TO MEET CURRENT OFT STRAMARDS.
 ANY PRILED PROPERTY DAMAGED DIMED CONSTRUCTION SHALL BE REPLACED IN MICH TO THE SMISSACTION OF
 THE COT PRILED CHOICES INSECTION. THE COST OF WHICH THIS SECOND MICH THE MISTERS OF PRILED CHEET
 ANY PRISAND GENERAL PROCESSION, THE COST OF WHICH THE SECONDIST OF THE MISTERS OF THE COST THE COS

- ANY UTILITY CUT WITHIN CITY STREETS SHALL BE EITHER PERPENDICULAR OR PARALLEL TO THE CENTER OF THE STREET, DIAGONAL CUTS WILL NOT BE ALLOWED.

 2. BACKFILL OF TRENCHES SHALL BODNE IN LIFTS OF NO MORE THAN TWO FEET (2) WITH WATER JET AND
 APPROPRIATE COMPACTION TOOL USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF
- NATIVE SOIL. 3. AFTER BACKFILLING THE TRENCH A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND
- 3. AFTER ADDICALLING THE TREMCHAT TREMCHARM ASPINED THAT OH SHALL BE FLACED UPOR THE TREMCH AND INTHE FERMANMENT FORWARD ASSESSMENT OF THE TREMCHARM OF THE TREMCHARM ASSESSMENT OF THAT OF THAT OF THAT OF THAT OF THE TREMCHARM ASSESSMENT OF THAT OF THAT

- COMPACTION IN RECEIVANCE, REMOND TO INFORMATION CONTROL TO A COMPACT TO A COMPACT TO BE OPILIZED.

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- 10+ HOME DEVELOPMENTS.
 PARKING LOTS, 25 SPACES OR MORE.
 RESTAURANTS

- SERVICE STATIONS.
 AUTO REPAIR FACILITIES.
 100.000 SQUARE FEET COMMERCIAL DEVELOPMENTS.

- 1. PROOFS JURICLOSES SHALLS ER JACED JACOUR DAY CONSTRUCTION SITS WHITE THE PRINCE REPORT OF MY THESE SHAPPICADES SHALL ON THE PRINCE REPORT OF MY THESE SHAPPICADES TO THE WORK AREA TRAFFIC CONTROL HANDBOOK (HIJA T. C.H.) MANUAL. 2. AWITHER A STREET OF MALEY SHAPPICADE TO BE LOCASET THE APPROVAL OF THE PUBLIC WORKS AND THE SHAPPICADE SHAPPICADES AND THE CONTROL OF THE PUBLIC WORKS AND THE SHAPPICADE SHAPPICADE SHAPPICADES AND THE SHAPPICADE THE SHAPPICADE SHAPPICADE SHAPPICADE THE SHAPPICADE SHAPPICAD
- STREET, PALES AND SHEWHALL MANUFES REQUIRES PROPERTY SHOWER AND SHEWHALL AND SHEWHALL AND SHEWHALL AND SHEWHALL AND ALL CONSTRUCTION FENCES, SHE OF IDE BEHNOT THE STREWALK AND ALL CONSTRUCTION MATERIAL WITHOUT FROMTS ARE TO BE BEHNOT THE FROME. SIDEWALKS ARE TO BE ACCESSIBLE TO PRESENTED AT ALL TIMES.
 5. IF SCAPPOLOMIS IS RESERVED ON THE PUBLIC PRICET OF WAY, A PERSON THUS BE REQUIRED AND ALL THE PROVISIONS OF THE PUBLIC PRICET OF WAY, A PERSON THE LITTLE STREMM, AND ALL TIMES.
- MELI.

 8. NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LIEFT ON PUBLIC PROPERTY OVERNIGHT WITHOUT FROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS OPERATING
- PUBLIC YOUNKS.

 8. "MAY PUBLIC SIDEWALK DAMAGE TO THE POINT OF CAUSING A TRIP HAZARD DURING CONSTRUCTION, THAT PANEL OF CONCRETE SHALL BE <u>REMOVED IMMEDIATELY AND PATCHED WITH.</u>

 <u>A TEMPORARY ASPHAL TRATCH WHICH MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT SHOPMAN IS ROWSTRUCTOR</u>

- 10 PM.
 ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE BEING POURED. SEWER LATERAL PERMITS WILL NOT BE FINAL UNLESS A SEWER LATERAL DIAGRAM HAS BEEN IPLETED AND APPROVED.

GENERAL NOTES

- BUILDING COMPLIES WITH 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, AND CITY OF HERMOSA
- CH.
 AUMN DIFFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK.
 UNIESD FORM IS AWALABLE AT THE COMMAINTY DEVILOPMENT DEPARTMENT, PROVIDE PROOF
 NOTHEACTION ANAL WITH RETURN BECORPT) 10 DAYS BEFORE BUILDING PERMIT IS SISSUED,
 COMPLETE ASSESTOR NOTHEACTION WAVER.
 ME BUILDING FEATURES PROJECTION IN 101 DEQUIRED SETBACKS ARE INDICATED ON STEPLOT
- AN.

 SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND
 RTHWORK AS REQUIRED BY CBC SECTION 1804.

 STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12' IN THE AREA OCCUPIED BY THE
- DING. INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO PTER 25 UBC.
- MAP 1EX 20 UBC.

 ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. AND ALL NEW PLUMBING FIXTURES ALL BE CERTIFIED LOW FLOW FIXTURES.

 ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON
- DEVICE.

 9. PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FOUTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MAN-PIOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE TREQUEST THE BOOKWATER VALVE. PROVIDE CAST RIGHWATER PIPE, RESERS.

 10. ALL WINDOW COVERINGS REQUIRED BY CFIR. FORM SHALL BE POSTED PRIOR TO FINAL.
- PECTION. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAOMD).
 1398-2000 FER RULE 1403 FOR THE PROFES DISPOSAL OF ASSESTIOS.
 ONLY LOS ANGESTES COUNTY HEAT THE PERFATENT APPROVED DEVICES MAY BE UTILIZED FOR
 MISCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
 ALL SITE DRANAGE SAULE BE TERMINATED AT PUBLIC WAY VIA NON-EROSIVE DEVICE PER

- HAMASHER
 PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
 THE ARCHITECT IS NOT RESPONSBLE FOR SITE GRADING OR DRAINAGE.
 MAPILO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
 POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWIELLING PRIOR TO
- ALI INSPECTION.
 I IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN E HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY
- ANTS. TROL VALVE FOR SHOWERS AND TUBISHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC. SECT. 410.7.
 21. VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY

- THERMOSTIAT MANDA VALLE TIPE. LEG. SECT. 40.2.

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EXCAVATION NOTES

PROVIDE CONTINUOUS INSPECTION DURING EXCAVATION OF SHORING AND INSTALLATION OF SHORNG WEBBERS
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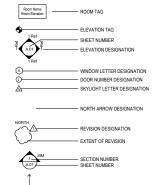
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5. PROVING TEMPORARY SHICKING OF AUDICENT PROPERTY CHAINFED PERSONS REGISTERED WITH FESTATE SHALL DESIGN SHICKING.

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DESIGN SHICKING S

SYMBOL LEGEND



PROJECT SUMMARY

PROJECT LOCATION:
ASSESSOR PARCEL N
ZONING: SCOPE OF WORK:

1ST LEVEL LIVING AREA	1,343 SF	
DECKS/BALCONES	101 SF	
2ND LEVEL LIVING AREA	2,198 SF	
DECKS/BALCONES	190 SF	
3RD FLOOR LIVING AREA	774	
DECKS/BALCONES	1,349 SF	
TOTAL LIVING AREA	6,006 SF	
TOTAL DECKS/BALCONES	1,640.5F	
NO. OF BEDROOMS	4	
NO. OF BATHROOMS		
ZONING INFORMATION	REQUIRED	PROVIDED
AZZA		
LOT AREA		1799 SF

	ZONING INFORMATION	REQUIRED	PROVIDED
	AREA		
	LOTAREA		1,799 SF
-	LOT COVERAGE	65%	esx-
	YARDS		
	FRONT	5	5
	SDE	*	4
	REAR	y	7
	PARKING AND DRINEWAYS		
	NUMBER OF SPACES	2	3
	GUEST SPACES	1	1
	PARKING SETBACK	7	1
	PARKING STALL DIMENSION	8-6-X26-6-	E-6" X 20"-0"
	TURNING AREA	27	27
	DRINEWAYWIDTH	25-6	27
	DRIVEWAY MAXIMUM SLOPE	12.5%	11.29%
	OPEN SPACE		
	ON GRADE		138 SF
	DECKS/BALCONES		363 SF

REQUIRED FOR ALL PROJECTS PROPOSING

CONSULTANTS

CIVIL CONSULTANT	
FGB & ASSOCIATES	
17410 ELAINE AVENUE	
ARTESIA, CA 90701	
T 582 584 1071	

SURVEYOR DENN ENGINEERS 3914 DEL AMO BLVD, SUITE 921, INTERIOR DESIGNER

ENERGY CONSULTANT

STRUCTURAL CONSULTANT

GEO-TECHNICAL CONSULTANT NORCAL ENGINEERING 10641 HUMBOLT STREET LOS ALAMITOS, CA 90721 T. 562.799.9469

PROJECT DATA

PROPERTY OWNERS

LEGAL DESCRIPTION

TRACT: HERMOSA BEACH APN: 4183-005-029

OCCUPANCY AND ZONING

CODES

AREA CALCULATIONS

LOT SIZE	=	3,799 SF
FIRST FLOOR LIVING SECOND FLOOR LIVING THIRD FLOOR LIVING	= =	1,837 SF 2,301 SF 1,912 SF
TOTAL LIVING	=	6,050 SF
TOTAL DALCOND		4 040 05

LOT GOVERNOL OF	LOOLITTOING	
LOT SIZE	= 3,799 SF	
MAX LOT COVERAGE	= 2,469 SF	,,,

MAXIMUM ALLOWABLE HEIGHT = 30' - 0" ACTUAL HEIGHT = SEE SHEET A.04.1 FOR HEIGHT INFO

OPEN SPACE CALCULATIONS:

ABBREVIATION

B.O.W.	BOTTOM OF WALL
C.H.	CRITICAL HEIGHT
	CEILING
CLR.	CLEAR
COL.	COLUMN CONCRETE
CONC.	CONCRETE
	CASEMENT WINDOW
DIM.	DIMENSION
	DOWN
	ELEVATION
	FROM ABOVE
	FLOOR
	FIXED
	HORIZONTAL
	HEIGHT
	LANDING
LT.WT.	LIGHT WEIGHT CONCRET
MAX.	MAXIMUM
	MINIMUM
	OPERABLE
	PROPERTY LINE
REQ.	REQUIRED
SECT.	SECTION
	SUB FLOOR ELEVATION
	SHEET
	SKEWED
SI	SLOPED

SHEET#

JOEL SPRAGUE | JSPRAGUE@GMAIL.COM | 310-918-4210 HERMOSA REACH CA 90254

OCCUPANCY: R3/U ZONING: R-2B CONSTRUCTION TYPE: TYPE V-B, SPRINKLERED NUMBER OF UNITS: 1 NUMBER OF STORIES: 3

CITY, STATE, NATIONALLY APPLICABLE

CALIFORNIA AND THE CITY OF HERMOSA BEACH

LOT SIZE		=	3,799 SF	
FIRST FLOC		=	1,837 SF	
SECOND FL	OOR LIVING	=	2,301 SF	
THIRD FLOO	OR LIVING	=	1.912 SF	
TOTAL LIVII	NG	=	6,050 SF	
TOTAL BALO	CONY	=	1,648 SF	
TOTAL GAR	AGE	=	559 SE	

LOT COVERAGE CALCULATIONS

LOT SIZE	=	3,799 SF
MAX LOT COVERAGE	=	2,469 SF (65% OF LOT SIZE)
PROPOSED LOT COVERAGE	=	2,453 SF (65% OF LOT SIZE)

HEIGHT CALCULATIONS

	EN SPACE REQUIRED EN SPACE PROVIDED	=	300 SF 401 SF
SE	ST FLOOR OPEN SPACE COND FLOOR OPEN SPACE IRD FLOOR OPEN SPACE OF DECK OPEN SPACE	= = = =	138 SF 000 SF 163 SF 100 SF
	TAL OPEN SPACE	-	401 SF

T.O.W. TOP OF WALL

VICINITY MAP



SHEET INDEX

PROJECT INFORMATION

ENCROACHMENT PLAN

SUSTAINABLE LANDSCAPE PLAN

FIRST / SECOND FLOOR PLAN BASEMENT FLOOR DIMENSION PLAN

THIRD FLOOR / ROOF PLAN

FIRST FLOOR DIMENSION PLAN

CRITICAL POINT DIMENSION PLAN

CIVIL SURVEY

SITE PLAN

ROOF PLAN

ELEVATIONS

ELEVATIONS

SECTIONS

HERMOSA BEACH, CA

PROJECT SITE

ITS COMMON LAN COPYRIGHT AND OTHER PROPERTY. HIGHE IN THESE PLANS, THESE IN ANY, MAE NOT TO BE TRANSPORT HINTSCEVER MORARE THEY TO BE

TOMARO

ARCHITECTURE

SPRAGUE

RESIDENCE

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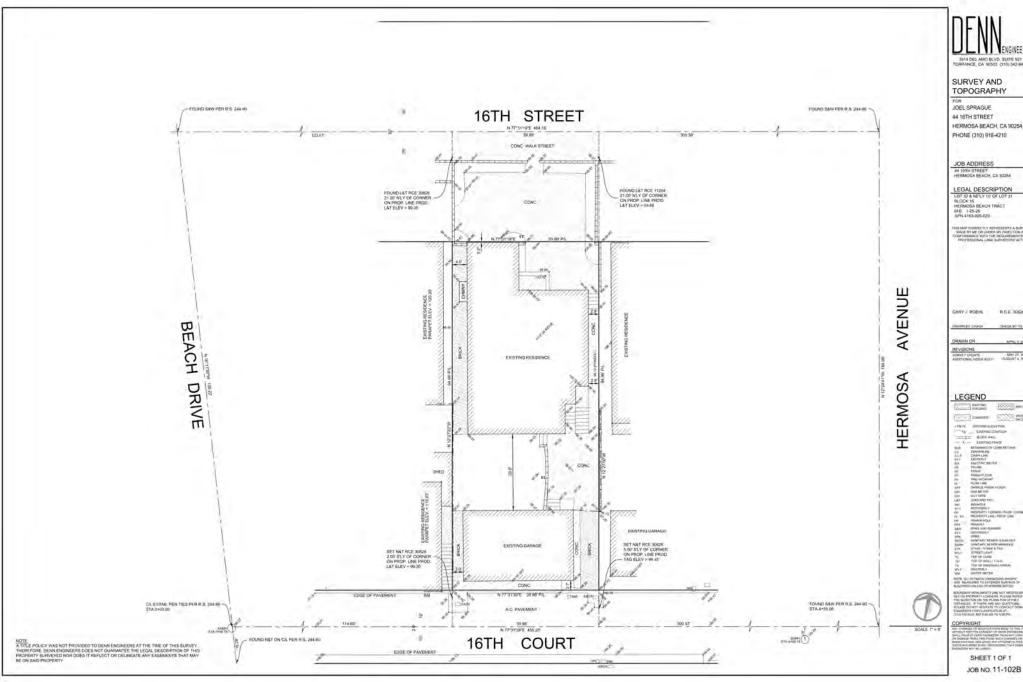
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SURVEY AND TOPOGRAPHY JOEL SPRAGUE 44 16TH STREET HERMOSA BEACH, CA 90254 PHONE (310) 918-4210 LEGAL DESCRIPTION
LOT 32 & NELY 10 OF LOT 31
BLOCK 16
HERMOSA BEACH TRACT
ME 1-22-28
APN 4183-005-029 GARY / ROEHL RCE TODAY LEGEND Common Section Control of the Contro

LOT COVERAGE CALCULATIONS

= 3,799 SF

LOT SIZE

 MAX LOT COVERAGE
 =
 2,469 SF (65% OF LOT SIZE)

 PROPOSED LOT COVERAGE
 =
 2,453 SF (65% OF LOT SIZE)

AREA CALCULATIONS

LOT SIZE = 3,799 SF
FIRST FLOOR LIVING = 1,837 SF
SECOND FLOOR LIVING = 2,301 SF
THIRD FLOOR LIVING = 1,912 SF
TOTAL LIVING = 6,050 SF

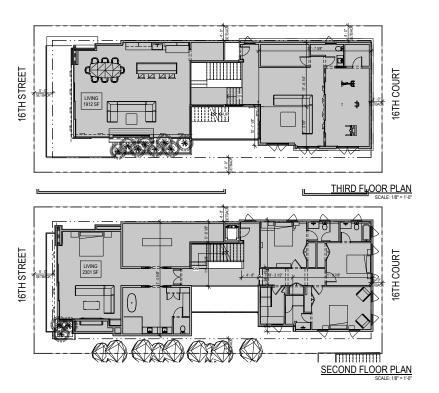
OTAL BALCONY = 1,648 SF OTAL GARAGE = 559 SF

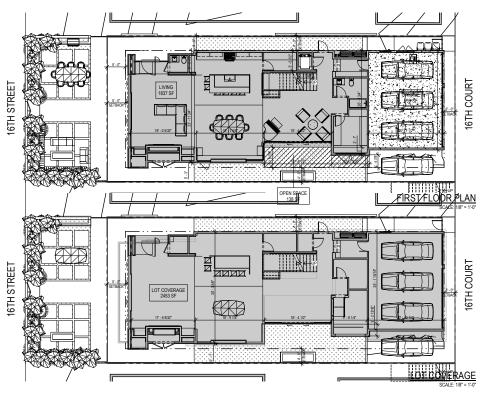
OPEN SPACE CALCULATIONS:

OPEN SPACE REQUIRED = 300 SF OPEN SPACE PROVIDED = 401 SF

| FIRST FLOOR OPEN SPACE | 138 SF SECOND FLOOR OPEN SPACE | 000 SF THIRD FLOOR OPEN SPACE | 163 SF ROOF DECK OPEN SPACE | 100 SF TOTAL OPEN SPACE | 401 SF TOMARO ARCHITECTURE

2617 NORTH SEPULVEDA BLVD. MANNATTAN BEACH CA BOSIE TO. 310-316-800 WWW.TOMARO COM





SPRAGUE RESIDENCE 44 16TH ST. HERMOSA BEACH 90254

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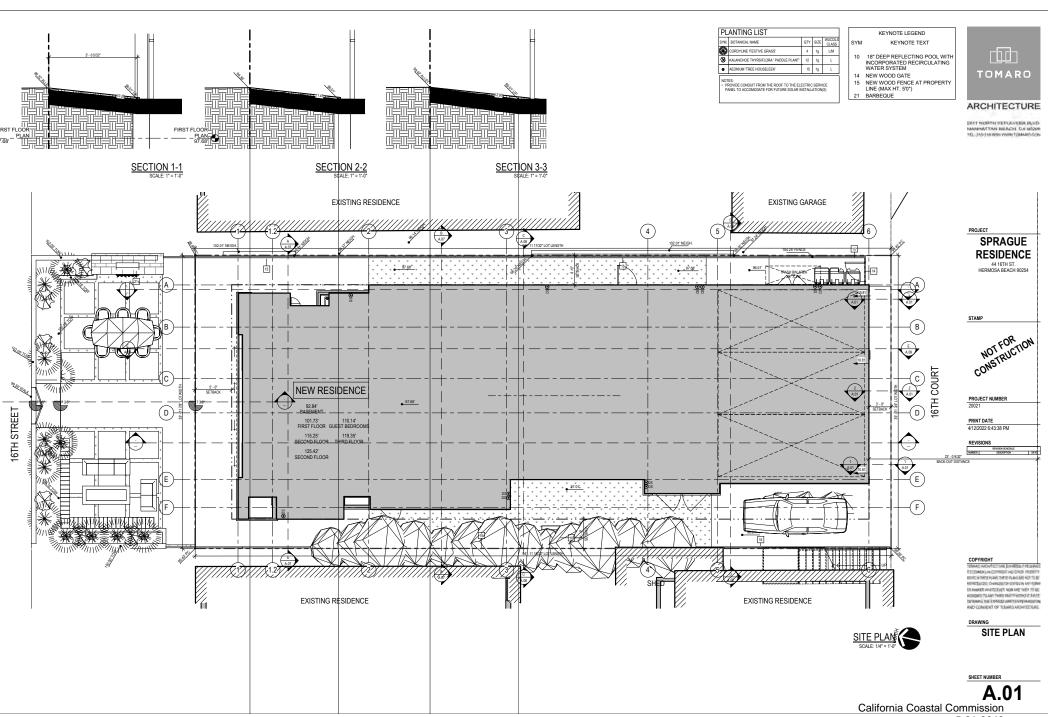
AREA CALCULATIONS

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California Coastal Commission

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LANDSCAPE NOTES:

ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAMBED) WATER MUST USE DRIP OR INCROSPRBAY RIPIGATION SYSTEMS.
 2) PROPOSED LANDSCAPE MUST MEET HERINGS BEACH MINICIPAL COORS CHAPTER 8.65 - WATER CONSERVATION AND 8.60 - EFFICIENT LANDSCAPING.

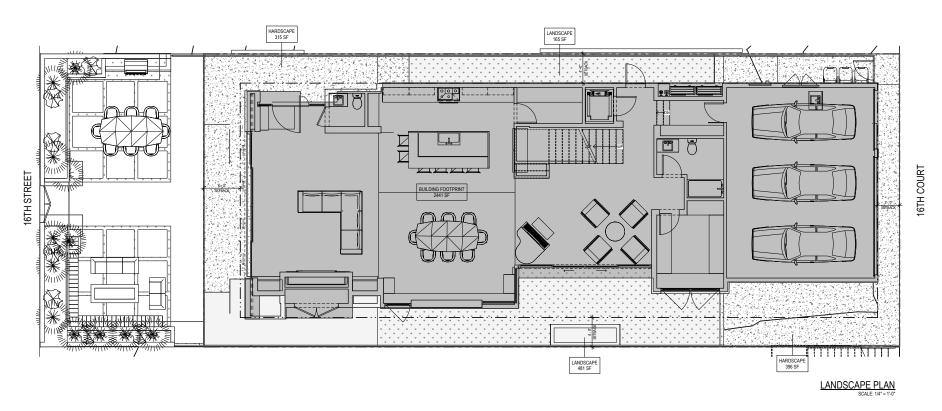
PERMEABLE AREA CALCULATION	
LOT AREA	379
BUILDING FOOTPRINT	244
EXTERIOR SURFACE AREA	135
LANDSCAPE AREA	648
NON-PERMEABLE SURFACE (HARDSCAPE)	71
PERMEABLE SURFACE (HARDSCAPE)	000
PERMEABLE AREA	648
AT LEAST 50% (678 SF) OF THE EXTERIOR SURFACE AREA BE PERMEABLE OR AN INFILTRATION SYSTEM MUST BE PRO	

TOMARO
ARCHITECTURE

2617 NORTH SEPULVEDA BLVD. MANINATTAN BEACH, CH MOSIR TO, 310316 600 WWW TOMASO COM

PLANTING LIST					
SYM.	BOTANICAL NAME	QTY	SIZE	WI	
8	CORDYLINE 'FESTIVE GRASS'	4	1g	Г	
8	KALANCHOE THYRSIFLORA ' PADDLE PLANT'	12	1g	Г	
	ACONIUM TREE HOUSELEEN	15		г	

3797 SF 2441 SF 1356 SF 646 SF 711 SF 000 SF 646 SF 3T ED



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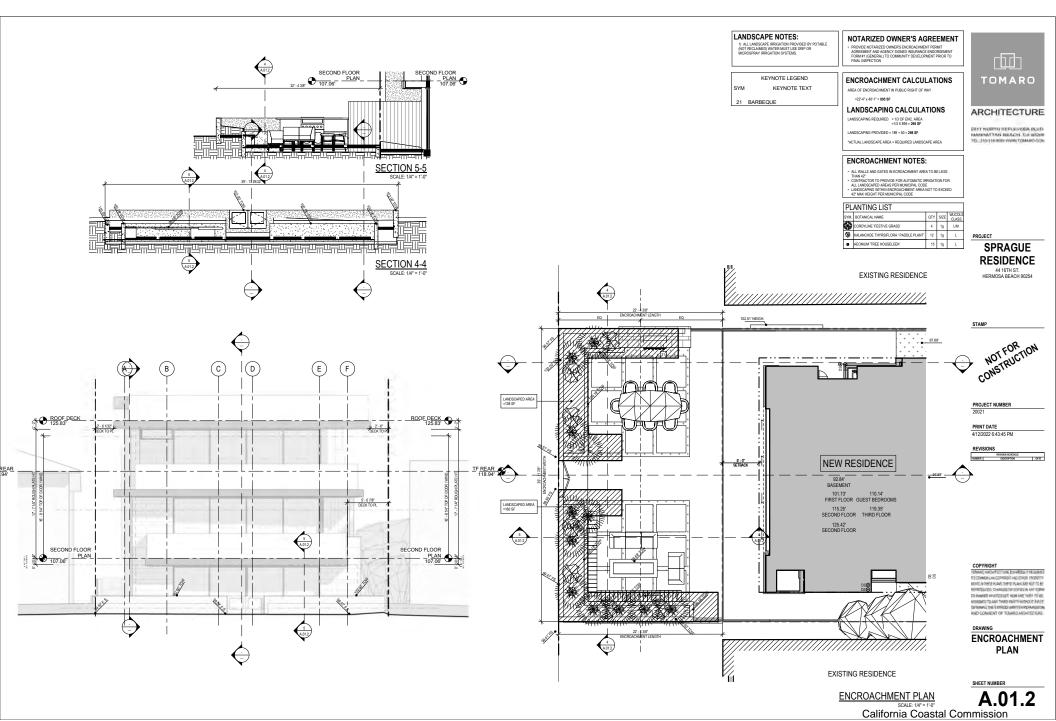
SUSTAINABLE LANDSCAPE PLAN

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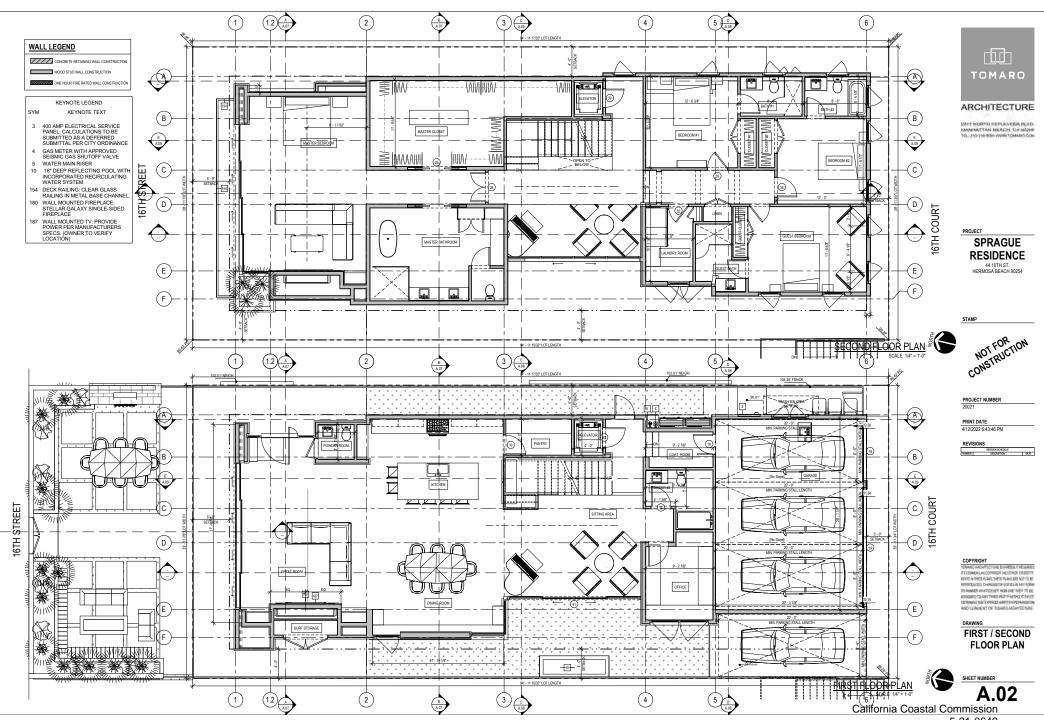
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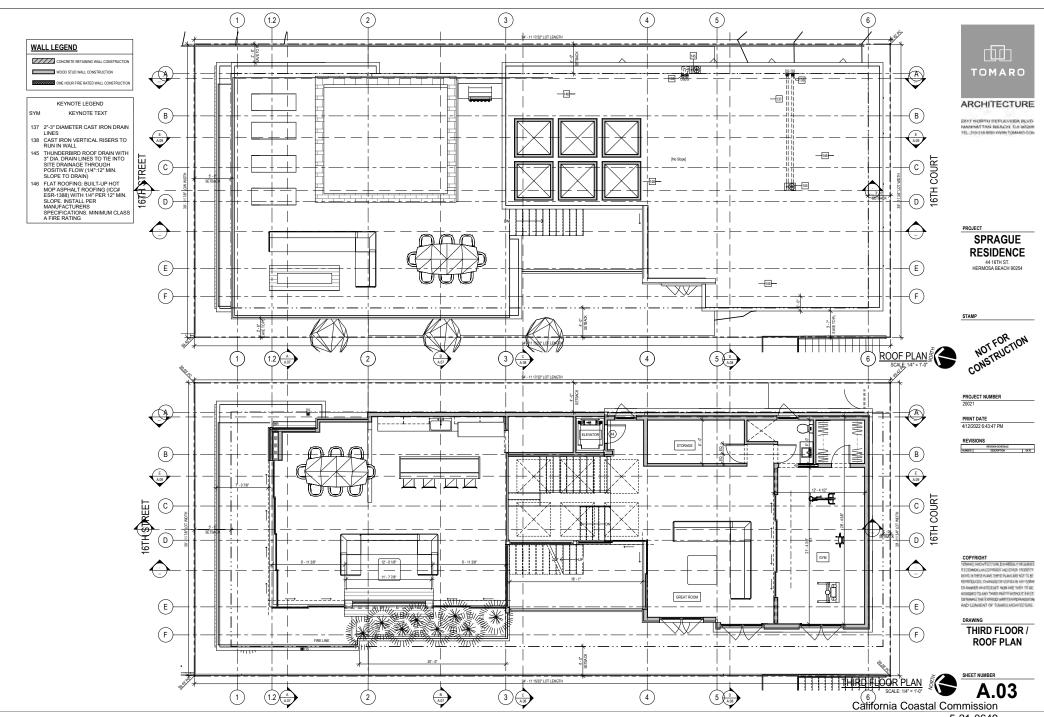
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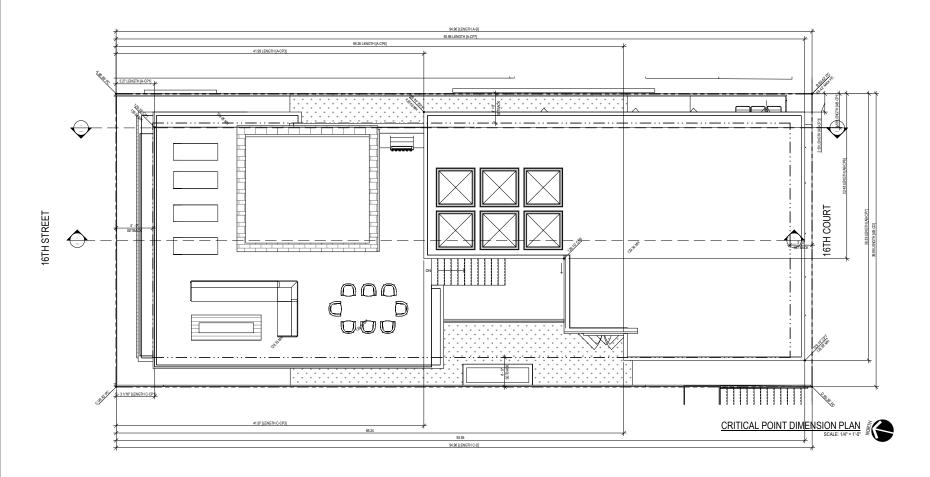
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KEYNOTE LEGEND KEYNOTE TEXT



2617 NORTH SEPLEVEDA BLVD. MANHATTAN BEACH DIE BOOKE TO. 310316 600 WWW.TOMARO.COM



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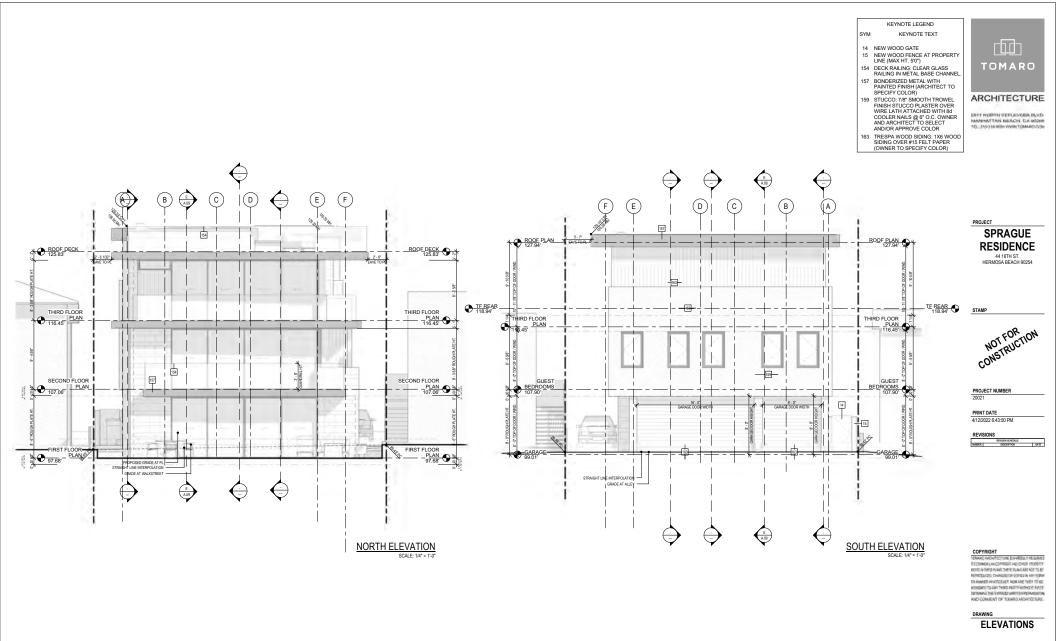
CRITICAL POINT DIMENSION PLAN

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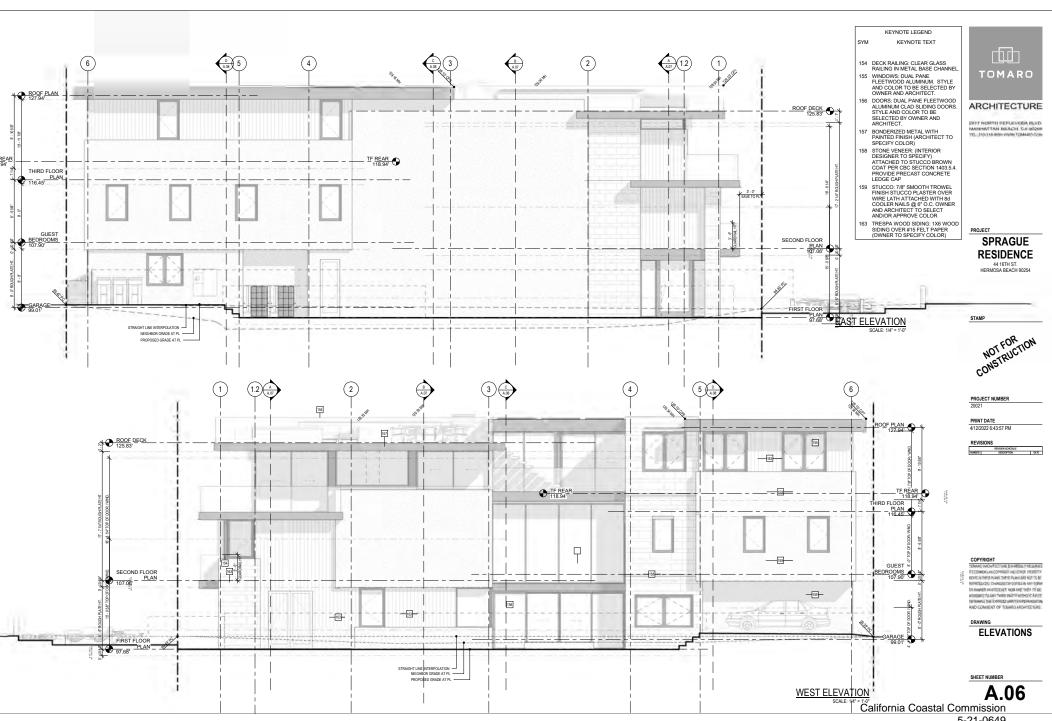
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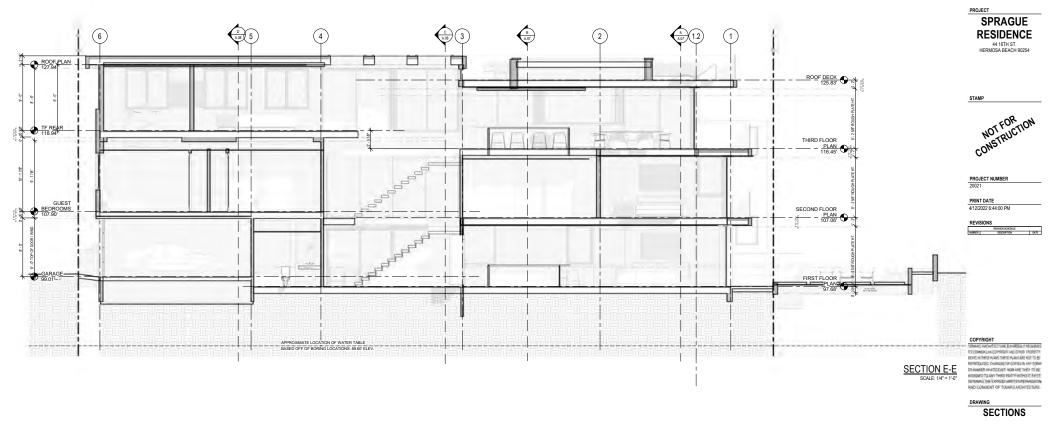
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KEYNOTE LEGEND SYM KEYNOTE TEXT



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Exhibit 3 – CoSMoS Flooding Analysis

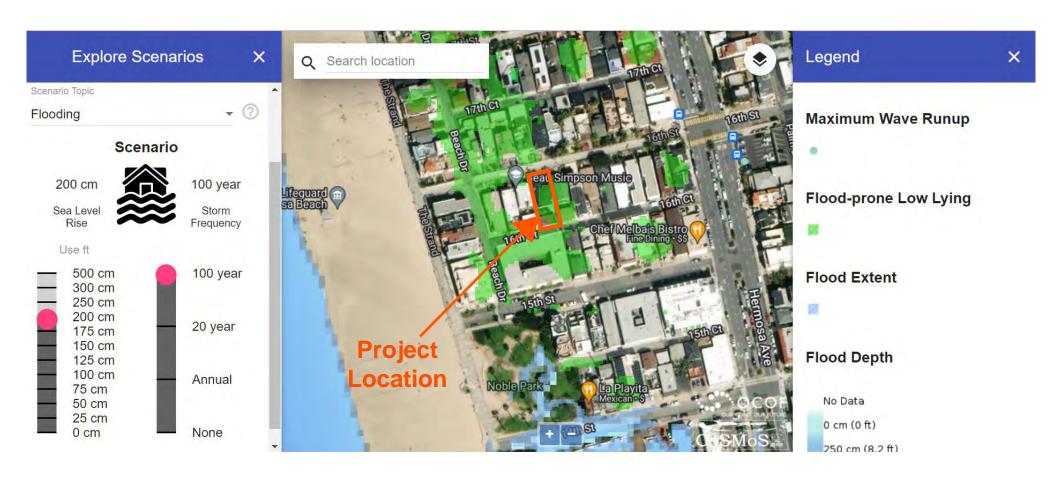


Exhibit 4 – CoSMoS Groundwater Analysis

