

## **CALIFORNIA COASTAL COMMISSION**

CENTRAL COAST DISTRICT  
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SANTA CRUZ, CA 95060  
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# F13b

### **A-3-SLO-19-0026 (TIBBITTS RESIDENCE) JUNE 10, 2022 HEARING EXHIBITS**

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Cayucos

Morro Bay

Los Osos





**Cayucos State Beach**

**Highway 1**

**Project Site**

**Morro Strand State Beach**





Pacific Avenue

Public Access Staircase

Pacific Avenue

Project Site





**Project Site in 1979**



Project Site in 1989





Project Site in 2002



Project Site in 2008





Project Site in 2015





**Tibbitts Residence – View from Beach**





**Tibbitts Residence – View Looking Upcoast**





**Tibbitts Residence – View from Looking Downcoast**



PROPOSED RESIDENCE FOR :

DAVID TIBBITTS

CAYUCOS, CALIFORNIA.

GENERAL NOTES

1. ALL WORK/MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE 2000 CBC CODE, 2000 CMC, 2000 CFC, 2000 CEC, 2001 California Energy Code.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS THEREON BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
3. CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION OF THE DOCUMENTS.
4. CONTRACTOR SHALL VERIFY THAT PROPOSED FINISH GRADE ELEVATIONS HAVE BEEN PROVIDED AT THE PERIMETER OF THE BUILDING AREAS, REFER TO BUILDING AND ADJOINING AREAS, REFER TO BUILDING PLANS. REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH ROUGH GRADING.
5. PROVIDE PIPE GUARDS AT ALL ABOVE GROUND UTILITY EQUIPMENT AS DICTATED BY GOVERNING AGENCIES.
6. PROVIDE PEDESTRIAN OR VEHICULAR PROTECTION BARRICADES TEMPORARY GUARD RAILS, AND / OR CANOPES AS REQUIRED BY THE LOCAL AGENCIES OR AS NECESSARY FOR PEDESTRIAN AND VEHICULAR SAFETY.
7. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION AMONG HIS VARIOUS SUBCONTRACTORS.
8. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE GIVEN THE GOV'T CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING FROM THE DESIGNER.
9. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND ITEMS WITH THE PUMPING, ELECTRICAL, GAS, TELEPHONE, AND CABLE TV DRAWINGS.
10. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT MANUFACTURERS.
11. GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING AUTHORITIES AND UTILITIES PRIOR TO COVERING UP ANY WORK REQUIRING INSPECTION.
12. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS WHERE REQUIRED.
13. ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL.
14. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TRELLISERAILINGS, HOLDING FRAMES, CASTING, ETC., SHALL BE PAINTED.
15. SEE SOLE REPORT FOR RECOMMENDATIONS REGARDING CORROSION. KILL ALL METALLIC UTILITY LINES SHALL BE CORROSION PROTECTION.
16. SPECIFY WEATHER-RESISTANCE BARRIER AT ALL EXTERIOR WALLS UDS MOUL NOTE TWO (2) LAYERS OF GRADE "TD" TYPE PAPER REQUIRED OVER WOOD BASED INSULATION.
17. THE INSULATION INSTALLER SHALL POST A CONSPICUOUS PLACE IN THE BLDG. A STATE INSULATION CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSULATION IS CONSISTENT WITH THE PLANS AND CONFORMS TO THE STATE ENERGY REGULATIONS NOTE ON PLANS TITLE 24, PART II, CHAPTER 9-0 STANDARDS FOR INSULATING MATERIAL.
18. THE BUILDER SHALL PROVIDE THE BLDG OWNER MANAGER AND ORIGINAL OCCUPANTS WITH A LIST OF THE FEATURE MATERIALS, COMPONENTS AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY AND MAINTENANCE FOR EFFICIENT OPERATION NOTE ON THE PLANS TITLE 24, SECTION 10-103(B).
19. ALL SHOP WELDING SHALL BE DONE BY AN "APPROVED" ICBO FABRICATING SHOP PRIOR TO ANY STEEL BEING FABRICATED AND SENT TO THE JOBSITE. THE FABRICATING COMPANY SHALL BE APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY PER CBC.
20. THE CONTRACTOR SHALL FIELD VERIFY THE SITE CONDITIONS AS REPRESENTED IN THE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
21. UNLESS NOTED OTHERWISE AS INDICATED, DIMENSIONS ARE TO CENTER LINES OF COLUMNS AND TO FACE OF WALLS.
22. ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH THE GOVERNING AGENCY'S BUILDING CODE AND ITS ADOPTIONS, AND WITH ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES.
23. WRITTEN DIMENSIONS GOVERN DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING S.A.P'S SHALL BE REFERRED TO THE DESIGNER.
24. ANY/ALL LUMBER IN CONTACT WITH CONCRETE FLOOR OR FOOTINGS SHALL BE P.S. REDWOOD OR PRESURE TREATED, "WOLMANIZED", CBC.
25. ALL FRAMING LUMBER SHALL BE GRADE MARKED WITH QUALITY PER CBC, (CALIFORNIA BUILDING CODE) REQUIREMENTS.
26. USE APPROVED FLASHING MATERIALS AT ALL EXTERIOR OPENINGS, UNLESS NOTED OTHERWISE. ALL SHEET METAL SHALL BE 24 GAUGE G.I. OR BETTER, PAINTED WITH G.I. VINYL WASH PRIMER AND A ZINC DUST PRIMER, EXCEPTING PRE-FINISHED METAL AS APPROVED BY THE DESIGNER.
27. PROVIDE ONE (1) POUND WATERPROOF FELT MEMBRANE UNDER ALL EXTERIOR COVERING.
28. ALL EXTERIOR WALL OPENINGS, FLASHINGS, COUNTER FLASHINGS, EXPANSION JOINTS, SHALL BE CONSTRUCTED IN SUCH A MANNER TO MAKE THEM WATERPROOF, CALCULATED AND FLASH WHERE NECESSARY FOR A COMPLETE AND WORKABLE INSTALLATION.
29. CERTIFIED INSULATION MATERIALS, TITLE 24 SECTION 10.
30. INSULATION INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS, NOT MORE THAN 25 AND SMOKE NOT MORE THAN 450.
31. AIR INFILTRATION IS MINIMIZED BY SPECIFICATION OF TESTED MANUFACTURED DOORS AND WINDOWS AND PROPER SEALING AND WEATHER-STRIPPING.
32. CONTRACTORS MUST GUARD AND CONCEAL FROM VIEW ROOF VENTS UNLESS OTHERWISE PERMITTED.
33. ROOF DRAIN DOWN SPOUTS MUST NOT DRAIN ONTO HARD OR BE VISIBLE FROM TRAFFIC AREAS.
34. ALL "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.
35. PROVIDE PRESSURE REGULATOR FOR WATER SERVICE WHERE STATIC PRESSURE EXCEEDS 80 PSI. (CFC 408.3)

SYMBOLS & ABBREVIATIONS

	COLUMN LINES, GRID LINES	ABV.	ABOVE
	DOOR SYMBOL	A.C.	ADJACENT CONCRETE
	WINDOW SYMBOL	ADJ.	ADJACENT
	REVISION CLOUD AROUND REVISION	A.P.L.	ASSUMED PROPERTY LINE
	MATCH LINE	B.C.R.	BEGIN CURB RETURN
	SHADED PORTION IS THE AREA CONSIDERED	B.F.	BOTTOM OF FOOTING
	WORK POINT	B.O.F.	BOTTOM OF FASCIA BOARD
	CONTROL POINT OR START POINT	BTUN	BETWEEN
	SECTION IDENTIFICATION	C.B.	CATCH BASIN
	SHEET DRAIN SECTION IS DRAIN	C.L.	CENTERLINE
	DETAIL NUMBER	C.O.	CLEANOUT
	SHEET NUMBER	CLR.	CLEAR
	KEYNOTES	C.M.U.	CONCRETE MASONRY UNIT
	CONCRETE	CONC.	CONCRETE
	MASONRY VENEER	CONT.	CONTINUOUS
	CONCRETE BLOCK	CORING YARD	CORING YARD
	GYPSUM BOARD NO DOUBLE LINES AT SMALL SCALE	DET.	DETAIL
	BATT INSULATION	D.N.	DRAIN
	PLYWOOD	DRUG.	DRUG
	PROPERTY LINE	E.	EAST
	NEW FINISH GRADE SHOWN HORIZONTALLY	E.A.	EXISTING GRADE
	EXISTING GRADE NEW OR FINISHED	E.G.	ELEVATION
	EXISTING CONTOURS	ELEC.	ELECTRICAL
	TOP OF WALL	ELEV.	ELEVATION
	TOP OF CURB	E.Q.	EQUAL
	TOP OF PAVEMENT	EXIST.	EXISTING
	SIMILAR STANDARD	EXP.	EXPANSION
	STRUCTURAL	ETC.	ETCETERA
	TOP OF PARAPET	FIN.	FINISH
	TOP OF FOOTING	F.G.	FINISH GRADE
	TOP OF FLUSH CURB FIN.	F.P.	FINISH PAVING
	TOP OF PAVING	FLR.	FLOOR
	TOP OF WALL	F.L.	FACE LAYER/ANT
	TYPICAL	F.L.	FLOOR LINE
	WEST	(F.T.C.)	FUTURE TOP OF PAVING OR CONCRETE
	WHERE OCCURS	(F.T.P.)	FUTURE TOP OF CURB
	REINFORCEMENT	FTG.	FOOTING
	RETENTION	G.	GUTTER
	SECTION	GA.	GARAGE
		GYP. BRD.	GYPSUM BOARD
		GALV.	GALVANIZED
		H/C	HANDICAP
		HT.	HEIGHT
		HP.	HIGH POINT
		JT.	JOINT
		MAX.	MAXIMUM
		MIN.	MINIMUM
		MTL.	METAL
		N.	NORTH
		N.G.	NATURAL GRADE
		N.I.C.	NOT IN CONTRACT
		O.C.	ON CENTER
		P.L.	PROPERTY LINE
		SCHDL.	SCHEDULE

RESIDENTIAL CAL GREEN MANDATORY MEASURES

JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO ENFORCING AGENCY.

A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH LOCAL ORDINANCES.

V.O.C.'S DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

ADHESIVES, SEALANTS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC LIMITS.

PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROG AND OTHER TOXIC COMPOUNDS.

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROG AND OTHER TOXIC COMPOUNDS.

DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.

50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSIONS LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.

PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

INTERIOR MOISTURE CONTROL

VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED ON SLAB ON GRADE FOUNDATIONS.

MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.

EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE INSTALLED IN EVERY BATHROOM.

WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE MINIMUM INSULATION VALUE OF R-4.2

DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:

1. ESTABLISHED HEAD LOSS AND HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.
2. SIZE DUCT SYSTEMS ACCORDING TO ACC 29-D OR EQUIVALENT.
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S OR EQUIVALENT.

HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED

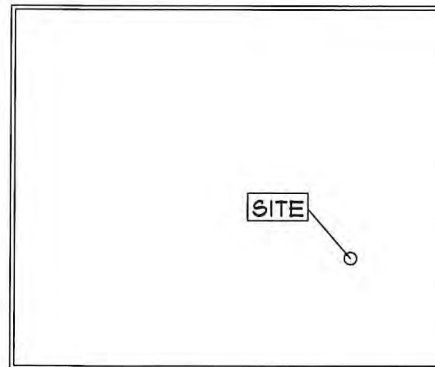
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THIRD PARTY VERIFICATION:

NEW HOMES GREATER THAN 2500 S.F. SHALL COMPLETE A THIRD PARTY VERIFICATION OF THE COMPLETION OF THE ATTACHED GREEN POINTS CHECKLIST WITH 15 POINTS - MINIMUM

VICINITY MAP



PROJECT DATA

OWNER:  
DAVE TIBBITTS  
1210 PACIFIC AVENUE  
CAYUCOS, CA 93430  
805-995-1039

LEGAL DESCRIPTION:  
LOT 13 OF BLOCK 19  
PASO ROBLES BEACH #1  
APN# 064,221,006

SQUARE FOOTAGE:  
LOWER LIVING 1510 S.F.  
UPPER LIVING 1188 S.F.  
TOTAL LIVING 2698 S.F.

GARAGE 720 S.F.

TOTAL GSA 3482 S.F.

COVERED PORCH/  
WALKWAY (100 S.F. ALLOW) 98 S.F.

PROJECT SUMMARY:  
DEMOLISH EXISTING +/- 1116 S.F.  
SINGLE FAMILY RESIDENCE WITH  
ATTACHED 786 S.F. GARAGE  
AND REPLACE WITH NEW 2698 S.F.  
RESIDENCE WITH 720 S.F. GARAGE

John MacDonald, Architect  
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AND CONDITIONS ON THE JOB AND SHALL REPORT ANY  
DISCREPANCIES TO THE ENGINEER/ARCHITECT FOR  
RESOLUTION PRIOR TO COMMENCING WORK IN QUESTION.

PROPOSED RESIDENCE FOR  
DAVID TIBBITTS  
1210 PACIFIC AVENUE  
CAYUCOS CA

DRC2007-00114  
Minor Use Permit  
064-227-006 / 1210 PACIFIC AVE  
TIBBITTS DAVID  
DEMO EXISTING +/- 1116 S.F. SFR, AND CONSTRUCTION  
NEW 2692 S.F. SFR W/782 S.F. GARAGE.

PROJECT TEAM

ARCHITECT:  
John MacDonald, Architect  
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DRAWN BY:	JHM
DATE:	6.26.14
REVISIONS	DATE
PLAN CHECK	2.11.14

SHEET  
T-1  
OF 18 SHEETS



GRADING AND EROSION CONTROL NOTES

ALL GRADING CONSTRUCTION SHALL CONFORM TO CBC-2010 GRADING-33.

DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION

NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1)

ALL DISTURBED AREA SHALL BE HYDRO-SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER COMPLETED CONSTRUCTION

MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 2% FOR FIRST TWO FEET

RESPONSIBLE PARTY FOR SEDIMENTATION AND EROSION CONTROL  
DAVE TIBBITTS - (805) 235-8100

DUST MITIGATION MEASURES:

- CONSTRUCTION VEHICLE SPEED AT WORK SITE MUST BE LIMITED TO FIFTEEN (15) MPH OR LESS.
- PRIOR TO ANY GROUND DISTURBANCE, SUFFICIENT WATER MUST BE APPLIED TO THE AREAS TO BE DISTURBED TO PREVENT VISIBLE EMISSIONS FROM CROSSING PROPERTY LINE
- AREAS TO BE GRADED OR EXCAVATED MUST BE KEPT ADEQUATELY WETTED TO PREVENT VISIBLE EMISSIONS FROM CROSSING THE PROPERTY LINE.
- STORAGE PILES MUST BE KEPT ADEQUATELY WETTED, TREATED WITH A CHEMICAL DUST SUPPRESSANT, OR COVERED WHEN MATERIAL IS NOT BEING ADDED OR REMOVED FROM PILE.
- EQUIPMENT MUST BE WASHED DOWN BEFORE MOVING FROM PROPERTY ONTO A PAVED PUBLIC ROAD, AND
- VISIBLE TRACK-OUT ON THE PAVED PUBLIC ROAD MUST BE CLEANED USING WET SWEEPING OR A HEPA FILTER EQUIPPED VACUUM DEVICE WITHIN 24 HOURS

EROSION CONTROL AND BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

PRIOR TO ANY SITE DISTURBANCE, A LICENCED SURVEYOR OR CIVIL ENGINEER SHALL STAKE THE BUILDING CORNERS, ESTABLISH AVERAGE NATURAL GRADE AND SET A BENCHMARK

PRIOR TO APPROVAL OF ROOF NAILING INSPECTION, THE APPLICANT SHALL PROVIDE THE BUILDING INSPECTOR WITH DOCUMENTATION THAT GIVES THE HEIGHT REFERENCE, THE ALLOWABLE HEIGHT AND THE ACTUAL HEIGHT OF THE STRUCTURE. THIS CERTIFICATION SHALL BE PREPARED BY A LICENCED SURVEYOR OR CIVIL ENGINEER.

FIRE SAFETY PLAN

THE APPROVED PROJECT COVERED BY THIS PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO STARTING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN AND BECOME AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS. REQUIREMENTS MAY INCLUDE, FIRE SPRINKLERS / SPECIAL SAFETY GLAZING / NON-COMBUSTIBLE EXTERIOR CONSTRUCTION AND ROOFING / SETBACKS / DRIVEWAY-ROADWAY REQUIREMENTS AND OTHER SPECIAL CONSTRUCTION

PROJECT DATA

OWNER:  
DAVE TIBBITTS  
1210 PACIFIC AVENUE  
CAYUCOS, CA 93430  
805-995-1039

LEGAL DESCRIPTION:  
LOT 13 OF BLOCK 19  
PASO ROBLES BEACH #1  
APN# 064.221.006

SQUARE FOOTAGE:  
LOWER LIVING 1510 S.F.  
UPPER LIVING 1188 S.F.  
TOTAL LIVING 2698 S.F.

GARAGE 120 S.F.

EXTERIOR STAIR 80 S.F.

TOTAL GSA 3474 S.F.

COVERED PORCH/ WALKWAY (100 S.F. ALLOW) 98 S.F.

PROJECT SUMMARY:  
DEMOLISH EXISTING +/- 1116 S.F.  
SINGLE FAMILY RESIDENCE WITH  
ATTACHED 286 S.F. GARAGE  
AND REPLACE WITH NEW 2698 S.F.  
RESIDENCE WITH 120 S.F. GARAGE

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RESIDENCE FOR  
DAVE TIBBITTS  
1210 PACIFIC AVE  
CAYUCOS, CA 93430

SITE PLAN

DRAWN BY:	JHM
DATE:	6.26.14
REVISIONS	DATE

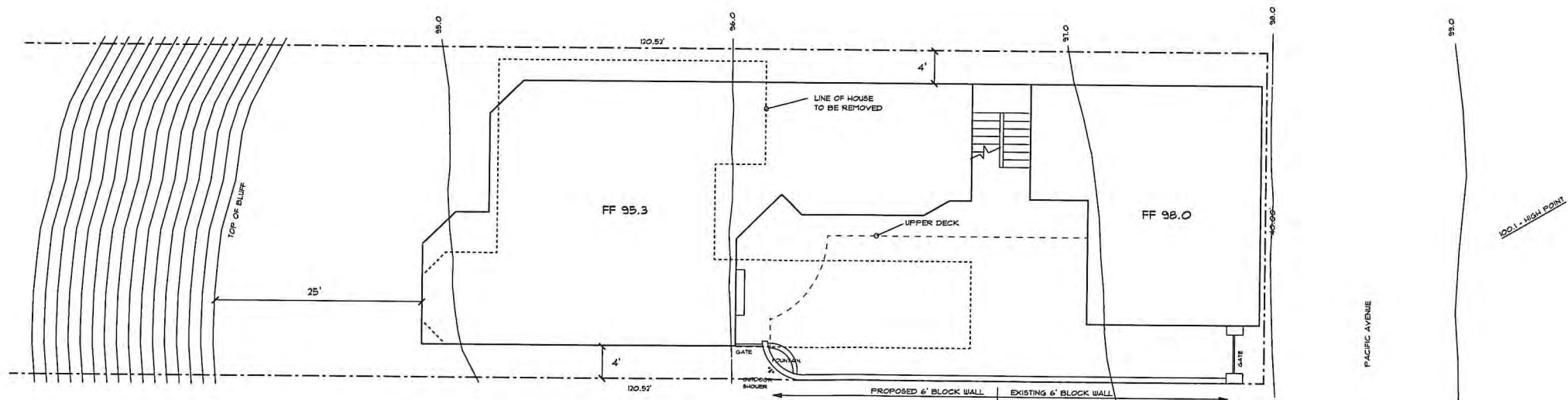
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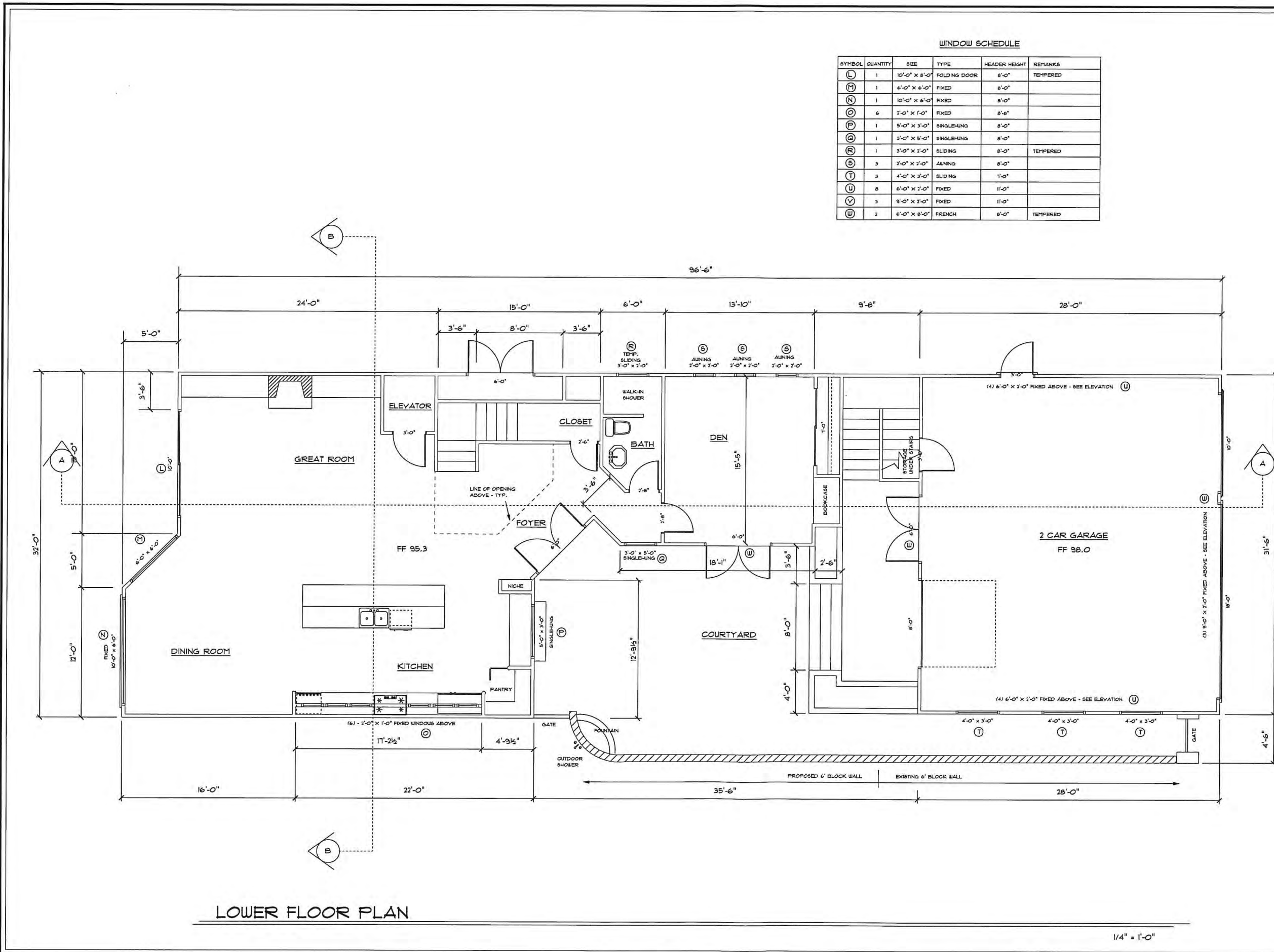


SITE PLAN

1/8" = 1'-0"







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**RESIDENCE FOR  
 DAVE TIBBITTS  
 1210 PACIFIC AVE  
 CAYUCOS, CA 93430**

**LOWER FLOOR  
 PLAN**

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**SHEET  
 A-2  
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UPPER FLOOR PLAN

DRAWN BY:	JHM
DATE:	6.26.14
REVISIONS	DATE

SHEET

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OF 18 SHEETS

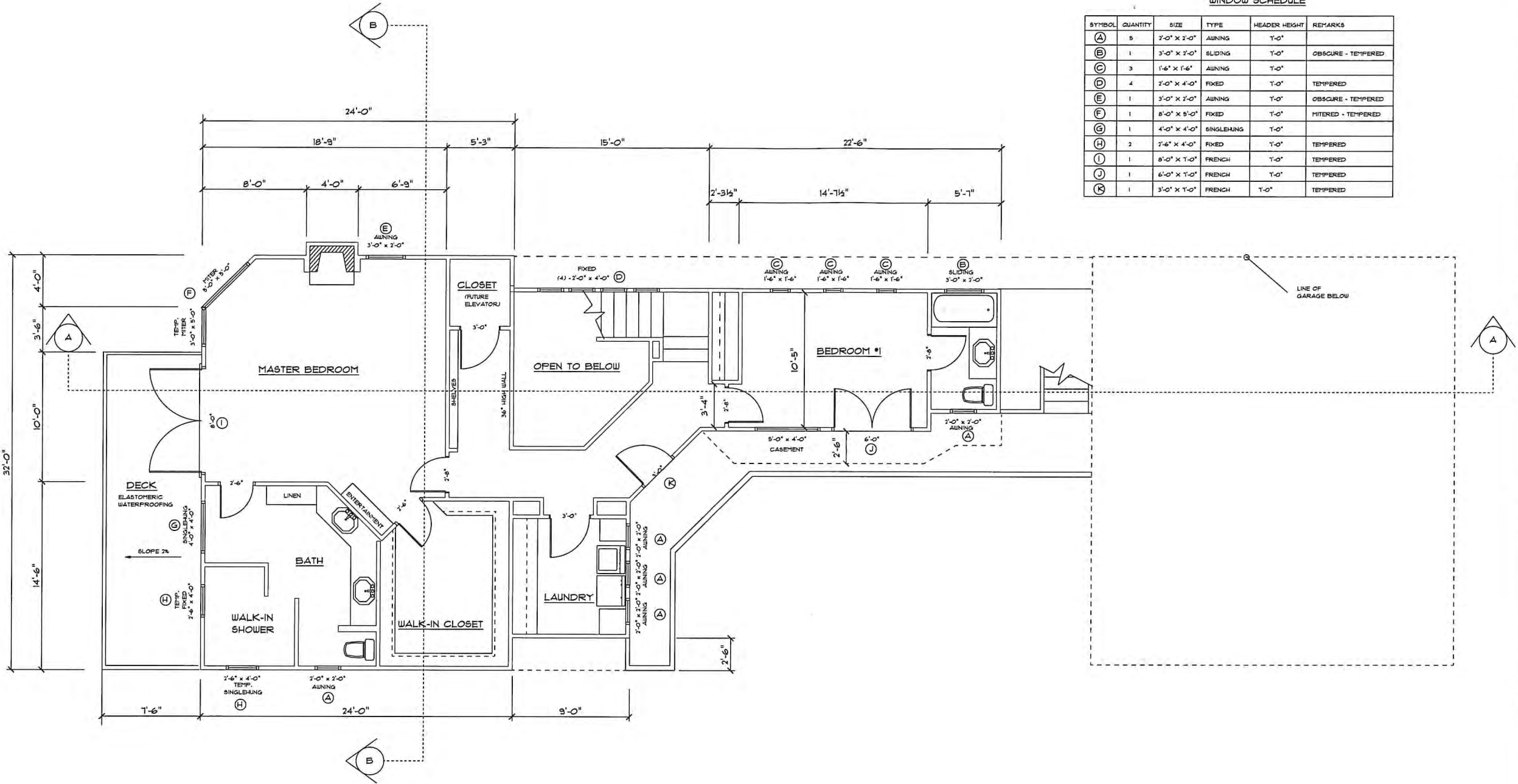
Exhibit 3

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WINDOW SCHEDULE

SYMBOL	QUANTITY	SIZE	TYPE	HEADER HEIGHT	REMARKS
(A)	5	2'-0" X 2'-0"	AWNING	1'-0"	
(B)	1	2'-0" X 2'-0"	SLIDING	1'-0"	OBSCURE - TEMPERED
(C)	3	1'-6" X 1'-6"	AWNING	1'-0"	
(D)	4	2'-0" X 4'-0"	FIXED	1'-0"	TEMPERED
(E)	1	2'-0" X 2'-0"	AWNING	1'-0"	OBSCURE - TEMPERED
(F)	1	8'-0" X 5'-0"	FIXED	1'-0"	MITERED - TEMPERED
(G)	1	4'-0" X 4'-0"	SINGLEHUNG	1'-0"	
(H)	2	2'-6" X 4'-0"	FIXED	1'-0"	TEMPERED
(I)	1	8'-0" X 1'-0"	FRENCH	1'-0"	TEMPERED
(J)	1	6'-0" X 1'-0"	FRENCH	1'-0"	TEMPERED
(K)	1	2'-0" X 1'-0"	FRENCH	1'-0"	TEMPERED



UPPER FLOOR PLAN

1/4" = 1'-0"



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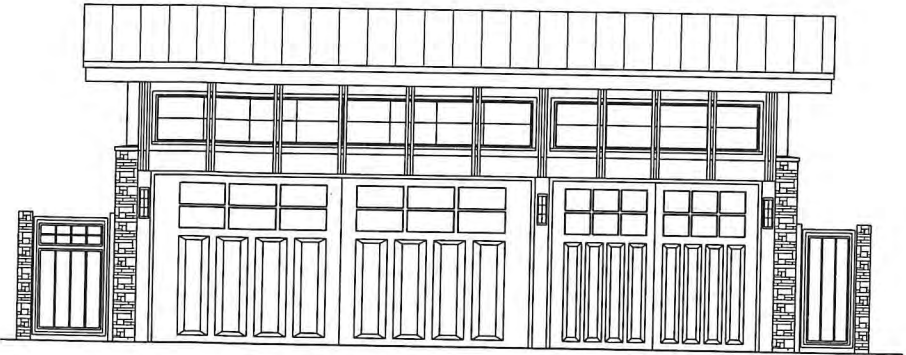
EXTERIOR  
ELEVATIONS

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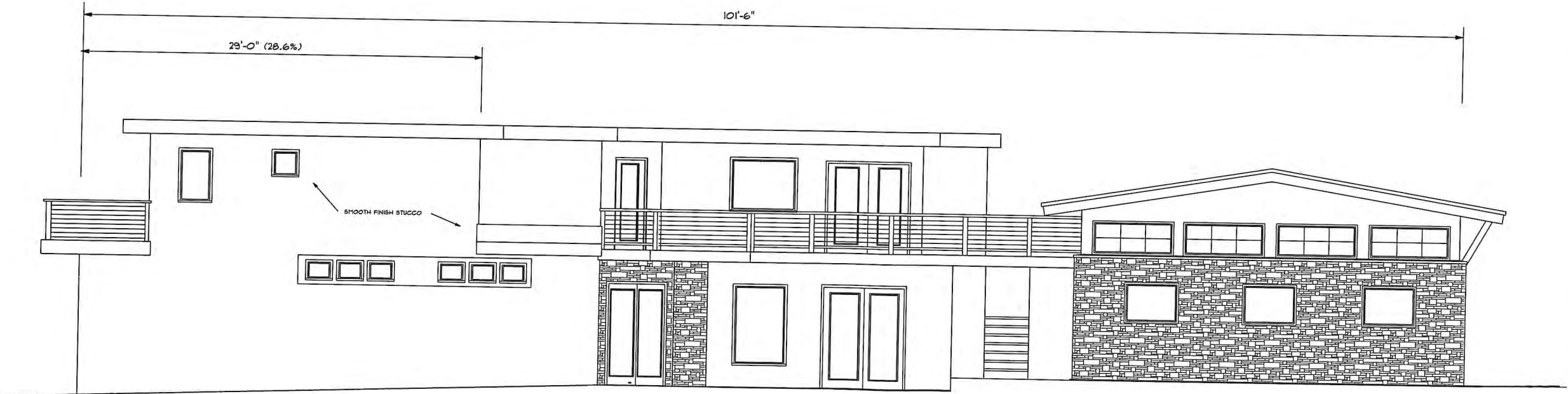
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FRONT ELEVATION

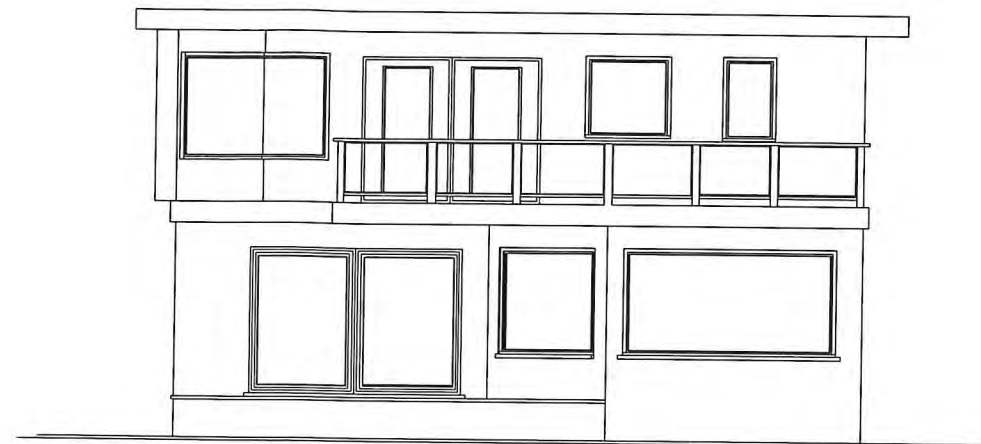
1/4" = 1-0"



LEFT ELEVATION

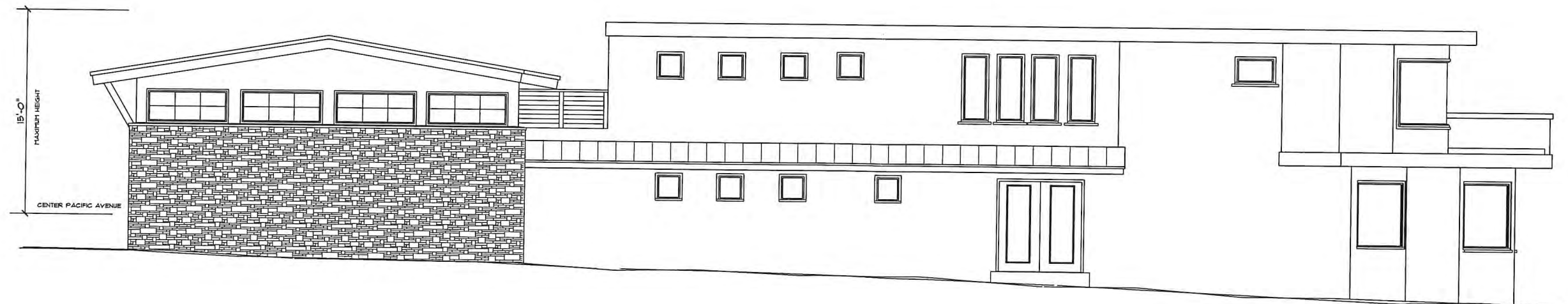
1/4" = 1-0"





REAR ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

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