

## CALIFORNIA COASTAL COMMISSION

South Coast District Office  
301 E Ocean Blvd., Suite 300  
Long Beach, CA 90802-4302  
(562) 590-5071



# Th8c

**5-22-0063 (Jowdy)**

**JUNE 9, 2022**

### EXHIBITS

#### **Table of Contents:**

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 – CoSMoS Flood Map Analyses



**Project Location**





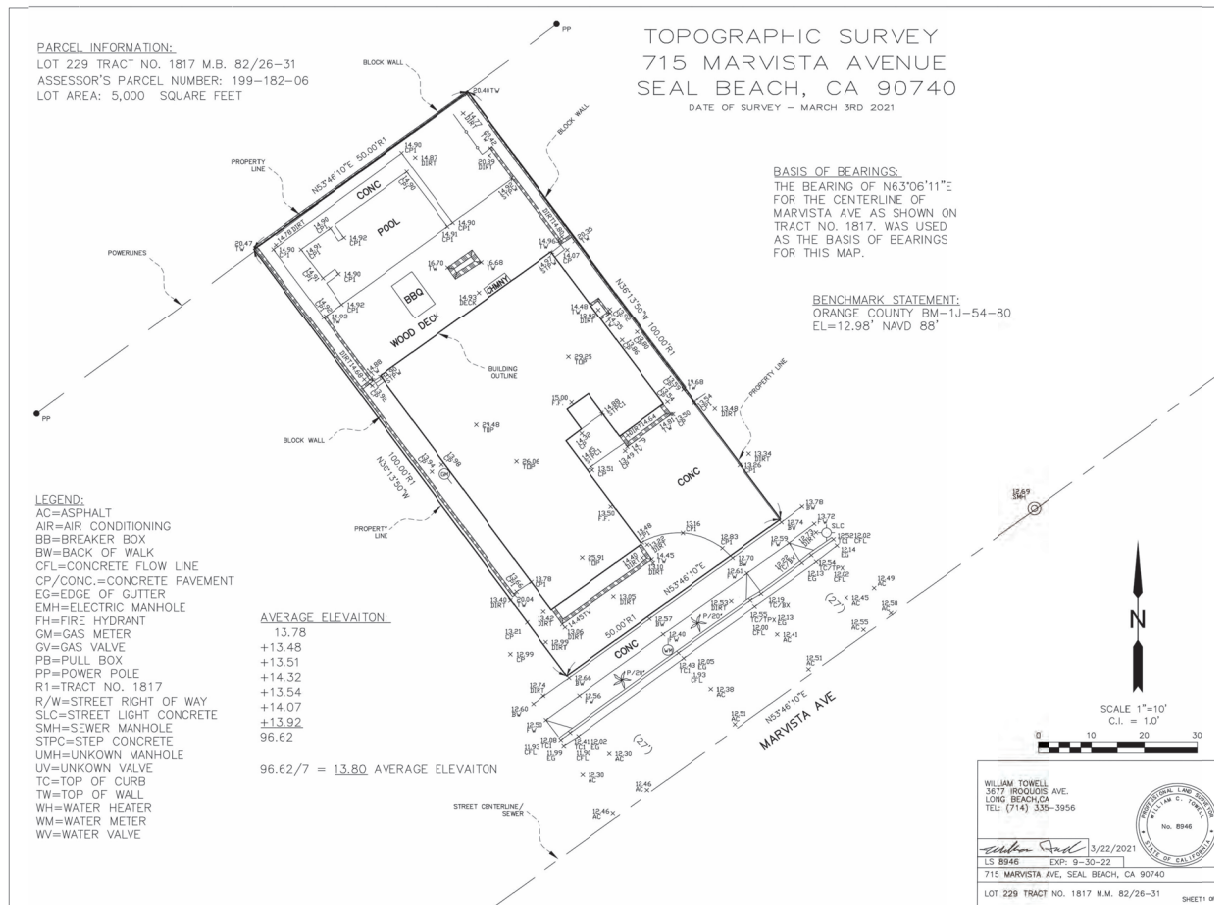
**Project Site**



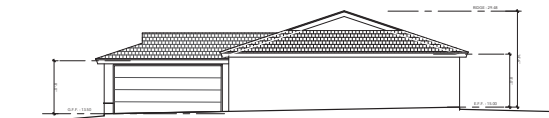




THESE AND ANY OTHER INFORMATION OF THESE PLANS, SPECIFICATIONS, AND CONDITIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND NOT TO BE USED FOR ANY OTHER PURPOSE.

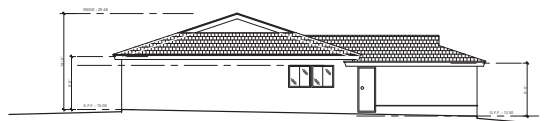


SITE CALCULATIONS	
SINGLE FAMILY RESIDENTIAL ADDITION AND REMODEL	
SITE TOTAL S.F.	5,000 SQ. FT.
EXISTING HOUSE FIRST FLOOR	1,310 SQ. FT.
EXISTING HOUSE SECOND FLOOR	N/A
EXISTING GARAGE 2-CAR ATTACHED	425 SQ. FT.
SITE TOTAL LOT COVERAGE	1,734 SQ. FT.
SITE COVERAGE	1,734 / 5,000 = 35%
SITE F.A.S. ACTUAL	1,310 / 5,000 = 0.26 F.A.R.



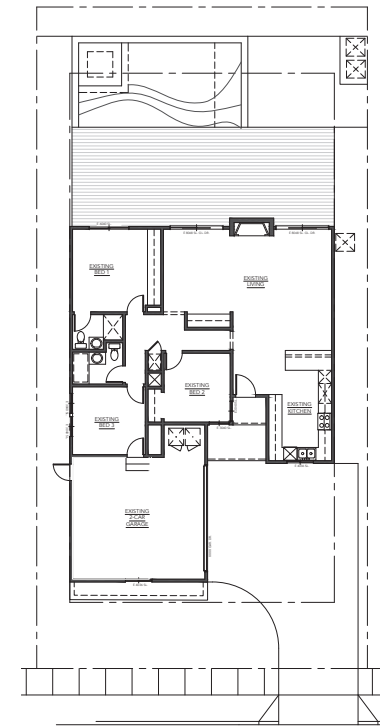
EXISTING RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



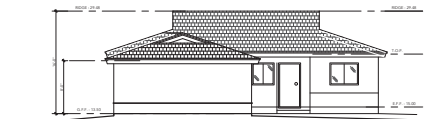
EXISTING LEFT ELEVATION

SCALE: 1/8" = 1'-0"



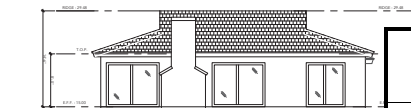
EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"



CLIENT  
**MICHAEL AND  
RACHEL JOWDY**  
715 MARVISTA  
SEAL BEACH, CALIFORNIA 90740

PROJECT  
**THE JOWDY RESIDENCE**  
715 MARVISTA  
SEAL BEACH, CALIFORNIA 90740

PROJECT 20-026  
DATE 7/26/21

REVISIONS

- ▲ FIRST PLANNING SUBMITTAL 4/16/21
- ▲ FIRST BD SUBMITTAL 7/26/21
- ▲
- ▲

**Exhibit 2**

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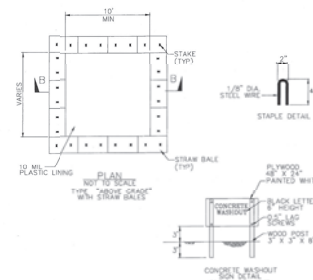
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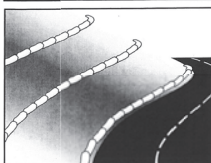
Table 3-2	Temporary Sediment Control BMPs	Applicable	N/A
BMP#	BMP Name		
SE-2	Sediment Basin		X
SE-7	Street Sweeping and Vacuuming	X	
SE-6	Gravel Bag Barricade	X	
SE-10	Storm Drain Inlet Protection		X

Table 4-2	Waste Management & Materials Pollution Control BMPs	Applicable	N/A
BMPs	BMP Name		
WM-1	Material Delivery and Storage	X	
WM-3	Stockpile Management		X
WM-8	Concrete Washout	X	
WM-9	Portable Toilets		

## Concrete Waste Management WM-8



### Gravel Bag Berm



### Description and Purpose

A gravel bag berm is a series of gravel-filled bags placed on a level contour to intercept sheet flows. Gravel bags pond sheet flow runoff, allowing sediment to settle out, and release runoff slowly as sheet flow, preventing erosion.

### Suitable Applications

Gravel bag berms may be suitable:

- As a linear sediment control measure:
  - Below the toe of slopes and erodible slopes
  - As sediment traps at culvert/pipe outlets
  - Below other small cleared areas
  - Along the perimeter of a site
  - Down slope of exposed soil areas
  - Around temporary stockpiles and spoil areas
  - Parallel to a roadway to keep sediment off paved areas
  - Along streams and channels

- As a linear erosion control measure:
  - Along the face and at grade breaks of exposed and erodible slopes to shorten slope length and spread runoff as short flow.



SE-6		
Categories		
EC	Erosion Control	<input checked="" type="checkbox"/>
SE	Sediment Control	<input checked="" type="checkbox"/>
TC	Tracking Control	
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	

Legend:

☒ Primary Category

☐ Secondary Category

## Constituents

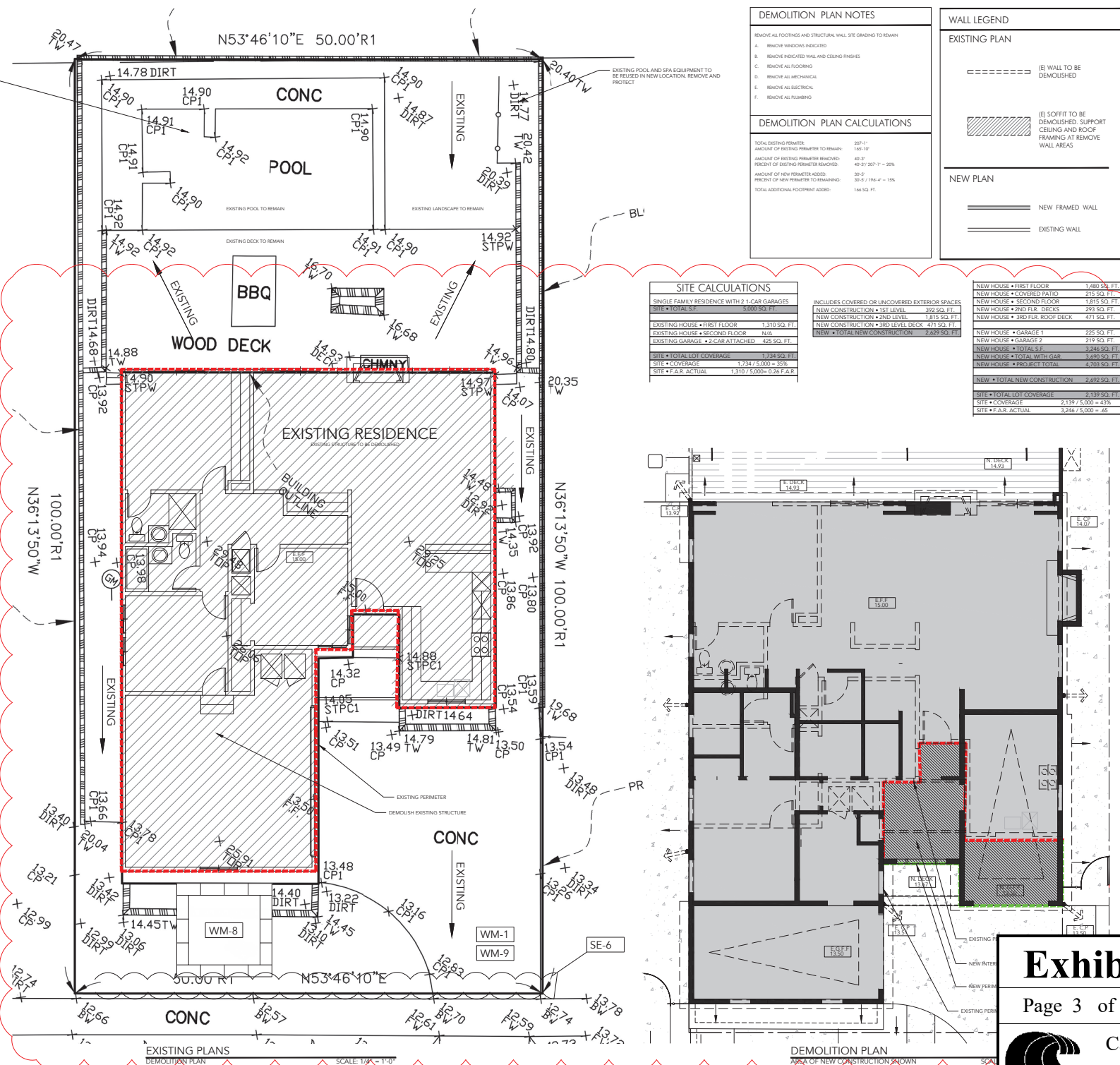
- ☒ Sediment
- ☐ Nutrients
- ☐ Trace
- ☐ Metals
- ☐ Bacteria
- ☐ Oil and Grease
- ☐ Organics

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**Potential Alternatives**

- SE-1 Silt Fence
- SE-5 Fiber Roll
- SE-8 Sandbag Barrier
- SE-12 Temporary Silt Dike

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CLIENT  
MICHAEL AND  
RACHEL JOWDY

CT  
THE JOWDY RESIDENCE

REVISIONS

△	FIRST PLANNING SUBMITTAL 4/16/21
△	FIRST BD SUBMITTAL 7/26/21
△	
△	
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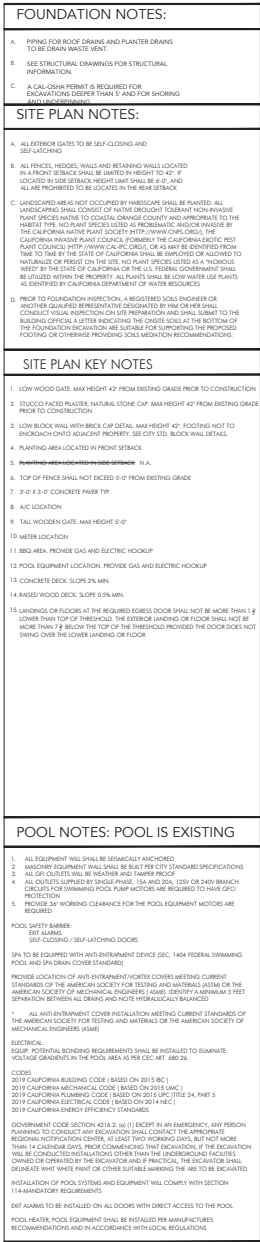
## Exhibit 2

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INSPECTION NO.	<p><u>Entry DOORS to be selected for change</u></p> <p>ALUMINUM FRAME DOOR, BLACK ANODIZED-Finish with 1" x 6" x 2" Dura Panel GLASSING</p> <p>THE INFECT TEAM LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED</p> <p>U. FACTOR = 0.3 SHGC = 0.21</p>	REMARKS
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SHGC = 0.21	<p><u>Low windows to be selected by choice</u></p> <p>ALUMINUM FRAME WINDOW, BLACK ANODIZED FINISH WITH 1/2" LOW-E GLASS GLAZING</p> <p>THE INFRAC THERM LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED</p> <p>U-FACTOR = 0.3 SHGC = 0.21</p> <p>REMARKS</p>
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BB. PROVIDE MIN. 24" IN FRONT OF WATER CLOSET AND A MINIMUM COMPARTMENT WIDTH (402.5)

CC. GLAZING WITHIN 24" OF A DOOR WHEN THE BOTTOM EDGE IS WITHIN 18" OF THE FLOOR TEMPERED.

- 
- SIGOURNEY**  
ARCHITECTURE

ECT  
THE JOWDY RESIDENCE

REVISIONS

△	FIRST PLANNING SUBMITTAL 4/16/21
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△	
△	
△	

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SCALE: 1/4" = 1'-0"

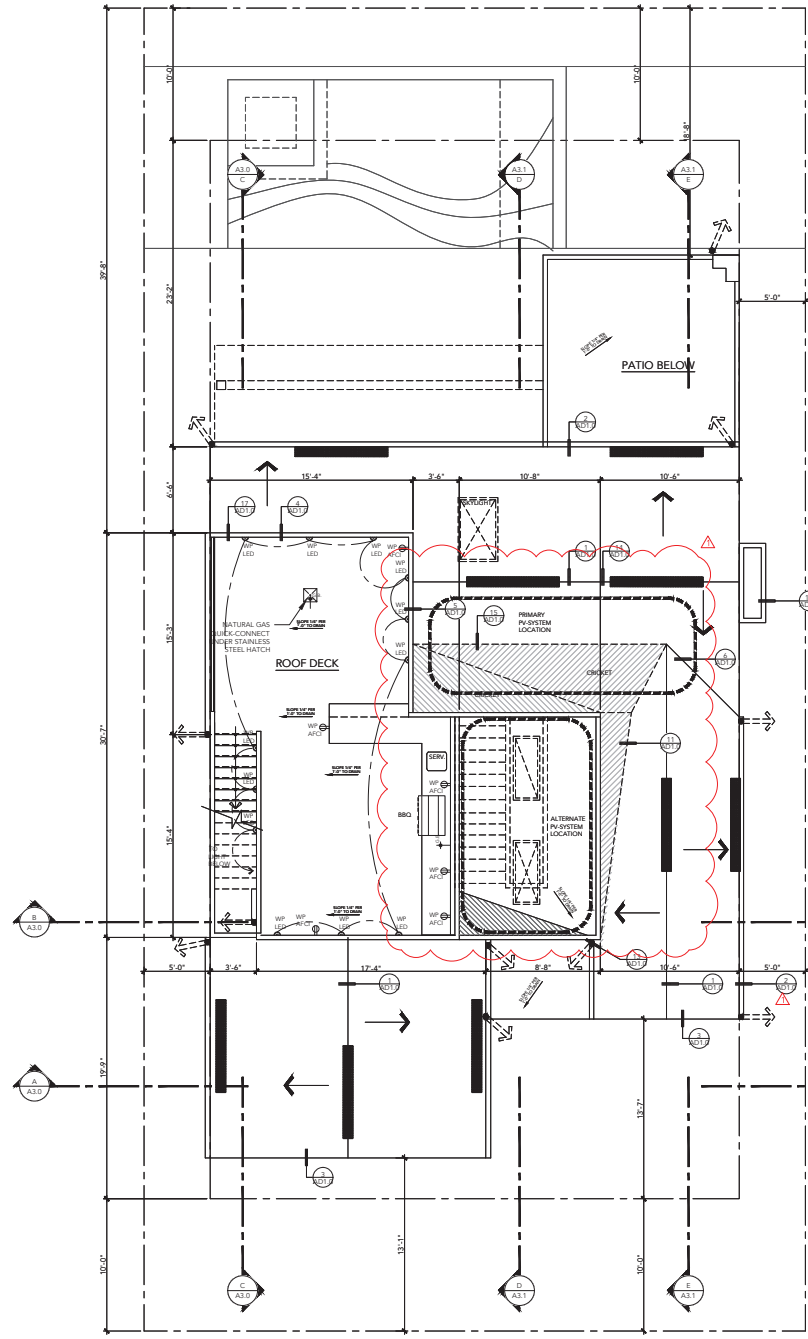
# Exhibit

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PROJECT 20-026  
DATE: 7/26/21

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THE REPRODUCTION OF THESE PLANS, SPECIFICATIONS, AND DIMENSIONS SHALL BE RESTRICTED TO THE ORIGINAL SET AND PHASE FOR WHICH THESE PLANS WERE PREPARED AND TO THE EXTENT OF ANY CHANGES TO THE ORIGINAL SET AND PHASE FOR WHICH THESE PLANS WERE PREPARED. ANY REPRODUCTION OF THESE PLANS, SPECIFICATIONS, AND DIMENSIONS FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SIGOURNEY ARCHITECTURE, LLC IS STRICTLY PROHIBITED. VISUAL CONTRACT COPIES ARE ACCEPTANCE OF THESE RESTRICTIONS.



ROOF PLAN  
PROPOSED

SCALE: 1/4" = 1'-0"

## ROOF PLAN NOTES

- A. ROOFING CONTRACTOR TO LOCATE ALL MECHANICAL FUELS (VERIFY FUEL SIZE) FOLLOWING TYPICAL MINIMUM HEIGHT PER CODE.
- B. OBTAIN FIRE SPRINKLER PRINT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
- C. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION.
- D. OVERFLOW SCUPPER SHALL BE THREE TIMES THE SIZE OF THE REQUIRED ROOF DRAIN AND HAVE A MINIMUM CORNER HEIGHT OF 4". SCUPPERS SHALL BE INSTALLED WITH THE INLET FLOW LOCATED 2' ABOVE LOW POINT OF THE ROOF SERVED.
- E. SINK OF ATTIC VENTILATION SHALL BE LOCATED AT LEAST 3'-0" ABOVE EAVE OR CORNER VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNER VENTS.
- F. NO EAVE VENTS SHALL BE LOCATED <3'-0" FROM PROPERTY LINES.
- G. EAVES <3' FROM PROPERTY LINE SHALL BE OF 1-HR FIRE RATED CONSTRUCTION.
- H. WHERE INDICATED AS STANDING SEAM METAL ROOFING ASSEMBLY TO BE STANDING SEAM METAL ROOF THIN CLAD BY PVC CLAD FITTING ALUMINUM, CORR. W/RE. APPROVED UNDERLAMENT PER CIRC SECTION 1307 3.3.16 CALIF. A. RETAIL PER W/RE. THE REPORT. CIRC SECTION 1307 3.3.16 CALIF. A. ROOFING MANUAL AND THE ROOFING INSTITUTE. COLOR DARK GRAY.
- I. VENTS OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF ATTIC SPACE. OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" AND 1/4" DIA. OPENINGS.
- J. WHERE INDICATED AS CONCRETE ROOF, ROOF MATERIAL TO BE CLASSIC CONCRETE ROOF WITH COARSE AGG. BY SCAL. COLOR ALUMINUMWOOD ICC ESR-147 AND UL-1847. 5.9 LB/SQ. FT. OR EQUAL. COLOR PER FINAL CLIENT SELECTION WITH SAMPLE. THE SHALL CONCRETE SECTION 1307 3.3.16 AND ASTM D 3462.
- K. WHERE INDICATED AS OUTDOOR DECK SURFACE, DECK WATERPROOFING SYSTEM TO BE CLASS A RESIN-BASED GRASSING BY FUSION C.C. ESR-2007 OR EQUAL. COLOR PER OWNER. SEE DETAIL SHEETS ADD-5 AND-2.

## ATTIC VENTILATION

PER CIRC 1250: THE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50 PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNER VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS.

ROOFING WHERE VENTILATORS CAN BE INSTALLED 2 FEET ABOVE EAVES SHALL BE VENTILATED ACCORDING TO THE FOLLOWING:

SQ. FT.	VENT RATIO 1/300
0-406	(1) HIGH VENT & (1) LOW VENT
407-812	(2) HIGH VENT & (2) LOW VENT
813-1218	(3) HIGH VENT & (3) LOW VENT

ROOFING AREA (SQ. IN.)	ATTIC AREA (SQ. IN.)	TOTAL VENT AREA (SQ. IN.)	50% HIGH VENT (SQ. IN.)	50% LOW VENT (SQ. IN.)
1	50,000 SQ. IN.	147 SQ. IN.	83 SQ. IN.	83 SQ. IN.
1	131,147 SQ. IN.	458 SQ. IN.	230 SQ. IN.	230 SQ. IN.

## ROOF LEGEND

OUTLET AND DOWNPOUT TO SPASH BLOCK AT GRADE OR BELOW

SCUPPER AND OVERFLOW

5/12 ROOF SLOPE UNLESS NOTED OTHERWISE. ROOFING MATERIAL IS LIGHTWEIGHT CONCRETE TILE OVER W/RE. APPROVED UNDERLAMENT PER CIRC SECTION 1307 3.3.16 CALIF. A. W/RE (2) LAYERS REQUIRED WITH 1/8" DIA. 1/2" OR LESS.

INDICATES EAVE OR RIDGE VENT LOCATIONS. SEE ABOVE FOR CALCS.

INDICATES CHIMNEY PATENTED TYPED DOWNPOUT ROOF VENT BY CONSON PRODUCTS. NEW 2 1/2" DIA. IN. PAINT TO MATCH ROOF COLOR.

## ROOF PLAN KEY NOTES

1. ROOF WALL FLASHING SHALL BE INSTALLED PER S.A.C.A. REGISTRATION DETAILS AND SPECIFICATIONS.
2. ROOFS LOWER THAN 4'10" REQUIRE 2 LAYERS OF UNDERLAMENT PER CIRC 1307 3.3.16.
3. FOR ROOF VENT PENETRATIONS SEE ROOF DETAILS SHEET AD1-0.
4. RATED EAVE, NO VENT PENETRATIONS.
5. NON-RATED EAVE, VENT PENETRATIONS ALLOWED.

6. OUTDOOR DECK SURFACE, DECK WATERPROOFING SYSTEM.
7. LIGHTWEIGHT CONCRETE ROOFING THE ROOF MATERIAL, CEILING/ROOFING BY SCAL ROOFING. CONCRETE ICC ESR-147, UL-1847. 5.9 LB/SQ. FT. OR EQUAL. COLOR PER FINAL CLIENT SELECTION. THE WEIGHT 5.9 LB/SQ. FT. SEE ROOF PLAN NOTES.

EVALUATION REPORT	Member #412
Property Name: 715 MARIQUITA	Member Name: MICHAEL AND RACHEL JOWDY
Address: 715 MARIQUITA, SEAL BEACH, CA 90740	Address: 715 MARIQUITA, SEAL BEACH, CA 90740
City: SEAL BEACH, CA	City: SEAL BEACH, CA
State: CA	State: CA
Zip: 90740	Zip: 90740
Phone: (949) 260-0606	Phone: (949) 260-0606
Fax: (949) 260-0606	Fax: (949) 260-0606
Email: info@sigourney.com	Email: info@sigourney.com
Website: www.sigourney.com	Website: www.sigourney.com
Business Type: ARCHITECTURE	Business Type: ARCHITECTURE
Years in Business: 10	Years in Business: 10
Number of Employees: 10	Number of Employees: 10
Number of Projects Completed: 10	Number of Projects Completed: 10
Number of Clients Served: 10	Number of Clients Served: 10
Number of Referrals: 10	Number of Referrals: 10
Number of Reviews: 10	Number of Reviews: 10
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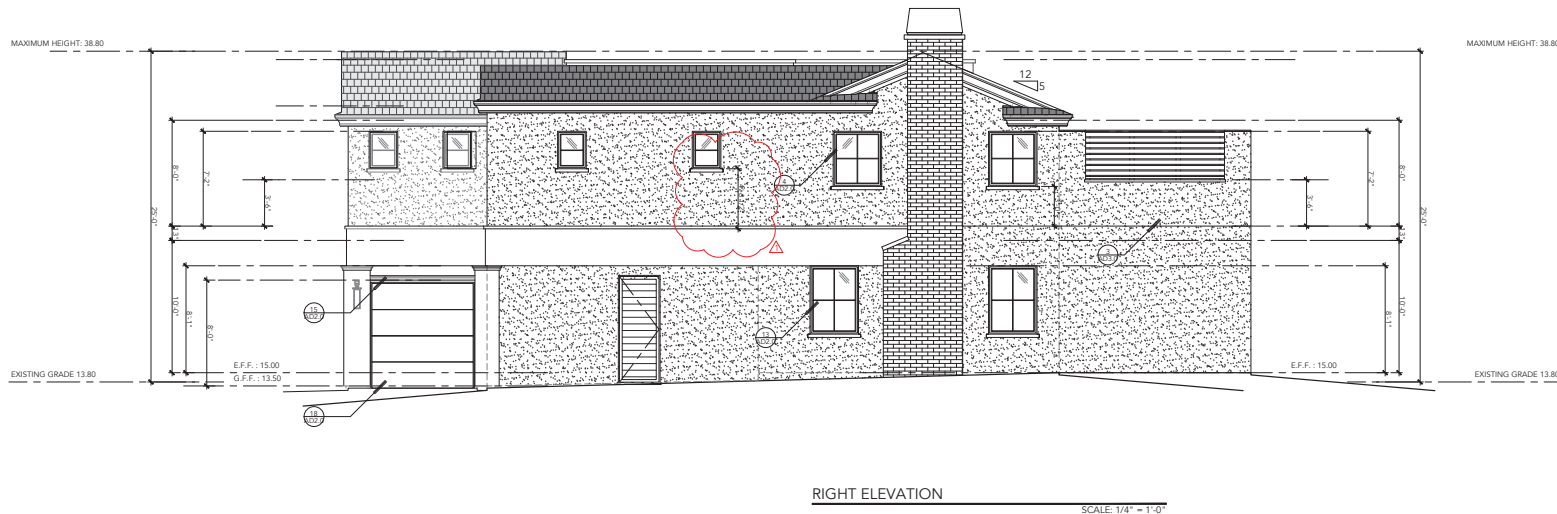
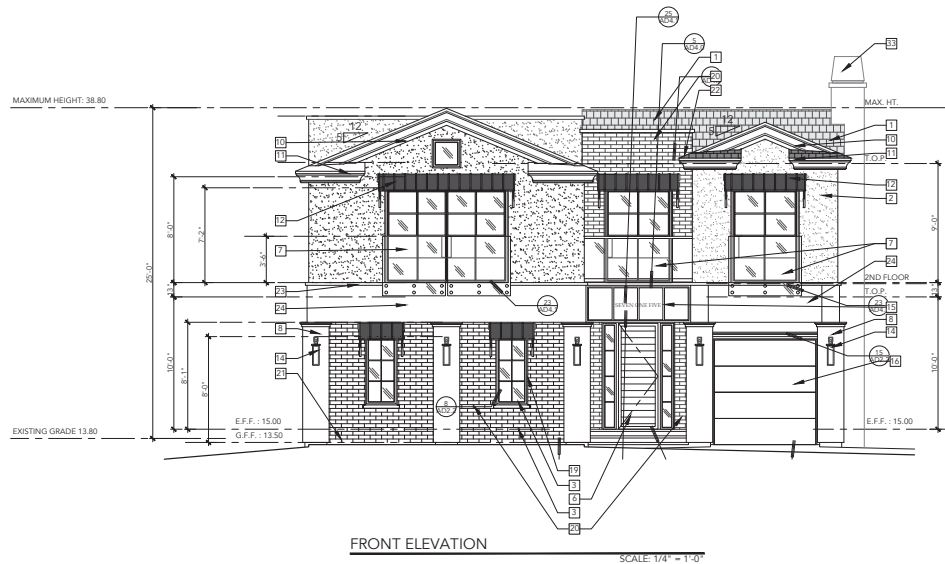
# Exhib

## Exhibit 2

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ELEVATION NOTES	
1	NO DUCT PENETRATION IS PERMITTED ON EXTERIOR WALLS UNLESS PERMITTED BY PLANNING DIVISION. IF DUCT PENETRATION OCCURS IT MUST OCCUR MINIMUM 3'-0\"/>
2	ALL DIMENSIONS SHOWN ARE FROM TOP OF FINISH FLOOR SLAB OR TOP OF WOOD FLOOR SHEATHING AT INTERIOR OF UNIT.
3	FINISH METAL REVEALS TO MATCH COLOR OF ADJACENT WALLS.
4	ALL EXTERIOR OPENINGS AND HORIZONTAL WALL SURFACES 3' OR MORE IN DEPTH WILL RECEIVE SELF-ADHERING FLASHING.
5	HIGH-DENSITY FOAM PROJECTIONS MAY BE USED UP TO 8\"/>
6	PROVIDE (2) LAYERS OF GABRIEL OF BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING 3-COAT EXTERIOR CEMENT PLASTER WALL SYSTEM.
7	ALL BUILDING RAIN GUTTER DOWNSPOUTS TO DISCHARGE.
8	SEE DETAILS FOR STANDARD WINDOW FLASHING DETAIL. INSTALL FLASHING PER ARMA AND SMOCHIA RECOMMENDATIONS, DETAILS, DRCS AND FLASHING MANUF. (FORTIFIBER OR TIL LABORATORIES) RECOMMENDATIONS.
ELEVATION NOTES	
1	ROOF: SLOPING ROOF. SEE ROOF PLAN FOR PITCH, LIGHTWEIGHT CONCRETE ROOF - CEDAR SHAKE LOOK. SEE ROOF PLAN FOR ADDITIONAL NOTES.
2	3-COAT EXTERIOR PLASTER SYSTEM. MINIMUM 7/8\"/>
3	INDEPENDENT LAYERS OF BUILDING PAPER OVER WOOD FLOOR SHEATHING RECEIVING EXTERIOR PLASTER PER CBC 2510.6. PROVIDE ACRYLIC ADDITIVE TO BROWN COAT AND 1-LAYER FIBERGLASS MESH OVER BROWN COAT FOR CRACK CONTROL PER MANUFACTURER RECOMMENDATIONS. PROVIDE SMOOTH COAT FINISH. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT.
4	STONE OR PRECAST CONCRETE WINDOW SILL, JAMB AND/OR HEAD TRIM PER OWNER.
5	STONE OR PRECAST DOOR JAMB AND HEAD TRIM W/PER OWNER.
6	DECORATIVE WOOD CORBEL, SMOOTH, PAINTED.
7	ENTRY DOOR AS SELECTED BY CLIENT. PROVIDE WEATHER STRIP ALL AROUND.
8	42\"/>
9	BUILT-UP COLUMN WITH TOP CAP DETAIL.
10	DOWNSPOUTS - ALUMINUM. 3\"/>
11	CUSTOM PROFILE AT KANE - CONFIRM FINAL DESIGN WITH OWNER.
12	ROOF EAVE RETURN - CONFIRM FINAL DESIGN WITH OWNER.
13	PREFABRICATED METAL WINING WITH STANDING SEAM METAL ROOF BY B&C AWININGS, INC., ANAHEIM, CA. ATTACH TO FACE OF STUCCO PER AFR. RECOMMENDATIONS.
14	GARAGE DOOR JAMB AND PRECAST OR STONE HEAD TRIM.
15	BUILDING LIGHTS.
16	PROVIDE HOUSE STREET ADDRESS NUMBER VISIBLE AND USABLE ILLUMINATED FROM STREET.
17	GARAGE DOOR AS SELECTED BY CLIENT. PROVIDE WEATHER STRIP ALL AROUND.
18	EXTERIOR CEMENT PLASTER FINISH/CRACK CONTROL JOINTS INSTALLED PER 2013 CBC SECTION 2510.6 AND ASTM E-2266-11. LOCATE AT ALL FLR LINES AND SEE ELEV. FOR VERT. LOCATIONS.
19	FIBER CEMENT ACCENT SILLING, 6\"/>
20	ADHERED BRICK VENEER AT RECESSED WINDOW.
21	ADHERED BRICK EXTERIOR MATERIAL - GHOSTED CRAFT CANNERY BRICK BY CREATIVE BRICKS. ADHERED TWIN BRICK WITH NATURAL, VENEERED WHITEWASH FINISH OR SIMILAR. INSTALL PER MANUFACTURER RECOMMENDATIONS. 1/8\"/>
22	COMBUSTION RESISTANT KEEPER CURED.
23	COMBUSTION RESISTANT ROOF TO WALL FLASHING TYPICAL AT ALL ROOF/WALLS.
24	FIBER CEMENT PANEL EDGE TRIM AT STUCCO WALL.
25	FIBER CEMENT PANEL EDGE TRIM AT DECK.
26	FIBER CEMENT PANEL TRIM AT GABLE END MATERIAL TRANSITION BRICK AND STUCCO.
27	FIBER CEMENT PANEL TRIM AT MATERIAL TRANSITION.
28	ADHERED BRICK VENEER WINDOW/DOOR TRIM.
29	WOOD TRELLIS.
30	SLIDING DOOR.
31	PASTHROUGH WINDOW.
32	WOOD SLAT SCREEN, SANDED PAINTED.
33	EXTERIOR STAIRS TO ROOF DECK.
34	DECORATIVE CHIMNEY CAP.
35	EXTERIOR SHOWER.
36	EXTERIOR COUNTERTOP WITH DECORATIVE TILE DETAIL BELOW.

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PROJECT  
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71948 RACHEL  
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PROJECT 20-008  
DATE: 7/26/21

REVISIONS  
1. FIRST PLANNING SUBMITTAL 4/16/21  
2. FIRST BD SUBMITTAL 7/26/21

**Exhibit 2**

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ELEVATION NOTES	
1	NO SUCK PENETRATION IS PERMITTED ON EXTERIOR WALLS UNLESS PERMITTED BY PLANNING DIVISION. IF SUCK PENETRATION OCCURS IT MUST CLEAR MINIMUM 3'-0" FROM WINDOW OR DOOR OPENING (REG. DRILLING UNIT PER C.A.T.)
2	ALL DIMENSIONS SHOWN ARE FROM TOP OF FINISH FLOOR SLAB OR TOP OF WOOD FLOOR SHEATHING AT INTERIOR OF UNIT.
3	PAINT METAL DETAILS TO MATCH COLOR OF ADJACENT WALLS.
4	ALL EXTERIOR OPENINGS AND HORIZONTAL WALL SURFACES 3' OR MORE IN DEPTH WILL RECEIVE SELF-ADHERENT FLASHING.
5	HIGH-DENSITY FOAM PROJECTIONS MAY BE USED UP TO 8" THICK. 2X WOOD FRAMING IS REQUIRED AT ALL OTHER CONDITIONS.
6	PROVIDE (2) LAYERS OF GRADE 4" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING 3-COAT EXTERIOR CEMENT PLASTER WALL SYSTEM.
7	ALL BUILDING RAIN GUTTER DOWNSPUTS TO DISCHARGE.
8	SEE DETAILS FOR STANDARD WINDOW FLASHING DETAILS. INSTALL FLASHING PER ANNA AND SAMCHA RECOMMENDATIONS, DETAILS, SPECS AND FLASHING MANUF. (PORTAFIBER OR US LASCORTONES) RECOMMENDATIONS.

ELEVATION NOTES	
1	ROOF: SLOPING ROOF. SEE ROOF PLAN FOR PITCH. LIGHTWEIGHT CONCRETE ROOF - CEDAR SHAKE LOOK. SEE ROOF PLAN FOR ADDITIONAL NOTES.
2	3-COAT EXTERIOR PLASTER SYSTEM. MINIMUM 7/8" THICK OVER GRADE 4" BUILDING PAPER. PROVIDE (2) INDEPENDENT LAYERS OF BUILDING PAPER OVER RYWOOD SHEATHING RECEIVING EXTERIOR PLASTER PER CBC 2510.2. PROVIDE ACRYLIC ADDITIVE TO BROWN COAT AND 1-LAYER FIBERGLASS MESH OVER BROWN COAT FOR CRACK CONTROL PER MANUFACTURER RECOMMENDATIONS. PROVIDE SMOOTH COAT FINISH. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT.
3	STONE OR PRECAST CONCRETE WINDOW SILL, JAMB AND/OR HEAD TRIM PER OWNER.
4	STONE OR PRECAST DOOR JAMB AND HEAD TRIM W/PER OWNER.
5	DECORATIVE WOOD CORBEL, SMOOTH, PAINTED.
6	ENTRY DOOR AS SELECTED BY CLIENT. PROVIDE WEATHER STRIP ALL AROUND.
7	4" HIGH GLASS GUARDRAIL WITH METAL STANDOFFS OR ELEVATED SHOE BASE ATTACHMENT.
8	BUILT UP COLUMN WITH TOP CAP DETAIL.
9	DOWNSPOUTS - ALUMINUM. 3" DIAMETER TO OUTLET. SEE ROOF PLANS. CONNECT TO STORM DRAIN PER CIVIL PLANS OR PROVIDE DRAIN BLOCKS.
10	CUSTOM PROFILE AT BASE - CONFIRM FINAL DESIGN WITH OWNER.
11	ROOF EAVE RETURN - CONFIRM FINAL DESIGN WITH OWNER.
12	PREFABRICATED METAL AWNING WITH STANDING SEAM METAL ROOF BY B&C AWNINGS, INC., ANAHEIM, CA. ATTACH TO FACE OF STUCCO PER MFR. RECOMMENDATIONS.
13	GARAGE DOOR JAMB AND PRECAST OR STONE HEAD TRIM.
14	BUILDING LIGHTS.
15	PROVIDE HOUSE STREET ADDRESS NUMBER VISIBLE AND USABLE ILLUMINATED FROM STREET.
16	GARAGE DOOR AS SELECTED BY CLIENT. PROVIDE WEATHER STRIP ALL AROUND.
17	EXTERIOR CEMENT PLASTER INFILTRATION CONTROL JOINTS INSTALLED PER 2013 CBC SECTION 25.10 AND ASTM E-2286-11. LOCATE AT ALL FILL LINES AND SEE ELEV. FOR VERT. LOCATIONS.
18	FIBER CEMENT ACENT SIDING, 8" HORIZONTAL WITH FIBER CEMENT WINDOW/DOOR TRIM.
19	ADHERED BRICK VENER AT RECESSED WINDOW.
20	ADHERED BRICK EXTERIOR MATERIAL - GROUTED CRAFT CANNERY BRICK BY CREATIVE BRICKS. ADHERED TYPIC BRICK WITH NATURAL WEATHERED BROWNISH FINISH OR SIMILAR. INSTALL PER MANUFACTURER RECOMMENDATIONS. USE ADHESIVE CRETECH JAMES ADHERED MASONRY VENER. INSULATION OVER WOOD STUDS.
21	COMBUSTION RESISTANT WEED SCREEN.
22	COMBUSTION RESISTANT ROOF TO WALL FLASHING TYPICAL AT ALL ROOF WALLS.
23	FIBER CEMENT PANEL EDGE TRIM AT STUCCO WALL.
24	FIBER CEMENT PANEL TRIM AT DECK.
25	FIBER CEMENT PANEL TRIM AT GABLE END MATERIAL TRANSITION BRICK AND STUCCO.
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28	WOOD TRELLIS.
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33	DECORATIVE CHIMNEY CAP.
34	EXTERIOR SHOWER.
35	EXTERIOR COUNTERTOP WITH DECORATIVE TILE DETAIL BELOW.



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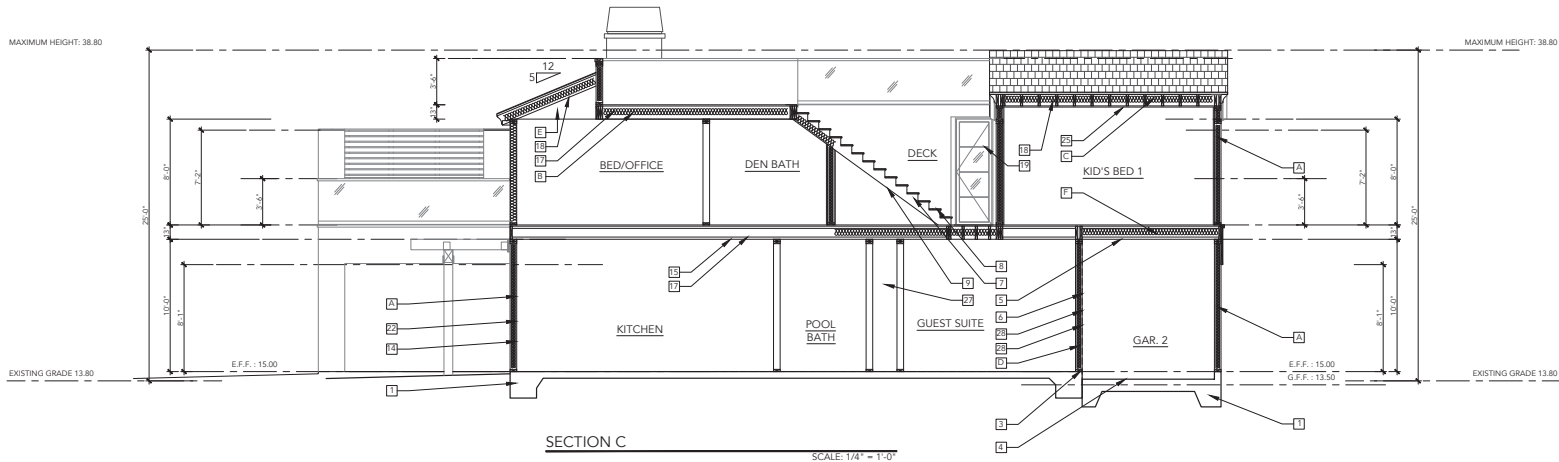
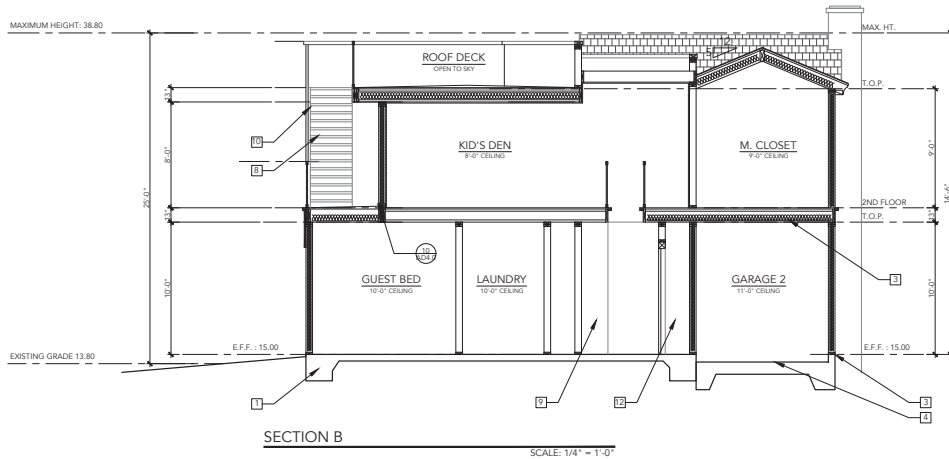
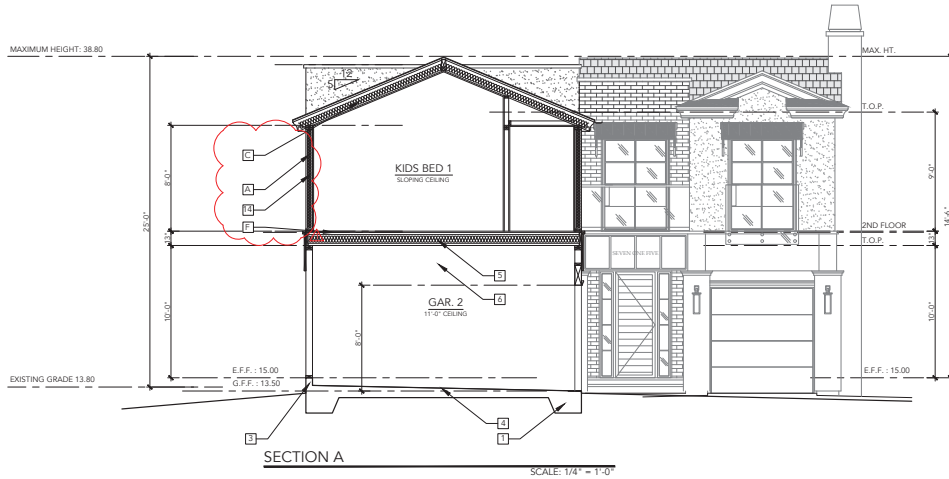
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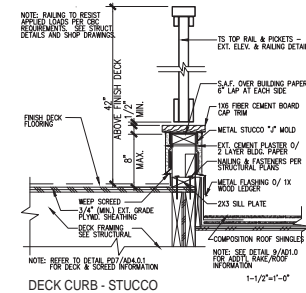


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STAIR NOTES	SECTION NOTES
<p>1. RISERS</p> <p>A. RISER HEIGHTS SHALL BE EQUAL WITHIN A FLIGHT OF STAIRS.</p> <p>B. TYPICAL RISER HEIGHTS:</p> <p>C. MINIMUM RISER HEIGHT: 4 INCHES</p> <p>D. MAXIMUM RISER HEIGHT: 7.75 INCHES</p> <p>E. THE GREATEST RISER HEIGHT WITHIN A FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".</p> <p>2. TREADS</p> <p>A. TREAD RUNS SHALL BE EQUAL WITHIN A FLIGHT OF STAIRS.</p> <p>B. TYPICAL TREAD RUN PER STAIR PLAN &amp; SECTION.</p> <p>C. THE GREATEST TREAD RUN WITHIN A FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".</p> <p>D. ALL TREAD SURFACES SHALL BE SLIP RESISTANT.</p> <p>E. THE TREADS SHALL BE 1/2" DEEPER THAN 1/2" INCHES PAST THE FACE OF THE RISER BELOW.</p> <p>F. TREADS SHALL HAVE SMOOTH ROUNDED OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING LOWER FRONT EDGE.</p> <p>G. MINIMUM TREAD WIDTH TO BE 10 INCHES.</p> <p>3. HANDRAILS</p> <p>A. STAIRS SHALL HAVE HANDRAILS ON ONE SIDE.</p> <p>B. THE TOP OF THE HANDRAIL SHALL NOT BE LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF TREADS OR LANDINGS.</p> <p>C. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.</p> <p>D. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN SWIVEL JOINTS OR SAFETY TERMINALS.</p> <p>E. HANDRAIL PROJECTING FROM THE WALL SHALL HAVE A SPACE OF 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.</p> <p>F. THE HANDRAIL PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" HIGH MORE THAN 3/4" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDRAIL PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE EDGES.</p> <p>G. OPEN HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF THE GUARDRAIL AT THE OPEN SIDE OF STAIRS SHALL BE SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.</p> <p>4. GUARDRAILS</p> <p>A. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42"</p> <p>B. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.</p> <p>5. EVERY STAIRWAY SHALL HAVE A MINIMUM CLEARANCE OF 6'6" LESS THAN 8'6". SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSING TO THE SOFFIT ABOVE AT ALL POINTS.</p> <p>6. UNDER STAIR USABLE AREA</p> <p>A. WHERE USABLE SPACE OCCURS UNDER STAIRWAYS IN GROUPED RESIDENCES, USE MIN 1/4" INCH GYP. BOARD MATERIAL ON THE ENCLOSED SEE PER CIRC. 1010.3</p>	<p>A. THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STORIES AND AT "PLAN OPTION" CONDITIONS. REFER TO FLOOR PLAN ADDENDUM DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN.</p> <p>B. THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIP BETWEEN STRUCTURAL ELEMENTS, INTERIOR VOLUME CONFIGURATIONS, AND BUILDING PROFILES. REFER TO THE STRUCTURAL DRAWINGS AND TRADE MANUFACTURERS DRAWINGS AND CALCULATIONS FOR ALL FRAMING, FOUNDATION AND TRUSS INFORMATION.</p> <p>C. F.F. / F.G. / G.F. ELEVATIONS ARE FROM THE CIVIL PRECISE GRADING PLAN. VERIFY ELEVATIONS WITH CIVIL PLANS.</p> <p>D. GRADEAD IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 4 INCHES WITH THE FIRST 10 FEET ON SLOPE. CIRC. SECTION 1010.3</p> <p>E. "WINDY BARRIER" IS REQUIRED AND TO ALSO BE INSTALLED ON ALL VERTICAL SURFACES AND GABLE END WALLS IN THE ATTIC. 2014 RESIDENTIAL COMPLIANCE MANUAL SECTION 15.2.8</p> <p>F. FIREBLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH SECTION CIRC. 718.1. FIREBLOCKING SHALL COMPLY WITH SECTION 718.3 AND 718.4.</p>
STAIR SECTION KEY NOTES	SECTION KEY NOTES
<p>1. 5/8" PLYWOOD RISER</p> <p>2. 1-1/8" PLYWOOD TREAD</p> <p>3. FLOOR FRAMING - SEE STRUCTURAL DRAWINGS</p> <p>4. ROOF TRUSSES/FRAMING - SEE STRUCTURAL DRAWINGS</p> <p>5. 2X14 STRINGERS AT EACH END AND MID SPAN (1/4" CHD C. WARE)</p> <p>6. WALL MOUNTED DECORATIVE WOOD HANDRAIL 34" 38" ABOVE STAIR NOSING PER C.E.C. SECTION 1012</p> <p>7. SOLID GUARDRAIL WITH WOOD CAP 42" MIN. ABOVE FINISH FLOOR PER C.E.C. SECTION 1013. DECORATIVE WOOD GUARDRAIL AND WOOD NEWEL POST OPTIONAL</p> <p>8. WALL FRAMING - SEE STRUCTURAL DRAWINGS</p> <p>9. CONCRETE STEM WALL - SEE STRUCTURAL AND CIVIL DRAWINGS</p> <p>10. DOOR BEYOND</p> <p>11. WOOD HANDRAIL, POCKETS &amp; SOLID KIDS. POCKETS/SPACES SO THAT A 4" SPHERE SHALL NOT PASS THROUGH PER C.E.C. SECTION 1012</p> <p>12. UNDER STAIR PROTECTION. PROVIDE 4" GYPSUM BOARD ON ALL SURFACES OF ENCLOSED ACCESSIBLE SPACE UNDER STAIRS PER BIDD. 3</p> <p>13. INSULATION - SEE ENERGY COMPLIANCE FORMS FOR INSULATION AND ENERGY COMPLIANCE.</p>	<p>1. CONCRETE SLAB ON GRADE - SEE STRUCTURAL AND CIVIL DRAWINGS</p> <p>2. CONCRETE STEM WALL - SEE STRUCTURAL AND CIVIL DRAWINGS</p> <p>3. WOOD STUD WALL ON - CONCRETE CURB - SEE STRUCTURAL AND CIVIL DRAWINGS</p> <p>4. GARAGE/CARPORT SLAB AND SLOPE - REFER TO STRUCTURAL DRAWINGS</p> <p>5. HORIZONTAL SEPARATION OF GARAGE AND HABITABLE SPACE ABOVE SHALL BE 5/8" TYPE 'X' GYPSUM BOARD ON GARAGE SIDE (FACE BIDD. 2)</p> <p>6. VERTICAL SEPARATION OF GARAGE FROM RESIDENCE AND ATTIC SHALL BE 5/8" TYPE 'X' GYPSUM BOARD ON GARAGE SIDE (FACE BIDD. 2)</p> <p>7. STAIR STRINGER - REFER TO STRUCTURAL DRAWINGS</p> <p>8. PLYWOOD TREADS AND RISERS (5/8" PLYWOOD RISERS &amp; 1-1/8" PLYWOOD TREADS) SEE STAIR DETAILS</p> <p>9. UNDER STAIR PROTECTION - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALL, UNDER STAIR SURFACE AND ANY SCOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD (BIDD. 3)</p> <p>10. METAL HANDRAIL 34"-38" ABOVE STAIR NOSING PER CIRC. SECTION 1012. SEE STAIR DETAILS AT A3.01A.1</p> <p>11. METAL GUARDRAIL - 42" MIN. HIGH ABOVE UNIT FLOOR SHEATHING. SEE GUARDRAIL DETAILS A3.01A.1</p> <p>12. WINE STORAGE PER OWNER</p> <p>13. CABINETS - SHEET PLY CABINET DESIGN WITH OWNER. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW</p> <p>14. INSULATION - SEE ENERGY COMPLIANCE FORMS FOR INSULATION AND ENERGY COMPLIANCE ON T24 SHEETS</p> <p>15. 1/2" GYPSUM BOARD AT CEILING</p> <p>16. ENHANCED MATERIAL AT CEILING - PAINTED TAG PER OWNER</p> <p>17. FLOOR FRAMING - SEE STRUCTURAL DRAWINGS</p> <p>18. ROOF FRAMING - SEE STRUCTURAL DRAWINGS</p> <p>19. DOOR BEYOND</p> <p>20. WINDOW BEYOND</p> <p>21. STEPS AT GARAGE</p> <p>22. WALL FRAMING - SEE STRUCTURAL DRAWINGS</p> <p>23. GAS FIREPLACE. SEE FLOOR PLANS FOR SPECIFICATIONS.</p> <p>24. ENHANCED WALL MATERIAL VERTICAL OR HORIZONTAL TAG PER OWNER</p> <p>25. ENHANCED CEILING MATERIAL - DECORATIVE OR WRAPPED STRUCTURAL BEAMS AT REGULAR INTERVALS PER OWNER / STRUCT. PLANS</p> <p>26. BRICK VENER HANDSCOT BY MANTEL PER OWNER. DISTRESSED BARNWOOD BEAM SHOWN</p> <p>27. CLOSET DOUBLE POLE AND SHELF</p> <p>28. SOUND DAMPENING INSULATION</p> <p>29. INTERIOR LIGHT LOCATION - LIGHT SPECIFICATIONS PER OWNER</p> <p>30. KITCHEN APPLIANCE GARAGE. VERIFY FINAL CABINET DESIGN WITH OWNER. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW</p>



**SIGOURNEY**  
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562 204 6206



CLIENT  
**MICHAEL AND  
RACHEL JOWDY**  
719 MARINISTA  
SEAL BEACH, CALIFORNIA 90740

PROJECT  
**THE JOWDY RESIDENCE**  
719 MARINISTA  
SEAL BEACH, CALIFORNIA 90740  
PROJECT 20-008  
DATE: 7/26/21

REVISIONS  
▲ FIRST PLANNING SUBMITTAL 4/16/21  
▲ FIRST BD SUBMITTAL 7/26/21  
▲

**Exhibit 2**

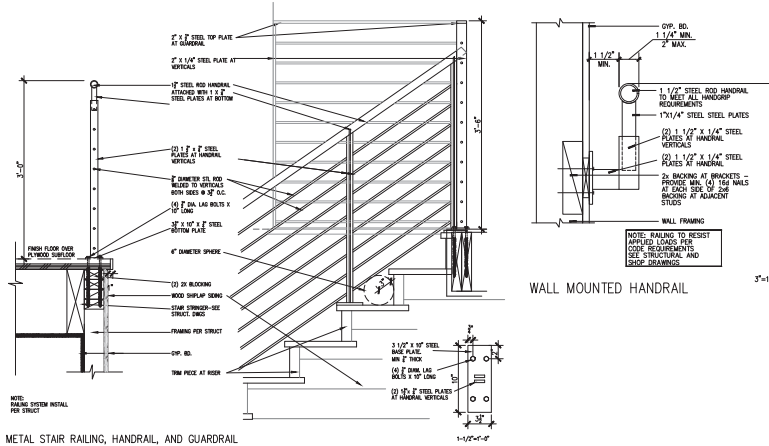
Page 11 of 14



California Coastal  
Commission



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WALL MOUNTED HANDRAIL

3'-0\"/>

STAIR SECTION KEY NOTES	
1	5/8\"/>
2	1-1/8\"/>
3	FLOOR FRAMING - SEE STRUCTURAL DRAWINGS.
4	ROOF TRUSSES/FRAMING - SEE STRUCTURAL DRAWINGS.
5	2x14 STRINGERS AT EACH END AND MID SPAN (16\"/>
6	WALL MOUNTED DECORATIVE WOOD HANDRAIL 3/4\"/>
7	C.B.C. SECTION 1012.
8	SOLID GUARDRAIL WITH WOOD CAP 4\"/>
9	1013. DECORATIVE WOOD GUARDRAIL AND WOOD NEWEL POST OPTIONS.
10	WALL FRAMING - SEE STRUCTURAL DRAWINGS.
11	CONCRETE STEM WALL - SEE STRUCTURAL AND CIVIL DRAWINGS.
12	DOOR BEYOND.
13	WOOD HANDRAIL, HANDRAILS & SOLID RODS. PICKETS/RODS SPACED SO THAT A 4\"/>
14	HANDRAILS ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
15	UNDER STAIR PROTECTION. PROVIDE 4\"/>
16	PERMANENT PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/2\"/>
17	CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
18	THE HANDRAIL PORTION OF HANDRAIL SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
19	ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE EDGES.
20	GIVEN HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4\"/>
21	4\"/>
22	GUARDRAILS.
23	A. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42\"/>
24	B. CIRCULAR GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4\"/>
25	C. EVERY GUARDRAIL SHALL HAVE A HORIZONTAL CLEARANCE OF NOT LESS THAN 8\"/>
26	D. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD RISING TO THE NEXT RISE AT ALL POINTS.
27	A. UNDER STAIR USABLE AREA.
28	A. WHERE USABLE SPACE OCCURS UNDER STAIRWAYS IN GROUP R2 RESIDENCES, USE MIN 11 INCH O.V.P. BOARD MATERIAL ON THE ENCLOSED SIDE PER CIRC. 1009.4.3.

STAIR NOTES	
1	RISERS.
2	A. RISER HEIGHTS SHALL BE EQUAL WITHIN A FLIGHT OF STAIRS.
3	B. TYPICAL RISER HEIGHTS.
4	C. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8\"/>
5	TREADS.
6	A. TREAD RUNS SHALL BE EQUAL WITHIN A FLIGHT OF STAIRS.
7	B. TYPICAL TREAD RUN PER STAIR PLANS & SECTIONS.
8	C. THE GREATEST TREAD RUN WITHIN A FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8\"/>
9	D. ALL TREAD SURFACES SHALL BE SLIP RESISTANT.
10	E. TREADS SHALL PROJECT NO MORE THAN 1/2\"/>
11	F. TREADS SHALL HAVE SMOOTH ROUNDED OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE RISING LOWER FRONT EDGE.
12	G. MINIMUM TREAD WIDTH TO BE 10 INCHES.
13	HANDRAILS.
14	A. STAIRS SHALL HAVE HANDRAILS ON ONE SIDE.
15	B. THE TOP OF THE HANDRAIL SHALL NOT BE LESS THAN 34\"/>
16	C. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.
17	D. HANDRAILS ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
18	E. HANDRAIL PROJECTING FROM THE WALL SHALL HAVE A SPACE OF 1-1/2\"/>
19	F. THE HANDRAIL PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2\"/>
20	G. CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
21	H. THE HANDRAIL PORTION OF HANDRAIL SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
22	ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE EDGES.
23	GIVEN HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4\"/>
24	4\"/>
25	GUARDRAILS.
26	A. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42\"/>
27	B. CIRCULAR GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4\"/>
28	C. EVERY GUARDRAIL SHALL HAVE A HORIZONTAL CLEARANCE OF NOT LESS THAN 8\"/>
29	D. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD RISING TO THE NEXT RISE AT ALL POINTS.
30	A. UNDER STAIR USABLE AREA.
31	A. WHERE USABLE SPACE OCCURS UNDER STAIRWAYS IN GROUP R2 RESIDENCES, USE MIN 11 INCH O.V.P. BOARD MATERIAL ON THE ENCLOSED SIDE PER CIRC. 1009.4.3.

SECTION NOTES	
A.	THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STORIES AND AT "PLAN OPTION" CONDITIONS. REFER TO FLOOR PLAN ADDENDUM DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN.
B.	THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIP BETWEEN STRUCTURAL ELEMENTS, INTERIOR VOLUME CONFIGURATIONS, AND BUILDING FINISHES. REFER TO THE STRUCTURAL DRAWINGS AND TRADE MANUFACTURERS DRAWINGS AND CALCULATIONS FOR ALL FRAMING, FOUNDATION AND TRUSS INFORMATION.
C.	F.F. / F.G. / G.F. ELEVATIONS ARE FROM THE CIVIL PRECISE GRADING PLAN. VERIFY ELEVATIONS WITH CIVIL PLANS.
D.	GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 3% AND A MINIMUM OF 10 FEET FROM THE FIRST FLOOR SLAB. SEE CIRC. SECTION 701.3.1.
E.	WARRANTY BARRIER IS REQUIRED AND TO ALSO BE INSTALLED ON ALL VERTICAL SURFACES AND GABLE END WALLS IN THE ATTIC. 2014 RESIDENTIAL COMPLIANCE MANUAL SECTION 8.2.8.
F.	FIREBLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH SECTION CIRC. 718.1. FIREBLOCKING SHALL COMPLY WITH SECTION 718.3 AND 718.4.

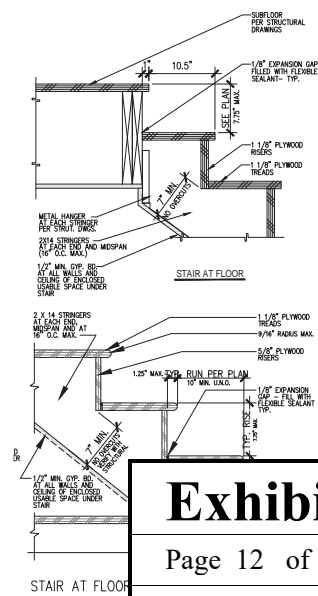
SECTION KEY NOTES	
1	CONCRETE SLAB ON GRADE - SEE STRUCTURAL AND CIVIL DRAWINGS.
2	CONCRETE STEM WALL - SEE STRUCTURAL AND CIVIL DRAWINGS.
3	WOOD STUD WALL ON CONCRETE CURB - SEE STRUCTURAL AND CIVIL DRAWINGS.
4	GARAGE/CARPORT SLAB AND SLOPE - REFER TO STRUCTURAL DRAWINGS.
5	HORIZONTAL SEPARATION OF GARAGE AND HABITABLE SPACE ABOVE SHALL BE 5/8\"/>
6	VERTICAL SEPARATION OF GARAGE FROM RESIDENCE AND ATTIC SHALL BE 5/8\"/>
7	STAR STRINGER - REFER TO STRUCTURAL DRAWINGS.
8	PLYWOOD TREADS AND RISERS (5/8\"/>
9	5/8\"/>
10	METAL HANDRAIL 3/4\"/>
11	METAL GUARDRAIL - 42\"/>
12	WIRE STORAGE PER OWNER.
13	CABINETS - SHEET FRAM CABINET DESIGN WITH OWNER. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
14	INSULATION - SEE ENERGY COMPLIANCE FORMS FOR INSULATION AND ENERGY COMPLIANCE ON T24 SHEETS.
15	1/2\"/>
16	ENHANCED MATERIAL AT CEILING - PAINTED TAG PER OWNER.
17	FLOOR FRAMING - SEE STRUCTURAL DRAWINGS.
18	ROOF FRAMING - SEE STRUCTURAL DRAWINGS.
19	DOOR BEYOND.
20	WINDOW BEYOND.
21	STAIRS AT GARAGE.
22	WALL FRAMING - SEE STRUCTURAL DRAWINGS.
23	GAS FIREPLACE. SEE FLOOR PLANS FOR SPECIFICATIONS.
24	ENHANCED WALL MATERIAL VERTICAL OR HORIZONTAL TAG PER OWNER.
25	ENHANCED CEILING MATERIAL - DECORATIVE OR WRAPPED STRUCTURAL BEAMS AT REGULAR INTERVALS PER OWNER / STRUCT. PLANS.
26	BRICK VENER HANDSCOT BY MANTEL PER OWNER. DISTRESSED BARNWOOD BEAM SHOWN.
27	CLOSET DOUBLE DOOR AND SHELF.
28	SOUND DAMPENING INSULATION.
29	INTERIOR LIGHT LOCATION - LIGHT SPECIFICATIONS PER OWNER.
30	KITCHEN APPLIANCE GARAGE. VERIFY FINAL CABINET DESIGN WITH OWNER. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW.

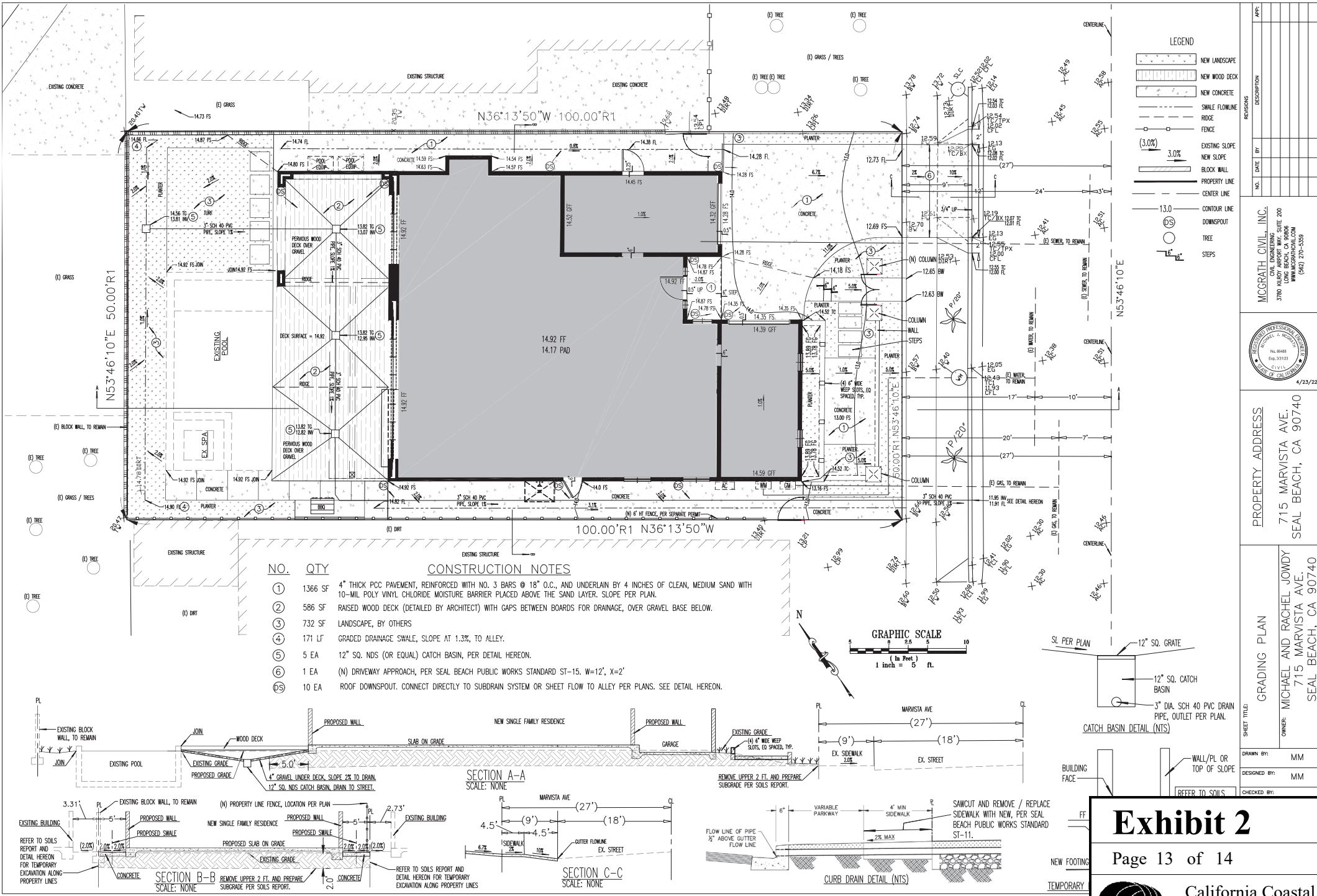


CLIENT  
**MICHAEL AND  
RACHEL JOWDY**  
719 MARINISTA  
SEAL BEACH, CALIFORNIA 90740  
DATE: 7/26/21

PROJECT  
**THE JOWDY RESIDENCE**  
719 MARINISTA  
SEAL BEACH, CALIFORNIA 90740  
PROJECT 20-008  
DATE: 7/26/21

REVISIONS  
▲ FIRST PLANNING SUBMITTAL 4/16/21  
▲ FIRST BD SUBMITTAL 7/26/21  
▲





NO.	DATE	BY	REVISIONS	DESCRIPTION

**McGRATH CIVIL, INC.**  
 CIVIL ENGINEERING  
 3780 KLEIN FORUM WAY, SUITE 200  
 SAN ANTONIO, TEXAS 78218  
 WWW.MCGRATHCIVIL.COM  
 (512) 270-3359

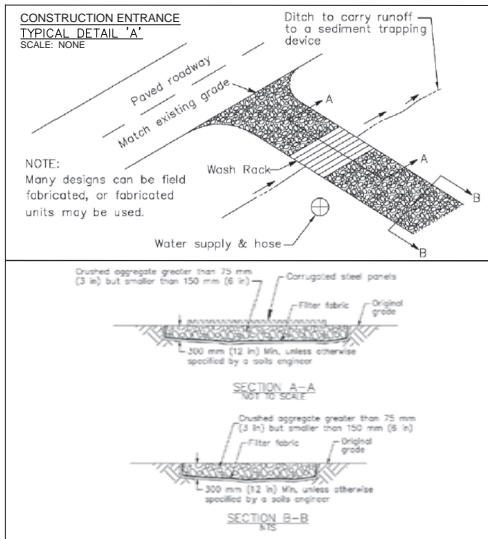


**PROPERTY ADDRESS**  
 715 MARVISTA AVE.  
 SEAL BEACH, CA 90740

**GRADING PLAN**  
 OWNER: MICHAEL AND RACHEL JOWDY  
 715 MARVISTA AVE.  
 SEAL BEACH, CA 90740

**SHEET TITLE:**  
 DRAWN BY: MM  
 DESIGNED BY: MM  
 CHECKED BY:





CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA)  
STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK – CONSTRUCTION

BMP NOTES

EQUIPMENT TRACKING CONTROL:

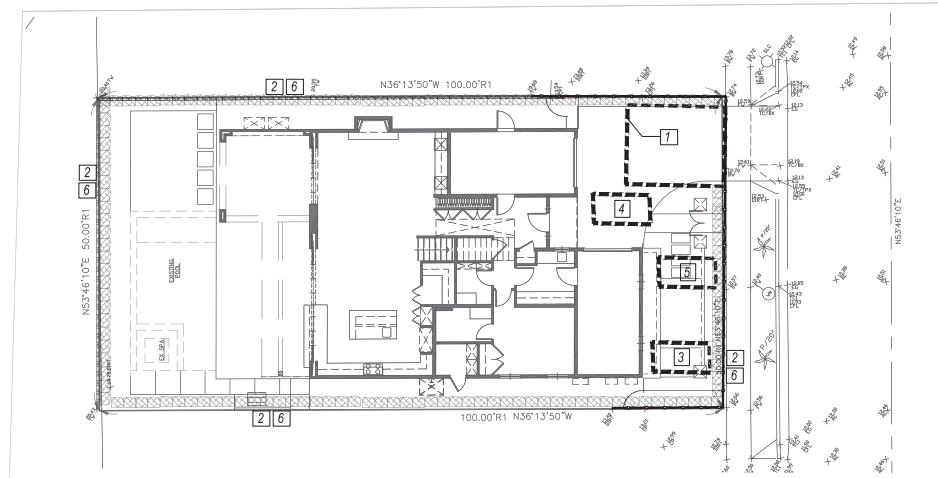
TC1 – STABILIZED CONSTRUCTION ENTRANCE/EXIT

TEMPORARY SEDIMENT CONTROL:

SE1 – SILT FENCE  
SE3 – SEDIMENT TRAP  
SE8 – SANDBAG BARRIER

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL:

WM1 – MATERIAL DELIVERY AND STORAGE  
WM2 – MATERIAL USE  
WM3 – STOCKPILE MANAGEMENT  
WM5 – SOLID WASTE MANAGEMENT  
WM6 – HAZARDOUS WASTE MANAGEMENT  
WM7 – CONTAMINATION SOIL MANAGEMENT  
WM8 – CONCRETE WASTE MANAGEMENT  
WM9 – SANITARY / SEPTIC WASTE MANAGEMENT



EROSION CONTROL PLAN

SCALE: 1" = 10'-0"

24 HOUR EMERGENCY CONTACT:

NAME: MICHAEL MCGRATH, P.E.

ADDRESS: 3780 KILROY AIRPORT WY. #200,  
LONG BEACH CA 90806

PHONE NO.: 562 270 5359

EROSION CONTROL NOTES

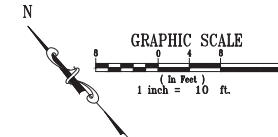
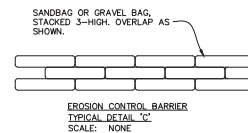
1. IN CASE OF EMERGENCY CALL: (MIKE MCGRATH, ENGINEER, (562) 270-5359).
2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY INSPECTOR.
4. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY PROBABILITY FORECAST EXCEEDS 50%.
5. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
6. APPLICANT SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREA WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
7. ALL LOOSE SOIL AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFFSITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE CITY INSPECTOR.
8. EROSION CONTROL DEVICES WILL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES AND PLANS OF THESE CHANGES SUBMITTED FOR APPROVAL AS REQUIRED.
9. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE CITY INSPECTOR IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
10. THE UNDERSIGNED CIVIL ENGINEER HAS INSPECTED THE SITE AND THESE PLANS REFLECT THE EXISTING CONDITIONS OF THE PROJECT THAT REQUIRE EROSION PROTECTION.

Erosion Control Notes

QTY

- |   |  |        |
|---|--|--------|
| 1 | STABILIZE CONSTRUCTION ENTRANCE PER TC-1. CONTRACTOR TO MAINTAIN SITE AND ENTRANCE FREE OF TRASH, DEBRIS, AND EXCESS SEDIMENT ON A DAILY BASIS. SEE DETAIL "A" HEREON FOR DETAILS. | 1 LS   |
| 2 | PLACE GRAVEL or SANDBAG BARRIER AS SHOWN FOR EROSION & SEDIMENT CONTROL. (SE-6 or SE- 8 RESPECTIVELY) SEE DETAIL "C" HEREON FOR DETAILS.   | 240 LF |
| 3 | MATERIALS HANDLING AND STORAGE AREA PER WM-1, 2, AND 3.  | 1 LS   |
| 4 | WASTE MANAGEMENT PER WM-5, 6, 7, 8, AND 9.   | 1 LS   |
| 5 | CONSTRUCT SEDIMENT TRAP PER SE-3.  | 1 LS   |
| 6 | INSTALL SECURITY FENCE WITH SILT BARRIER FABRIC ALL AROUND SITE, TO REMAIN AT ALL TIMES DURING CONSTRUCTION, PER SE-1.   | 240 LF |

- ADDITIONAL NOTES:
1. AVOID GRADING/CONSTRUCTION ACTIVITIES AT TIMES OF EXPECTED PRECIPITATION (EC-1).
  2. ABOVE REFERENCED BMP DETAILS AVAILABLE ON-LINE AT [WWW.CASQA.HANDBOOKS.COM](http://WWW.CASQA.HANDBOOKS.COM) (SEE CONSTRUCTION LINK).



NO.	DATE	BY	REVISIONS	DESCRIPTION

**MCGRATH CIVIL, INC.**  
CIVIL ENGINEERING  
3780 KILROY AIRPORT WY. #200  
LONG BEACH, CA 90806  
[WWW.MCGRATHCIVIL.COM](http://WWW.MCGRATHCIVIL.COM)  
(562) 270-5359



4/23/22

PROPERTY ADDRESS

715 MARVISTA AVE.  
SEAL BEACH, CA 90740

EROSION CONTROL PLAN

OWNER: MICHAEL AND RACHEL JOWDY  
715 MARVISTA AVE.  
SEAL BEACH, CA 90740

DRAWN BY: MM  
DESIGNED BY: MM  
CHECKED BY:

**Exhibit 2**

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## Exhibit 3

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**Project Location**