

## **CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD., SUITE 300  
LONG BEACH, CA 90802-4830  
(562) 590-5071



# **W8a**

**5-22-0113 (Mullally)**

**July 13, 2022**

### **EXHIBITS**

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Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 –Project Plans

Exhibit 3 – CoSMoS Analysis

An aerial photograph of the Long Beach and Seal Beach area. The image shows a coastal city with a large beach area in the foreground. A white circle marks a specific location in the city, and a white arrow points from the text 'Project Location' to this circle. The city is surrounded by water, and there are various buildings and roads visible. The text 'Long Beach' is in the top left, 'Seal Beach' is in the center, and 'Project Location' is at the bottom left.

**Long Beach**

**Seal Beach**

**Project Location**





Electric Avenue

Project Site

12<sup>th</sup> Street

## NOTES

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, 2019 AMENDMENTS, LAWS AND ORDINANCES AS SPECIFIED BY THE CITY OF SEAL BEACH BUILDING DEPARTMENT.
2. DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE. IF ANY DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED.
3. ALL DIMENSIONS ARE TO FACE OF FINISH AND SQUARE UNLESS NOTED OTHERWISE. CONCRETE IS UNARMED UNLESS NOTED OTHERWISE.
4. SUBMITTALS THROUGHOUT THE PLAN AND THOSE IN COMMON USE, THE ARCHITECT SHALL RETAIN INTENT OF ANY DISCREPANCIES.
5. ALL CONTRACTORS MUST COMPLY TO CALIFORNIA LABOR CODE, SEC. 2000.
6. THE CONTRACT DOCUMENTS AND SPECIFICATIONS, HEREIN, THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SURVEY AND VERIFY THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO, REGULATION OF ADEQUATE WORKING SPACES, ETC. TO SAFELY EXECUTE ALL WORKS.
7. SEPARATE BUILDING PERMITS SHALL BE OBTAINED FOR ELECTRICAL AND MECHANICAL WORKING AND SHALL BE PAID FOR BY THE CONTRACTOR. THE BUILDING PERMIT SHALL BE PROVIDED BY JOHN CATALDO & ASSOCIATES AND PAID FOR BY THE CONTRACTOR. ALL OTHER PERMITS AND LICENSES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
8. REQUIRED PERMITS SHALL BE OBTAINED FROM THE "LOCAL DIVISION OF INDUSTRIAL SAFETY & CAL. 2000" FOR ANY PERMITS OR EQUIVARIANT.
9. SEPARATE PLANS SHALL BE PLAN CHECKED AND SEPARATE PERMITS SHALL BE OBTAINED FOR ANY MODIFICATION TO EXISTING AUTOMATIC FIRE-EXTINGUISHING SYSTEMS AS APPLICABLE.
10. ALL ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
11. ALL EXISTING CONSTRUCTION BRANDS SHALL COMPLY WITH "TRUE JAC" STATE ENERGY CONSERVATION REQUIREMENTS.
12. ALL AREAS AFFECTED OR DAMAGED BY ALTERATIONS, REMOVAL OR EXISTING CONSTRUCTION AND NEW WORK SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING OR IN A SATISFACTORY MANNER APPROVED BY THE ARCHITECT AND PROJECT MANAGER.
13. THE CONTRACTOR SHALL MAINTAIN FIRE ACCESS DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAR OF RUBBISH SO AS NOT TO IMPED THE ACCESS AND WORK OF OTHERS.
15. SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. ALLOW MINIMUM OF ONE WEEK FOR REVIEW BY THE ARCHITECT.
16. TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE JOB, EXCEPT WHERE THEY CONTRADICT WITH DETAILS, NOTES OR OTHER SHEETS.
17. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST POSSIBLE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ARCHITECT SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
18. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FINISHING OF CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT. SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
19. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
20. ALL MATERIALS FOR THE COMPLETION OF THE WORK ELEMENTS NOTED HEREIN SHALL BE NEW, FIRST QUALITY CONDITION AND DELIVERED TO THE JOB SITE IN AN UNDAMAGED CONDITION.
21. ALL REQUIRED WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS. THEY SHALL BE ONE AND THE SAME.
22. THE CONTRACTOR SHALL COORDINATE THE WORK EFFORTS OF THE VARIOUS TRADES TO AVOID POSSIBLE INTERFERENCES, DUPLICATION OF WORK OR UNNECESSARY GAPS BETWEEN OPERATIONS. SUB-CONTRACTORS SHALL PROPERLY COORDINATE AND COORDINATE THEIR WORK WITH THE WORK OF OTHERS AS SHOWN ON THE DRAWINGS. ANY AND ALL DELAYS OR CHANGES ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

### CONSTRUCTION NOTES

1. CONTRACTOR SHALL RESPECT THE PROPOSED AND EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. PRIOR TO REVIEW ACTUAL CONDITIONS, AVAILABILITY OF MATERIALS, LOCATIONS OF EXISTING DRIVEWAYS, GENERAL SITE ACCESS FOR TRUCKS AND DELIVERIES, STOCKING OF SUPPLIES, ETC.
2. CONTRACTOR SHALL VERIFY EXISTING REQUIREMENTS OF ALL LOTS WITH REGARD TO EXISTING HARDWARE AS SPECIFIED HEREIN.
3. THESE DRAWINGS AND WRITTEN SPECIFICATIONS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AMONG AS REQUIRED BY ALL. REFER ALSO TO SUB-INSTRUCTIONS AND GENERAL CONDITIONS AND SPECIFICATIONS (SEEK SEPARATE) COPIES.
4. NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE ALLOWED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, COST AND TIME SCHEDULES IN WRITING TO THE ARCHITECT FOR APPROVAL.
5. AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE THE P.M. IN WRITING OF ANY SPECIFIED MATERIALS OR EQUIPMENTS WHICH ARE UNAVAILABLE OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
6. IMMEDIATELY AFTER BEING AWARDED THE CONTRACT, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE. THIS SCHEDULE SHALL BE "CONTINUOUSLY" UPDATED AND POSTED ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING NECESSARY UTILITIES (ELECTRIC, PLUMBING, HEATING, WATER, ETC.) TO THE JOBSITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR.
8. ALL CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE. FENCING, PLANT GROUND, ETC. ALL EXISTING EQUIPMENTS, SLABING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR CEMENTARY.
9. NO HAZARDOUS MATERIALS TO BE STORED ON SITE.

## NEW RESIDENCE AND A.D.U.

156 & 156 1/2 12TH ST.  
SEAL BEACH, CA 90740

### RENDERING (FACING STREET)



### VICINITY MAP



### PROJECT DIRECTORY

**OWNER**  
BRIAN MULLALY  
151 & 156 1/2 12TH STREET  
SEAL BEACH, CA 90740

**ARCHITECT:**  
JOHN G. CATALDO AIA, C.S.I.  
830 MISSION STREET  
SOUTH PASADENA, CA 91030  
Tel : (626) 799-4400  
Fax : (626) 799-7010

### SHEET INDEX

- 1-1 TITLE SHEET, PROJECT DATA AND NOTES
- 1-2 SITE PLAN
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- A-4.2 BUILDING SECTIONS

### PROJECT INFO/BUILDING DATA

**ADDRESS:** 156 & 156 1/2 12TH ST  
SEAL BEACH, CA 90740

**ASSUMPTION'S PARCELS NO. (A.P.N.):** 199-070-30

**ZONING:** RHO-20

**OCCUPANCY GROUP:** R-3

**TYP. OF CONSTRUCTION:** VB

**FIRE SEPARATORS:** N/A

**GROSS AREA:** 3,075 SQ. FT.

**BUILDING AREA:**

EXISTING	NEW 2-STORY S.F.D.	NEW 2-STORY ATTACHMENT A.D.U.
ONE STORY S.F.D. (In the corner)	840 SQ. FT.	
(E) 2ND UNIT		
ADJACENT (E) GARAGE	140 SQ. FT.	
GARAGE/STORAGE (1ST FLOOR)	470 SQ. FT.	
NEW 2-STORY S.F.D.		
1ST FLOOR	768 SQ. FT.	
2ND FLOOR	770 SQ. FT.	
NEW 2-STORY S.F.D.		
1ST FLOOR		258 SQ. FT.
2ND FLOOR		233 SQ. FT.
NEW 2-STORY S.F.D.		
1ST FLOOR		491 SQ. FT.
2ND FLOOR		

**GROSS COVERAGE:** 1513+491+440+2304 SQ. FT.

**FLOOR AREA RATIO:** (768+258+233)/3075 X 100 = 34.34%

### APPLICABLE CODES

ALL WORK AND MATERIALS SHALL COMPLY WITH THE FOLLOWING:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA ENERGY CODE
- CITY OF SEAL BEACH ZONING CODE

California Coastal Commission

5-22-0115

Exhibit 2

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ARCHITECTURE ENGINEERING

830 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET  
SEAL BEACH, CA 90740

DEVELOPER:

Drawing Content:

TITLE SHEET



Revisions: Date:

Designer: JC  
Manager: JC  
Date: 03/26/2021  
Job No: 2020-155  
Scale: AS NOTED  
Drawing No:

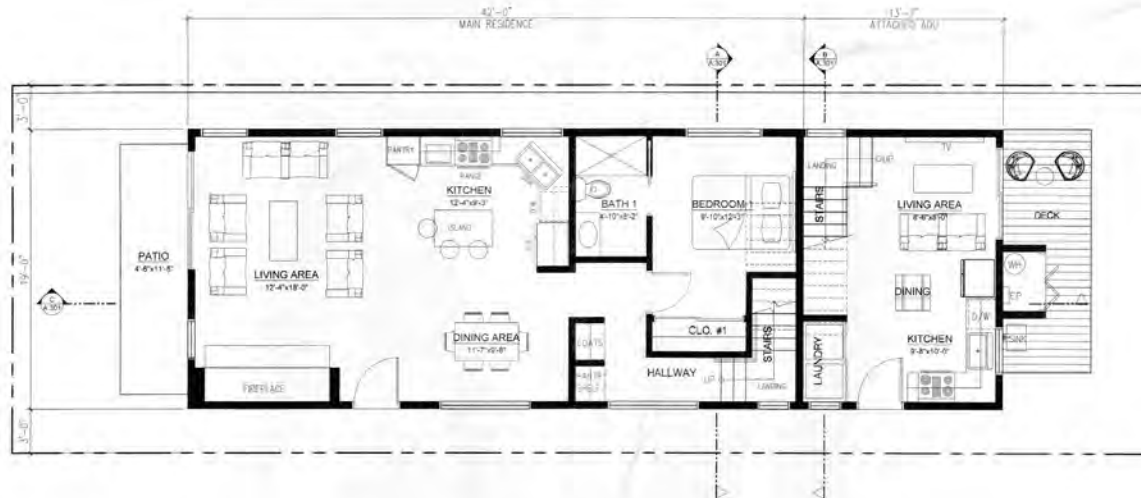
T-1







PROPOSED 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0" NORTH



PROPOSED 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0" NORTH



ARCHITECTURE - ENGINEERING

400 MONROE STREET, SUITE 200, SAN JOSE, CA 95101  
OFFICE : 408-790-1800 FAX : 408-790-1810

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET  
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Consent

PROPOSED  
FLOOR PLANS



Revisions: Date:

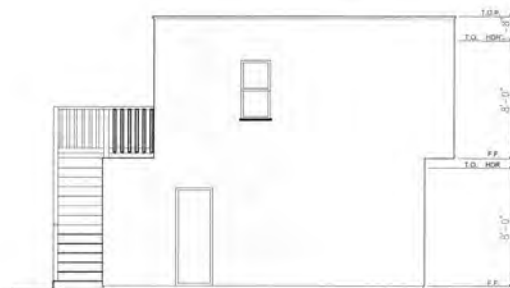

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Manager: LC  
Date: 03/30/2021  
Job No: 2020-107  
Scale: AS NOTED  
Drawing No:

**California Coastal Commission**  
**A-2**



WEST ELEVATION

SCALE: 1/4"=1'-0"



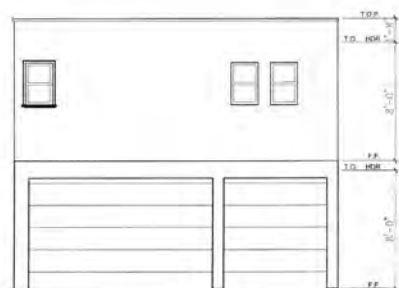
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



(E) UNIT ABOVE GARAGE PLAN

SCALE: 1/4"=1'-0"



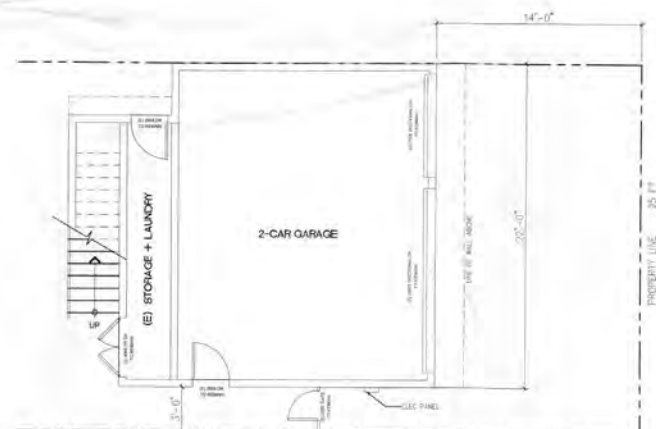
EAST ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"



(E) GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"



ARCHITECTURE - ENGINEERING

815 MISSION STREET, SOUTH PASADENA, CA 91400  
OFFICE : 626-799-6400 FAX : 626-799-7610

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET  
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Content :

EXISTING  
GARAGE DRAWINGS  
FOR REFERENCE ONLY



Revisions :

Date :

Designer : JC

Manager : JC

Date : 03/30/2021

Job No : 2020-151

Scale : AS NOTED

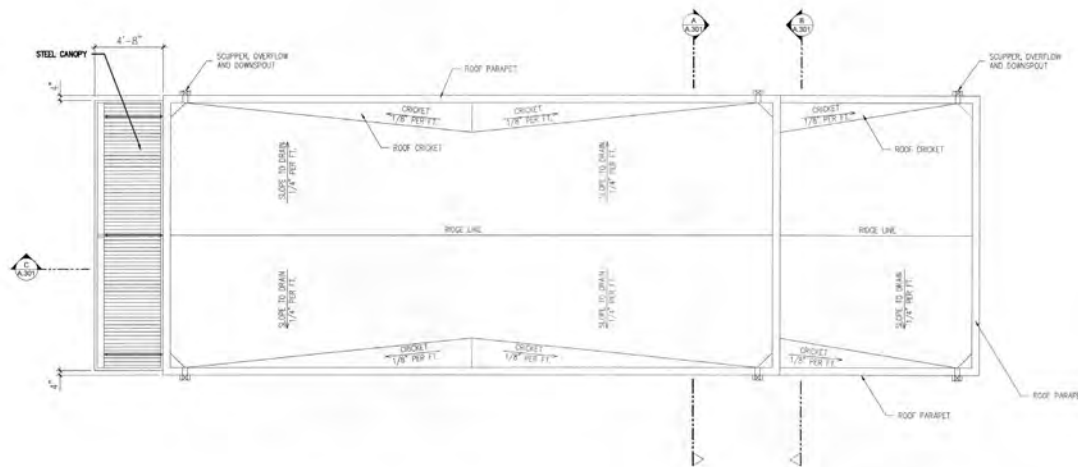
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**A-2.1**  
**California Coastal Commission**


**5-22-0115**

**Exhibit 2**

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ROOF PLAN

SCALE: 1/4"=1'-0" 



ARCHITECTURE ENGINEERING

690 MONROE STREET, SUITE 200, PASADENA, CA 91103  
OFFICE : 626-798-1800 FAX : 626-798-7010

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET  
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Content:

ROOF PLAN



Revisions : Date :


Designer : JC  
Manager : EC  
Date : 03/30/2021  
Job No : 2020-109  
Scale : AS NOTED

Drawing No :





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ARCHITECTURE ENGINEERING

856 NIMBUS STREET, SUITE PASADENA, CA 91109  
OFFICE: 626-798-2400 FAX: 626-798-7010

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET  
SEAL BEACH, CA 90740

DEVELOPER:

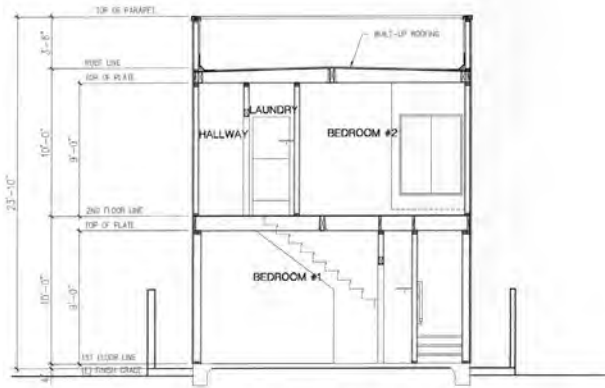
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BUILDING SECTIONS



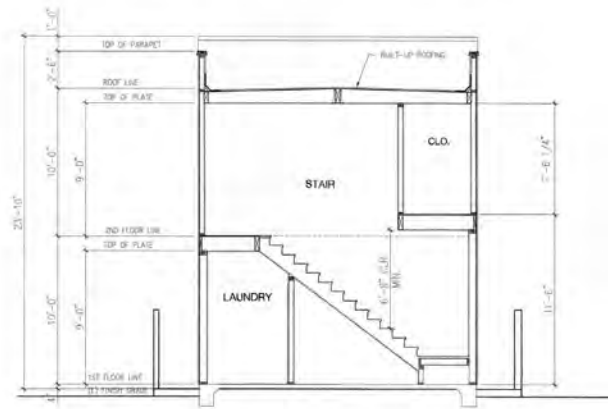
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Date: 03/20/2020  
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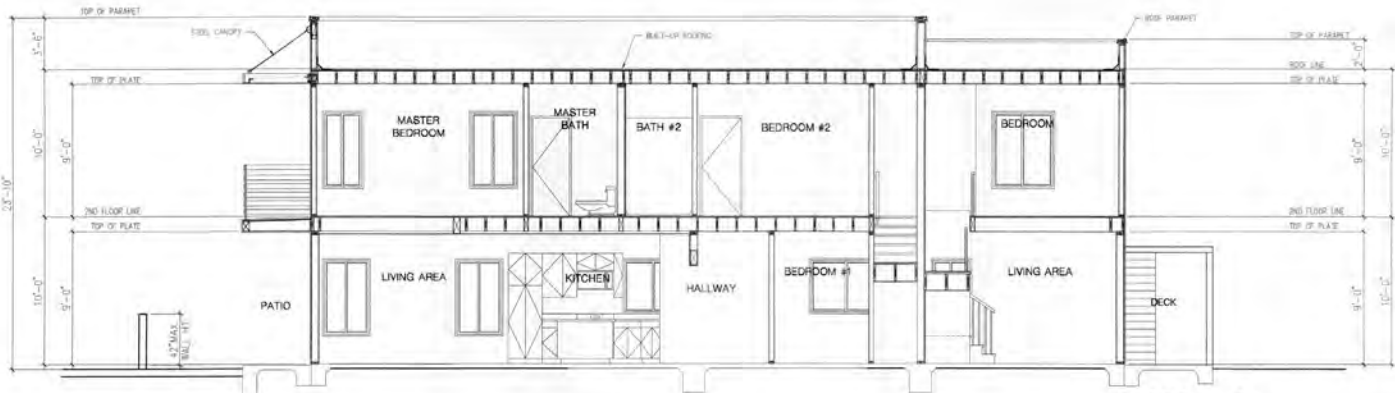
SECTION - A

SCALE: 1/4"=1'-0"



SECTION - B

SCALE: 1/4"=1'-0"



SECTION - C

SCALE: 1/4"=1'-0"



# CoSMoS Analysis

