

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



Th10a

5-21-0088 (O'DONNELL)

JULY 27, 2022

EXHIBITS

Exhibit 1 – Vicinity Map and Project Site	2
Exhibit 2 – Project Plans	3

Exhibit 1 – Vicinity Map and Project Site



Exhibit 2 – Project Plans

MRS. ADRIENNE O'DONNELL

PROPERTY INFO:

21 - 21 1/2 & 21 3/4 W. LIGHTHOUSE ST.
MARINA DEL REY, CA 90292

CONSULTANTS

HENRY RAMIREZ, ASSOC.AIA
3790 LAVELL DR.
LOS ANGELES, CA 90065
T. 323.401.3792

B.A.SIMS ENGINEERING, INC.
5150 E. PACIFIC COAST HIGHWAY, SUITE 200
LONG BEACH, CA 90804
T. 562.735.4955

ALTERNATIVE ENERGY SYSTEMS
3235 N. VERDUGO RD.
GLENDALE, CA 91208
T. 818.957.7733

SANTOS PLANNING
28800 AGOURA RD. SUITE 207
AGOURA HILLS, CA 91301
T. 818.643.5955

SZETO + ASSOCIATES
879 W. ASHYA RD.
MONTEBELLO, CA 90640
T. 626.512.5050

VICINITY MAP



PROJECT INFORMATION

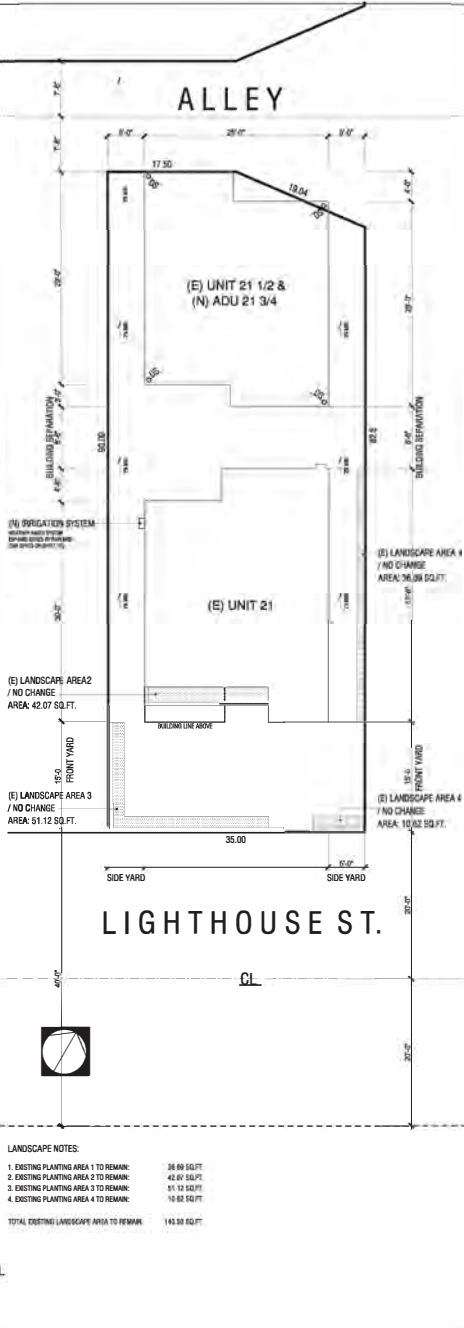
A. BUILDING OCCUPANCY GROUP : R-2
B. TYPE OF CONSTRUCTION : V
C. GOVERNING CODES: All work shall comply with all applicable sections of the following codes:
1. LA BC2017
2. CBC 2016
3. LARC2017
4. CRC 2016
D. ZONING: RS-1
E. LOT AREA: 3,082.40 SQ.FT.
F. FLOOR AREA:
21 LIGHTHOUSE - FRONT BUILDING
1ST LEVEL 692.87 SQ.FT.
2ND LEVEL 696.20 SQ.FT.
TOTAL FLOOR AREA PER R-3 1,391.07 SQ.FT.
21 3/4 & 21 1/2 LIGHTHOUSE - REAR BUILDING
1ST LEVEL - UNIT 21/3/4 305.29 SQ.FT.
2ND LEVEL - UNIT 21/2 319.65 SQ.FT.
TOTAL FLOOR AREA PER R-3 1,032.92 SQ.FT.
G. PARKING 3 PARKING SPACES
H. BUILDING HEIGHT:
21 LIGHTHOUSE - FRONT BUILDING 21'-6"
21 3/4 & 21 1/2 LIGHTHOUSE - REAR BUILDING 20'-8"

INDEX

C.S. COVERSHEET
A1.0 (E) FLOOR PLANS - FRONT AND REAR BUILDINGS
A2.0 (N) FLOOR PLANS - FRONT AND REAR BUILDINGS
A2.1 (N) ELECTRICAL FLOOR PLANS
A3.0 (E) ELEVATIONS FRONT BUILDING
A4.0 (N) ELEVATIONS & ROOF PLAN FRONT BUILDING
A5.0 (E) ELEVATIONS REAR BUILDING
A6.0 (N) ELEVATIONS & ROOF PLAN REAR BUILDING

PLOT PLAN

scale: 1/8" = 1'-0"



hR
henryRAMIREZ
3790 LAVELL DR.
LOS ANGELES, CA
90065
T. 323.401.3792

A.P.N. 4294.009.027

PROJECT INFO:
TO CONVERT A STORAGE AREA AND A PARKING SPACE INTO A 319.65 SQ.FT. ADU (ACCESSORY DWELLING UNIT). THE PROPOSED PROJECT IS LOCATED AT:

21 - 21 1/2 & 21 3/4 W. LIGHTHOUSE ST
MARINA DEL REY, CA 90292
TRACT: OCEAN STRAND TRACT
BLOCK: 1
LOT: 11
APN: 4294.009.027
MAP REFERENCE: M B 5-147

FOR:
MRS. ADRIENNE O'DONNELL
21 W. LIGHTHOUSE ST.
MARINA DEL REY, CA
90292

UNITS INFO

UNIT	LOCATION	AREA	UNIT TYPE	DESIGNATION	N-BUILDING	DIRECTION
21	FRONT UNIT	1,391.07 SQ.FT.	3-BEDROOM	MARKET RATE	2ND LEVEL	NORTH
21 3/4	REAR UNIT	319.65 SQ.FT.	1-BEDROOM	MARKET RATE	1ST LEVEL	NORTH
21 1/2	REAR UNIT	713.27 SQ.FT.	2-BEDROOM	MARKET RATE	2ND LEVEL	NORTH

COO - CERTIFICATE OF OCCUPANCY

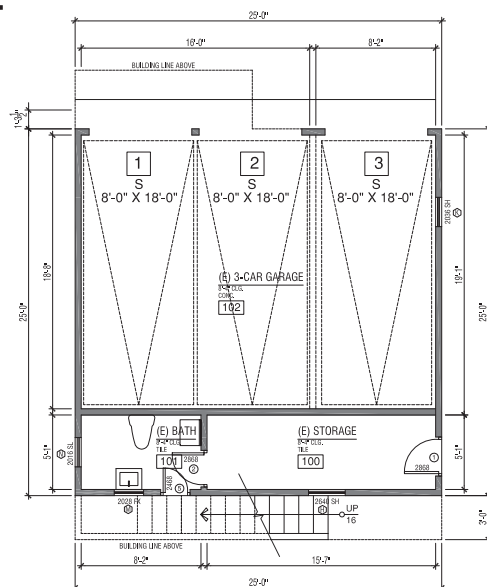
NOTES:

- THIS PROJECT IS 100% PRIVATELY FUNDED, AND IT IS NOT RECEIVING AN INCENTIVE TAX CREDIT, AND IT IS NOT PUBLIC HOUSING.
- THE BUILDING PERMIT SHOWS THAT THE BUILDING PERMIT WAS ISSUED ON APRIL 29, 1929.

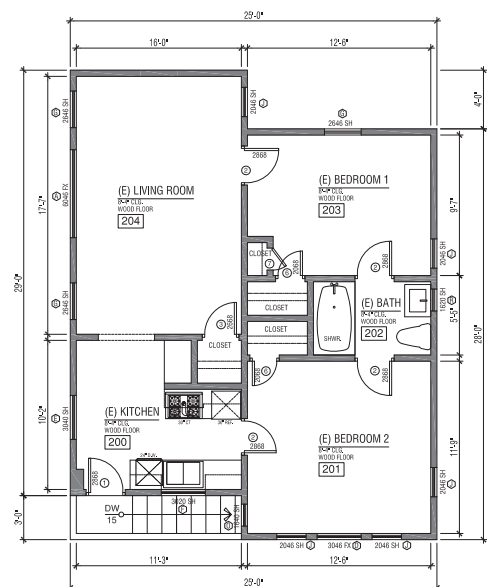
REVISIONS:

DATE	OBSERVATION
01.20.21	C.S.

(E) U	305.29 SQ.FT.
(E) FIRST LEVEL	319.65 SQ.FT.
(E) SECOND LEVEL	713.27 SQ.FT.
TOTAL AREA:	1,032.92 SQ.FT.

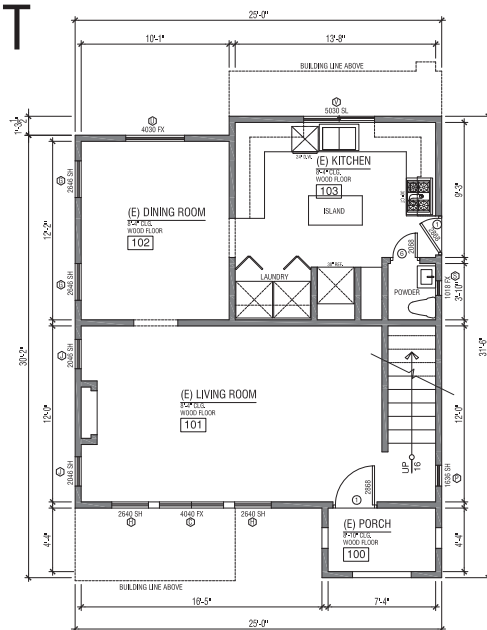


(E) 1ST LEVEL
1/4"=1'-0"

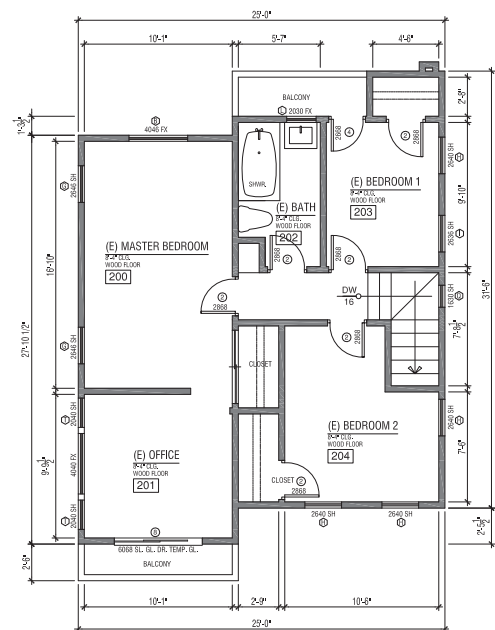


(E) 2ND LEVEL
1/4"=1'-0"

(E) FIRST LEVEL	692.87 SQ.FT.
(E) SECOND LEVEL	698.20 SQ.FT.
TOTAL AREA:	1,391.07 SQ.FT.



(E) 1ST LEVEL
1/4"=1'-0"



(E) 2ND LEVEL
1/4"=1'-0"

A.P.N. 4294.009.027

PROJECT INFO:
TO CONVERT A STORAGE AREA AND A PARKING SPACE INTO A 319.65 SQ.FT. ADU (ACCESSORY DWELLING UNIT). THE PROPOSED PROJECT IS LOCATED AT:

21-21 1/2 & 21 3/4 W. LIGHTHOUSE ST.
MARINA DEL REY, CA 90292
TRACT: OCEAN STRAND TRACT
BLOCK : 1
LOT : 11
APN: 4294.009.027
MAP REFERENCE: M.B. 5-147

FOR:

MRS. ADRIENNE O'DONNELL

21 W. LIGHTHOUSE ST.
MARINA DEL REY, CA
90292

REVISIONS:

[illegible]

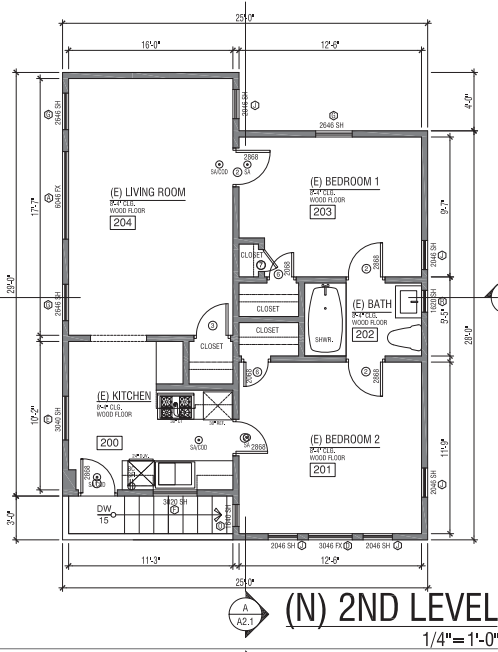
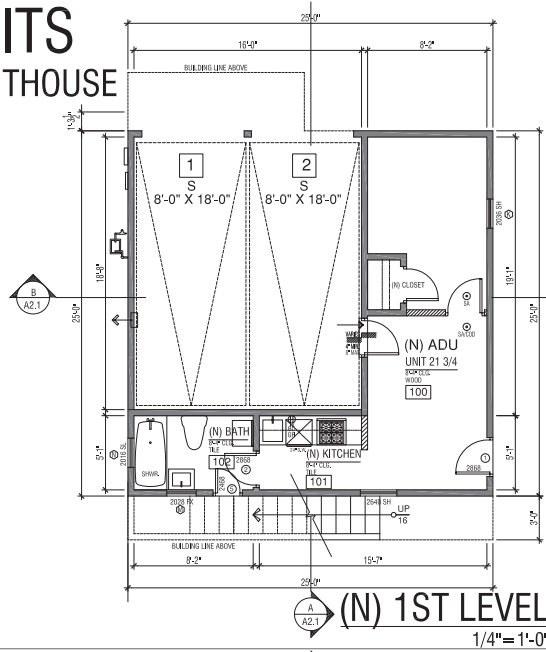
DATE: 01.20.21

A.

(N) REAR UNITS

FLOOR AREA

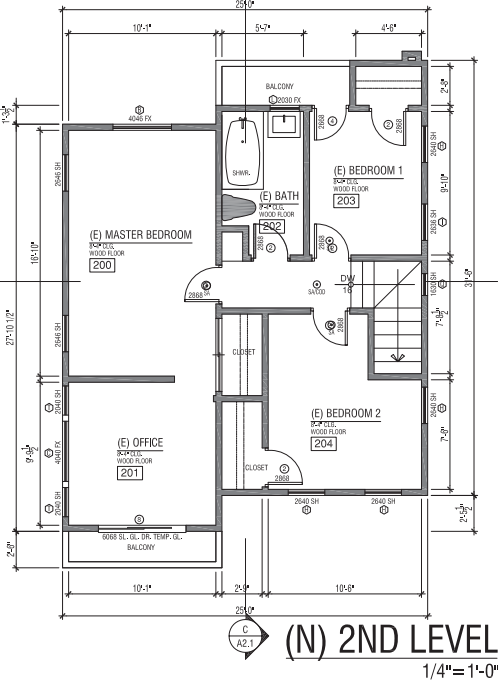
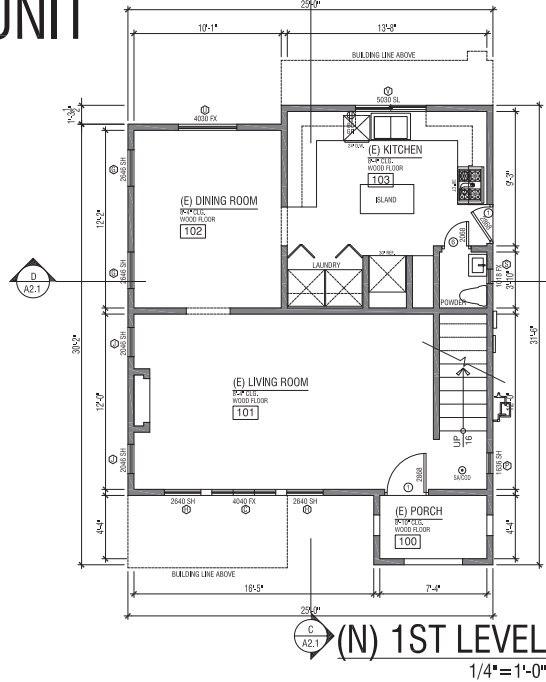
(E) U	305.29 SQ.FT.
(E) FIRST LEVEL - UNIT 21 1/4	319.65 SQ.FT.
(E) SECOND LEVEL - UNIT 21 1/2	713.27 SQ.FT.
TOTAL AREA:	1,032.92 SQ.FT.



(N) FRONT UNIT
21 LIGHTHOUSE

FLOOR AREA

(E) FIRST LEVEL	692.87 SQ.FT.
(E) SECOND LEVEL	698.20 SQ.FT.
TOTAL AREA:	1,391.07 SQ.FT.



△ LADBS FLOOR PLAN NOTES

- [illegible]

⚠ CALGREEN NOTES

- [illegible]

hR

henryRAMIREZ

T. 323.401.3792

A.P.N. 4294.009.027

PROJECT INFO:

TO CONVERT A STORAGE AREA AND A PARKING SPACE INTO A 319.65 SQ.FT. ADU (ACCESSORY DWELLING UNIT). THE PROPOSED PROJECT IS LOCATED AT:

21 - 21 1/2 & 21 3/4 W. LIGHTHOUSE ST.
MARINA DEL REY, CA 90292
TRACT: OCEAN STRAND TRACT
BLOCK : 1
LOT : 11
APN: 4294.009.027
MAP REFERENCE: M B 5-147

FOR:

MRS. ADRIENNE O'DONNELL

21 W. LIGHTHOUSE ST.
MARINA DEL REY, CA
90292

REVISIONS:

DATE	OBSERVATION

DATE: 01.20.21 A2

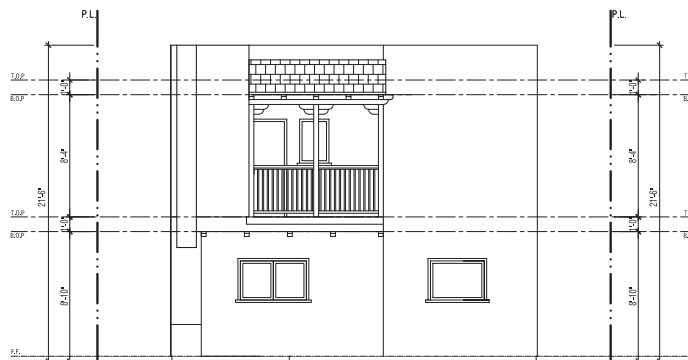
DATE: 01.20.21

A2

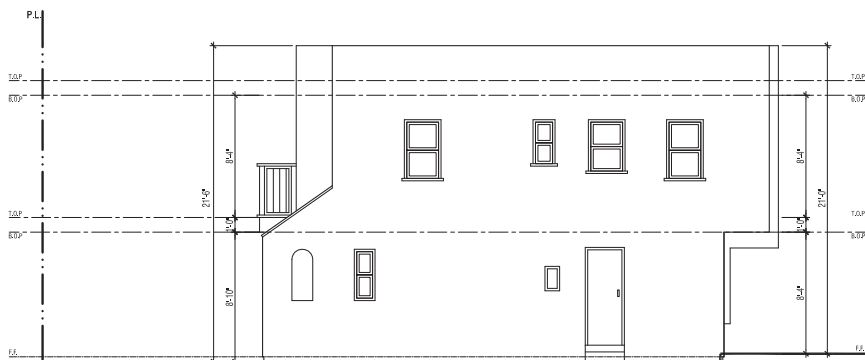
(E) FRONT UNIT
21 LIGHTHOUSE



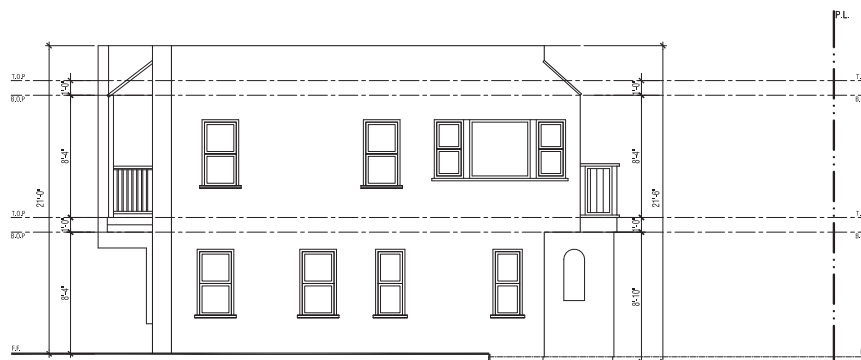
(E) NORTH ELEVATION
FRONT ELEVATION SCALE: 1/4" = 1'-0"



(E) SOUTH ELEVATION
REAR ELEVATION SCALE: 1/4" = 1'-0"



(E) WEST ELEVATION
SIDE ELEVATION SCALE: 1/4" = 1'-0"



(E) EAST ELEVATION
SIDE ELEVATION SCALE: 1/4" = 1'-0"

hR

henryRAMIREZ

3790 LAVELL DR.
LOS ANGELES, CA
90065
T. 323.401.3792

A.P.N. 4294.009.027

PROJECT INFO:

TO CONVERT A STORAGE AREA AND A PARKING SPACE INTO A 319.65 SQ.FT. ADU (ACCESSORY DWELLING UNIT). THE PROPOSED PROJECT IS LOCATED AT:

21 - 21 1/2 & 21 3/4 W. LIGHTHOUSE ST.
MARINA DEL REY, CA 90292
TRACT: OCEAN STRAND TRACT
BLOCK: 1
LOT: 11
APN: 4294.009.027
MAP REFERENCE: M B 5-147

FOR:

MRS. ADRIENNE O'DONNELL

21 W. LIGHTHOUSE ST.
MARINA DEL REY, CA
90292

REVISIONS:

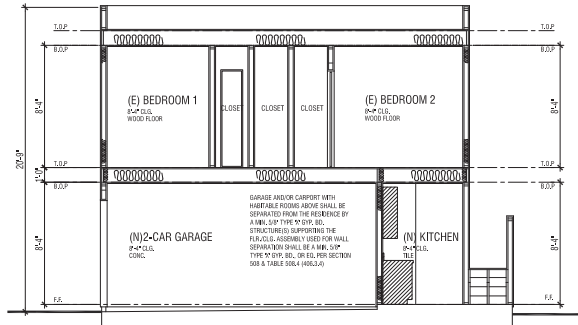
DATE	OBSERVATION

DATE: 01.20.21

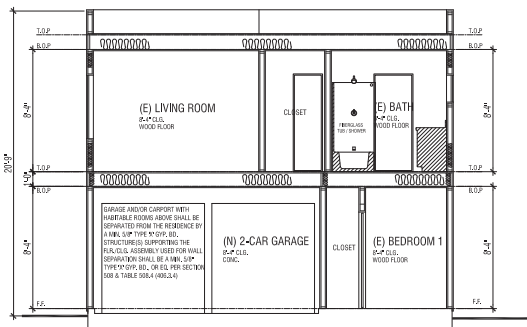
A3

(N) REAR UNITS

21 1/2 & 21 3/4 LIGHTHOUSE



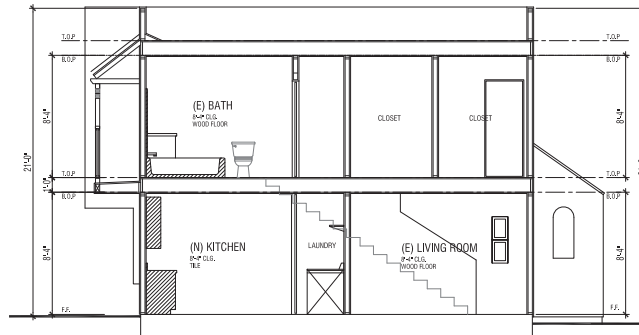
SECTION 'A'
SCALE: 1/4" = 1'-0"



SECTION 'B'
SCALE: 1/4" = 1'-0"

(E) FRONT UNIT

21 LIGHTHOUSE



SECTION 'C'
SCALE: 1/4" = 1'-0"



SECTION 'D'
SCALE: 1/4" = 1'-0"

SECTION NOTES	
1. THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPT-UP" CONDITIONS. REFER TO FLOOR PLAN ADDENDUMS FOR ADDITIONAL INFORMATION NOT SHOWN.	
2. THESE BUILDING SECTIONS ARE PROVIDED TO ILLUSTRATE THE ARCHITECTURAL RELATIONSHIPS BETWEEN STRUCTURAL ELEMENTS, INTERIOR LINE CORRELATIONS, AND BUILDING PROFILES. REFER TO THE STRUCTURAL DRAWINGS AND TRUSS MANUFACTURER'S DRAWINGS AND CALCULATIONS FOR ALL FRAMING AND TRUSS INFORMATION.	
BUILDING INSULATION	
(REFER TO SPECIFICATION SECTION 07210 FOR ADDITIONAL INFORMATION.)	
1. EXTERIOR 24" WALL ASSEMBLIES:	R-13
2. EXTERIOR 24" AND GREATER WALL THICKNESS ASSEMBLIES:	R-21
3. INTERIOR CEILING AND RAFTER ROOF ASSEMBLIES:	R-38
4. FLOOR/CEILING ASSEMBLIES OVER UNCONDITIONED SPACE:	R-38
5. RAISED FLOOR ASSEMBLIES:	NOT USED
GYPSUM BOARD	
(REFER TO SPECIFICATION SECTION 09050 FOR ADDITIONAL INFORMATION.)	
1. INTERIOR EXTERIOR WALL ASSEMBLIES:	1/2" THICK GYP. BD. (WHERE THE FIRE SEPARATION DISTANCE TO THE PROPERTY LINE IS GREATER THAN 10'-0" MEASURED FROM THE FACE OF THE EXTERIOR FINISH).
2. INTERIOR CEILING ASSEMBLIES:	MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD PER CRC TABLE R703.3.5. REFER TO TABLE FOR APPLICABLE JOIST SPACING, FASTENER TYPE, AND SIZES.
3. DWELLING, GARAGE, OPENING / PENETRATIONS AND FIRE SEPARATORS:	SEPARATION SHALL BE PER CRC TABLE R703.4. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R703.2. THIS PROVISION DOES NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.
SEPARATION FROM RESIDENCE AND ATTICS:	NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
FROM HABITABLE ROOMS ABOVE THE GARAGE OR CARPORT:	NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT.
STRUCTURES SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CRC SECTION R703.2:	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT.
4. UNDER STAR PROTECTORS:	ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD PER CRC SECTION R703.2.
STAIR NOTES	
1. STAIR CONSTRUCTION PER CRC SECTION R703.1.5.	
2. STAIRWAYS, STAIR TREADS, nosings, RISERS AND HANDRAILS PER CRC SECTION R703.1.7.	
3. GUARDS PER CRC SECTION R703.2 AND TABLE R703.5.	
4. FIRE BLOCKING PER CRC SECTION R703.1.1.	
5. SUBCONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO THE FABRICATION OF STAIRS, HANDRAILS, AND GUARDRAILS.	
6. THESE PLANS AND SECTIONS ARE DRAWING AS A DESIGN TOOL TO ASSIST THE SUB-CONTRACTOR IN THE PREPARATION OF THEIR SHOP DRAWINGS. SHOP DRAWINGS ARE TO BE APPROVED BY THE OWNER AND LOCAL BUILDING OFFICIAL.	

hR
henryRAMIREZ

3700 LAVELL DR,
LOS ANGELES, CA
90008
T. 323.401.3792

A.P.N. 4294.009.027

PROJECT INFO:
TO PERMIT 1 MODERATE INCOME UNIT PER 14,000 SQ. FT. THE BUILDING WAS ORIGINALLY PERMITTED AS A 1 UNIT BUILDING OVER A 3-CAR GARAGE AND STORAGE. ONE OF THE PARKING SPACES AND THE STORAGE AREA WERE CONVERTED INTO A UNIT.

21 - 21 1/2 & 21 3/4 W. LIGHTHOUSE ST.
MARINA DEL REY, CA 90292
TRACT: OCEAN STRAND TRACT
BLOCK: 1
LOT: 111
APN: 4294.009.027
MAP REFERENCE: M B 5-147

FOR:
MRS. ADRIENNE O'DONNELL
21 W. LIGHTHOUSE ST.
MARINA DEL REY, CA
90292

REVISIONS:	
DATE	OBSERVATION

DATE: 05.10.19 A7