

CALIFORNIA COASTAL COMMISSION

South Coast District Office
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Long Beach, CA 90802-4302
(562) 590-5071



Th10b

A-5-VEN-21-0067 (GUGLIELMINO & BOYD)
JULY 28, 2022

EXHIBITS

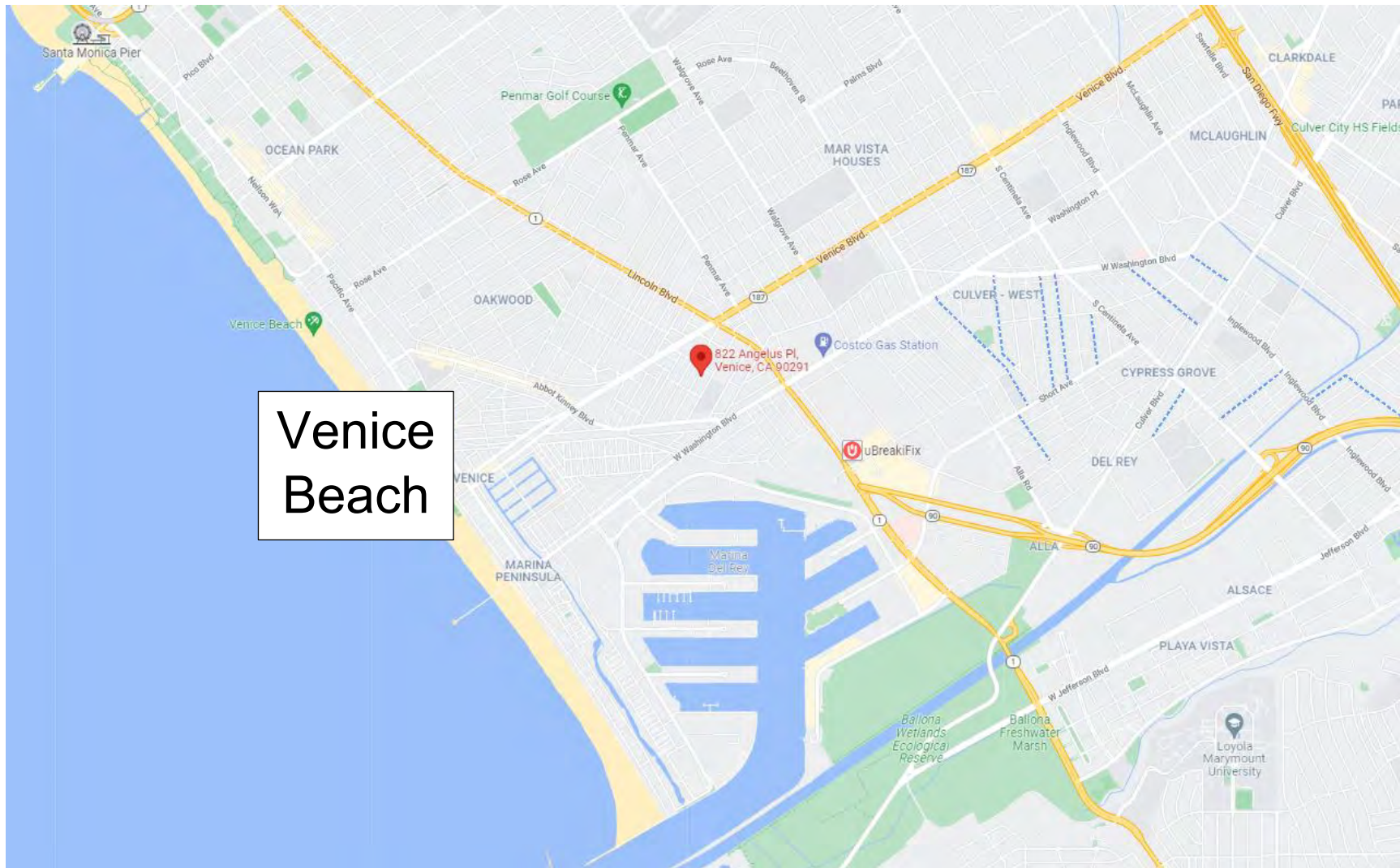
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Venice
Beach



EXHIBIT "A"

Page No. 2 of 7
Case No. DIR-2020-4803-CDP-MEL

PROJECT:

822 ANGELUS
PL.

ARCHITECT:



DesignUniversal
ARCHITECTURE AND DESIGN

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CONTRACTOR:

STRUCTURAL ENGINEER:

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Structural Design I
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(818) 891-9100

REVISION / ISSUE	DATE
1. CLIENT REVIEW	11/06/2019
2. CLIENT REVIEW	14/01/2020
3. PLANNING CASE	27/05/2020

AS BUILT / DEMO

DATE: 05/07/2020 DRAWN: JO SCALE:

AS BUILT / DEMO FLOORPLAN 1
Scale: 1/4" = 1'-0"

LEGEND	(N) WALLS	DETAIL MARKER	INT ELEV MARKER	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	HOSE BIB
	(E) WALLS	SECTION MARKER	WALL TYPE (SEE A-6.0 FOR DETAIL)	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN)	DOWNSPOUT
	DEMO WALLS				
	DEMO ROOF				

EXHIBIT "A"

Page No. 3 of 7

Case No. DIR-2020-4803-CDP-MEL

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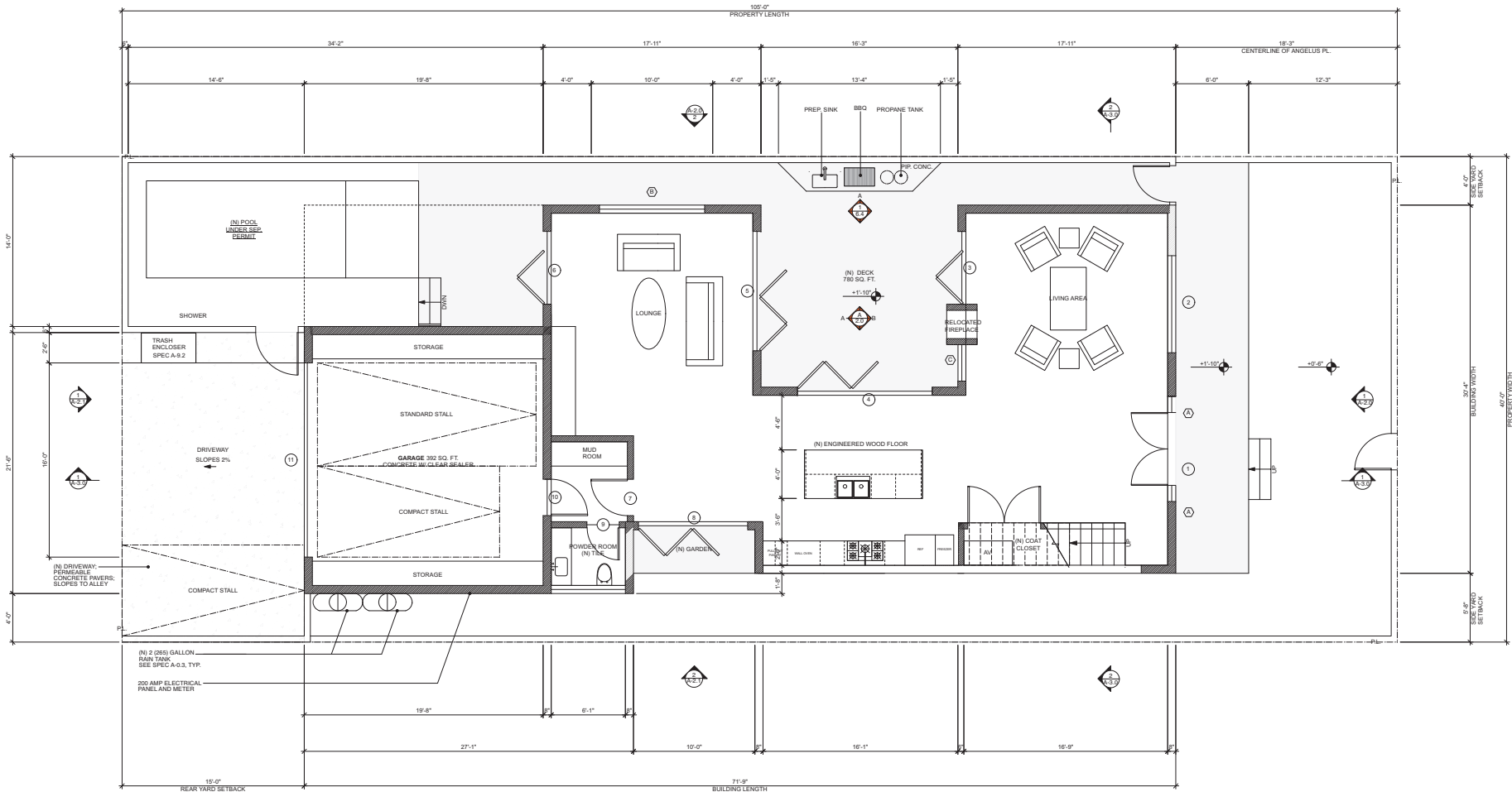
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FIRST FLOOR PLAN



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

LEGEND	(N) WALLS	DETAIL MARKER	INT ELEV MARKER	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	HOSE BIB
	DEMO WALLS	SECTION MARKER	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE EXHAUST TEST (20 CFM MIN)	DOWNSPOUT	



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Exhibit 2

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EXHIBIT "A"

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Case No. DIR-2020-4803-CDP-MEL

PROJECT:
822 ANGELUS
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ARCHITECT: **DU**

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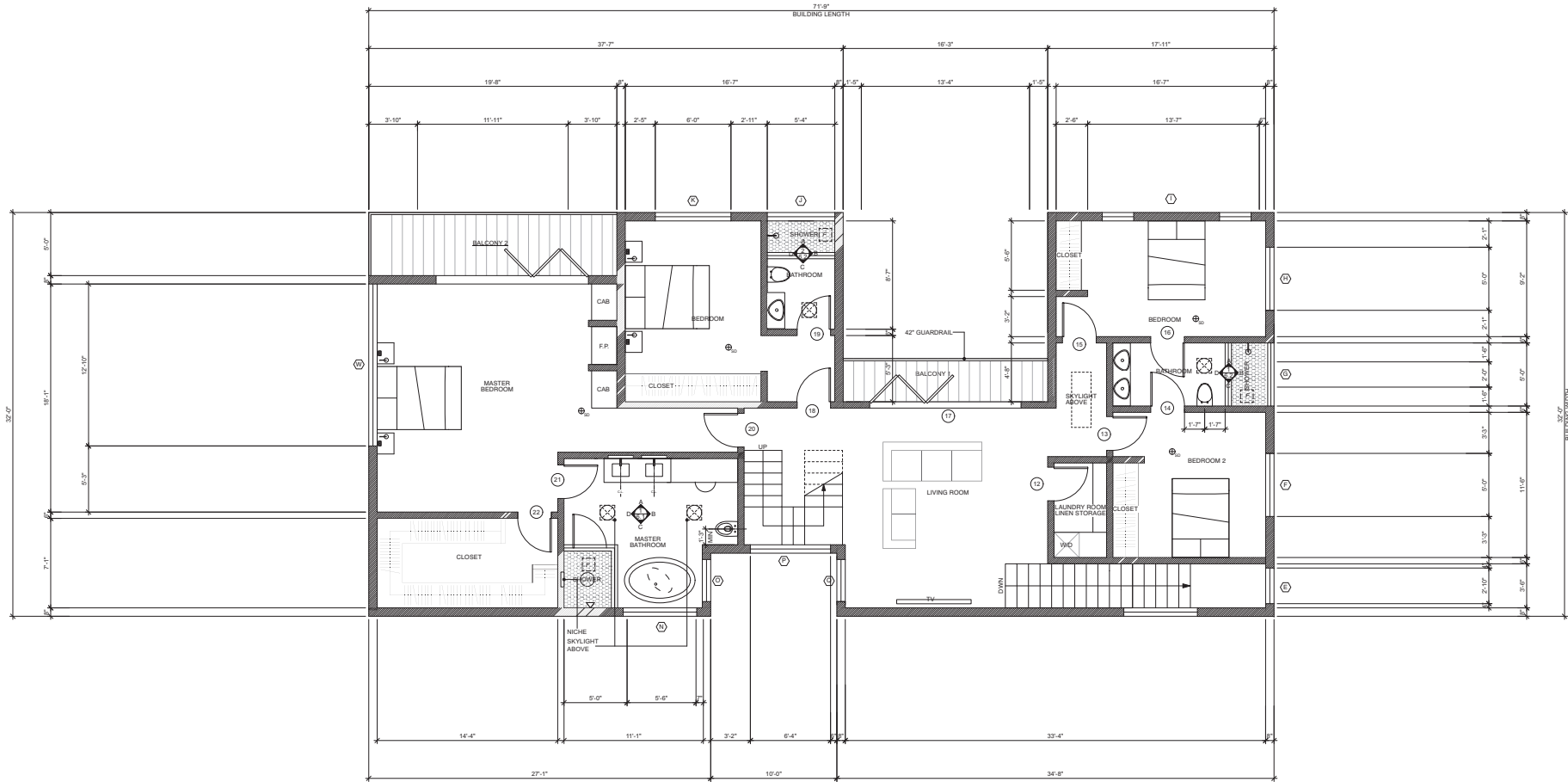
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SECOND FLOOR PLAN



SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

LEGEND	(N) WALLS	DETAIL MARKER	INT ELEV MARKER	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	HOSE BIB
	DEMO WALLS	SECTION MARKER	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE EXHAUST (SEE A-8.0 FOR DETAILS)	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE EXHAUST (SEE A-8.0 FOR DETAILS)	DOWNSPOUT



California Coastal Commission

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Exhibit 2

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A-1.2

DATE: 05/07/2020
DRAWN: JO
SCALE:

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822 ANGELUS
PL.

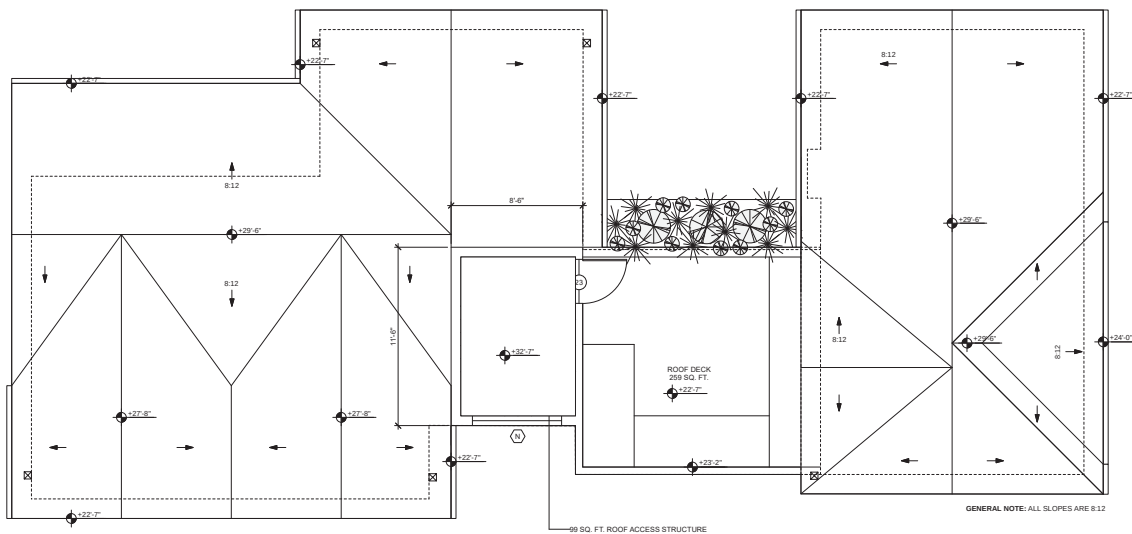
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REVISION / ISSUE:	DATE:
1. CLIENT REVIEW	08/11/2019
2. CLIENT REVIEW	01/14/2020
3. PLANNING CASE	05/27/2020
4. PLAN CHECK SUBMITTAL	04/30/2021

DATE: 07.28.21 DRAWN: BIK SCALE:

LEGEND	 (N) WALLS  DEMO WALLS	 DETAIL MARKER  SECTION MARKER	 INT. ELEV. MARKER  WALL TYPE (SEE A-0.0 FOR DETAIL)	 WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM  ENERGY STAR EXHAUST FAN (W/ ACCESSIBLE HUMIDISTAT @ 0.0 CFM MIN)	 HOSE BIB  DOWNSPOUT
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PLAN NORTH

California Coastal Commission

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Exhibit 2

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+29'-0"
 TOP OF PITCHED
 +28'-4"
 SECOND FLOOR FINISH CEILING
 @ HIGHEST POINT

+22'-11"
 ROOF DECK
 +21'-7"
 SECOND FLOOR FINISH CEILING
 @ LOWEST POINT

+13'-4"
 SECOND FLOOR FINISH FLOOR
 +11'-9"
 FIRST FLOOR FINISH CEILING

+1'-9"
 FIRST FLOOR FINISH FLOOR
 +0'-0"
 FINISH
 +29'-0" (±18.26)
 C.L. OF ANGELUS PL.

PROJECT

822 ANGELUS PL.

ARCHITECT



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EXTERIOR ELEVATIONS

DATE:	DRAWN:	SCALE:
05/07/2020	JO	1/4" = 1'-0"

A-2.0

California Coastal Commission

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Exhibit 2

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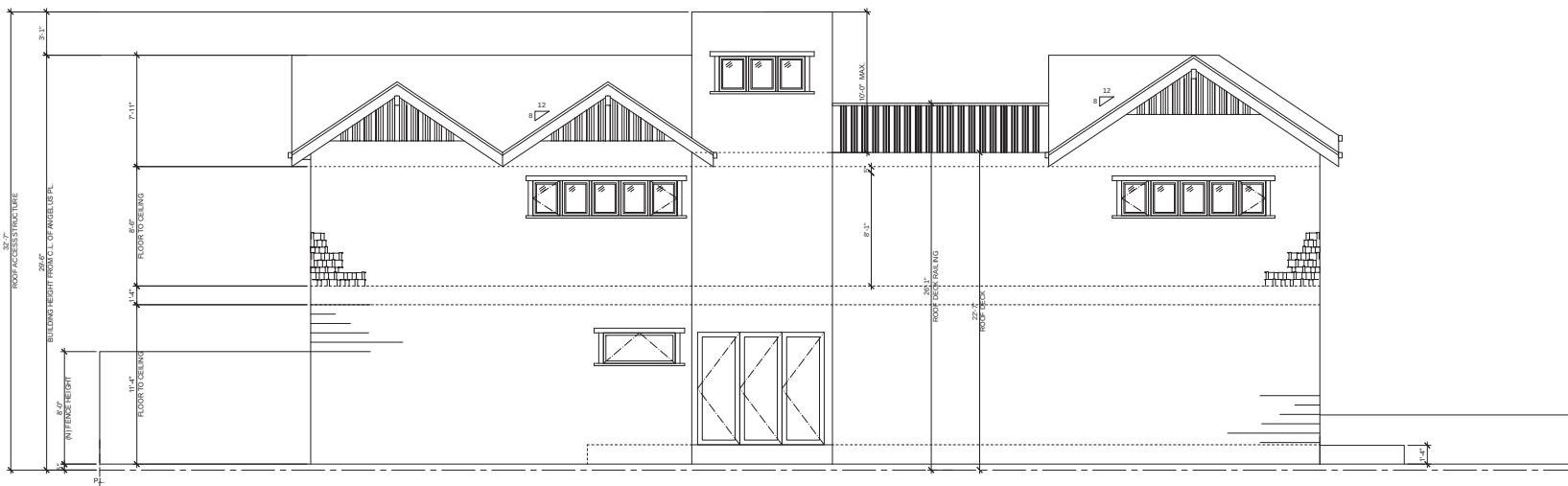


+29'-0"
 TOP OF PITCHED
 +28'-4"
 SECOND FLOOR FINISH CEILING
 @ HIGHEST POINT

+22'-11"
 ROOF DECK
 +21'-7"
 SECOND FLOOR FINISH CEILING
 @ LOWEST POINT

+13'-4"
 SECOND FLOOR FINISH FLOOR
 +11'-9"
 FIRST FLOOR FINISH CEILING

+1'-9"
 FIRST FLOOR FINISH FLOOR
 +0'-0"
 FINISH
 +29'-0" (±18.26)
 C.L. OF ANGELUS PL.

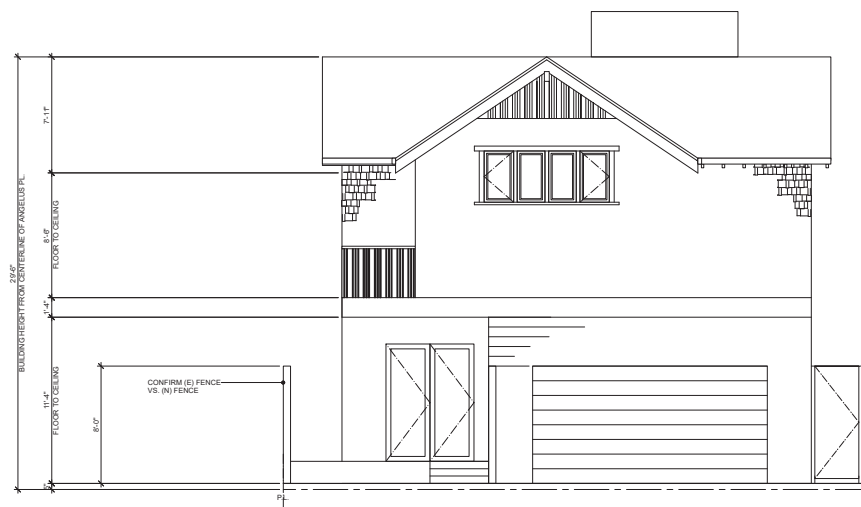


EXTERIOR ELEVATION (SOUTH)

Scale: 1/4" = 1'-0"

2

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EXTERIOR ELEVATION (WEST)

Scale: 1/4" = 1'-0"

1

- +28'-6" TOP OF PITCHED
- +28'-4" SECOND FLOOR FINISH CEILING @ HIGHEST POINT
- +22'-11" ROOF DECK
- +21'-7" SECOND FLOOR FINISH CEILING @ LOWEST POINT

- +13'-1" SECOND FLOOR FINISH FLOOR
- +11'-9" FIRST FLOOR FINISH CEILING

- +1'-9" FIRST FLOOR FINISH FLOOR
- +0'-0" GRADE
- +0'-0" (+18.20) C.L. OF ANGELUS PL.

PROJECT

822 ANGELUS PL.

ARCHITECT



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1. CLIENT REVIEW	08/11/2019
2. CLIENT REVIEW	03/14/2020
3. PLANNING CASE	05/27/2020
4. PLAN CHECK SUBMITTAL	04/30/2021

EXTERIOR ELEVATIONS

DATE	DRAWN	SCALE
07.28.21	BIK	1/4" = 1'-0"

A-2.1

California Coastal Commission

A-5-VEN-21-0067

Exhibit 2

Page 7 of 7

822 ANGELUS
PL.

DU

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FIRST FLOOR PLAN

A-1.1



California Coastal Commission
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Exhibit 3
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PROJECT:

822 ANGELUS
PL.

ARCHITECT:



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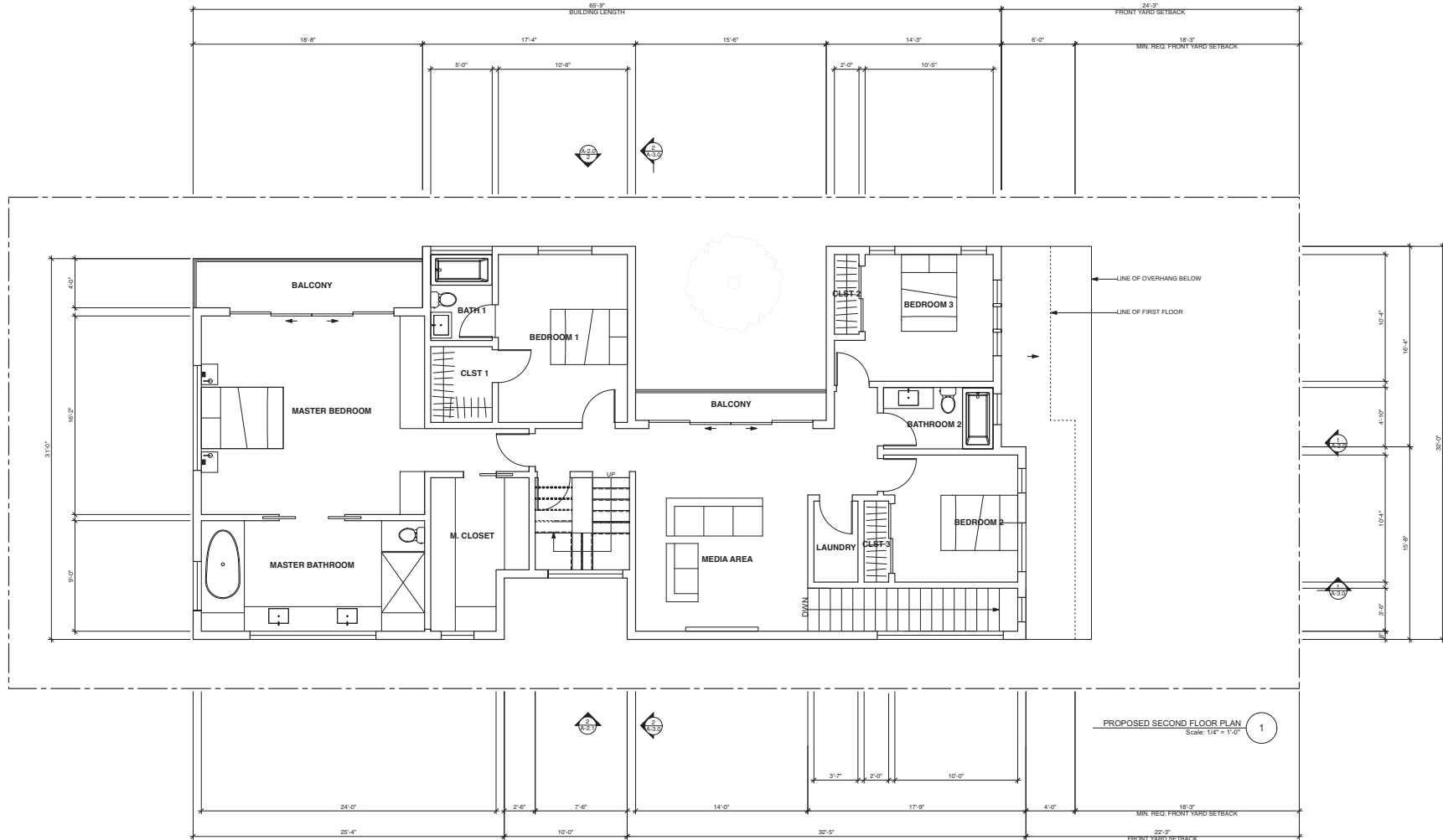
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3. PLANNING CASE	05/27/2020
4. PLAN CHECK SUBMITTAL	04.30.2021
5. P.C. CORRECTIONS	08.10.2021

SECOND FLOOR PLAN

DATE: 03.02.2022
DRAWN: BIK
SCALE: 1/4" = 1'-0"

A-1.2



LEGEND	(E) WALLS (N) WALLS	1 HR RATING REQ. 2 HR RATING REQ.	NONABSORBENT INTERIOR FLOOR AND WALL FINISHES SHALL BE USED WITHIN AT LEAST TWO FEET AROUND PERPENDICULAR TO NEW EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC.	DETAIL MARKER SECTION MARKER	INT ELEV MARKER WALL TYPE (SEE A-5.4)	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN) TERMINATED TO THE OUTSIDE	HOSE BIB DOWNSPOUT AND OVERFLOW WITHIN 6X12 SHAFT, TYP.	N
--------	------------------------	--------------------------------------	--	---------------------------------	--	---	--	---

822 ANGELUS
PL.

DU

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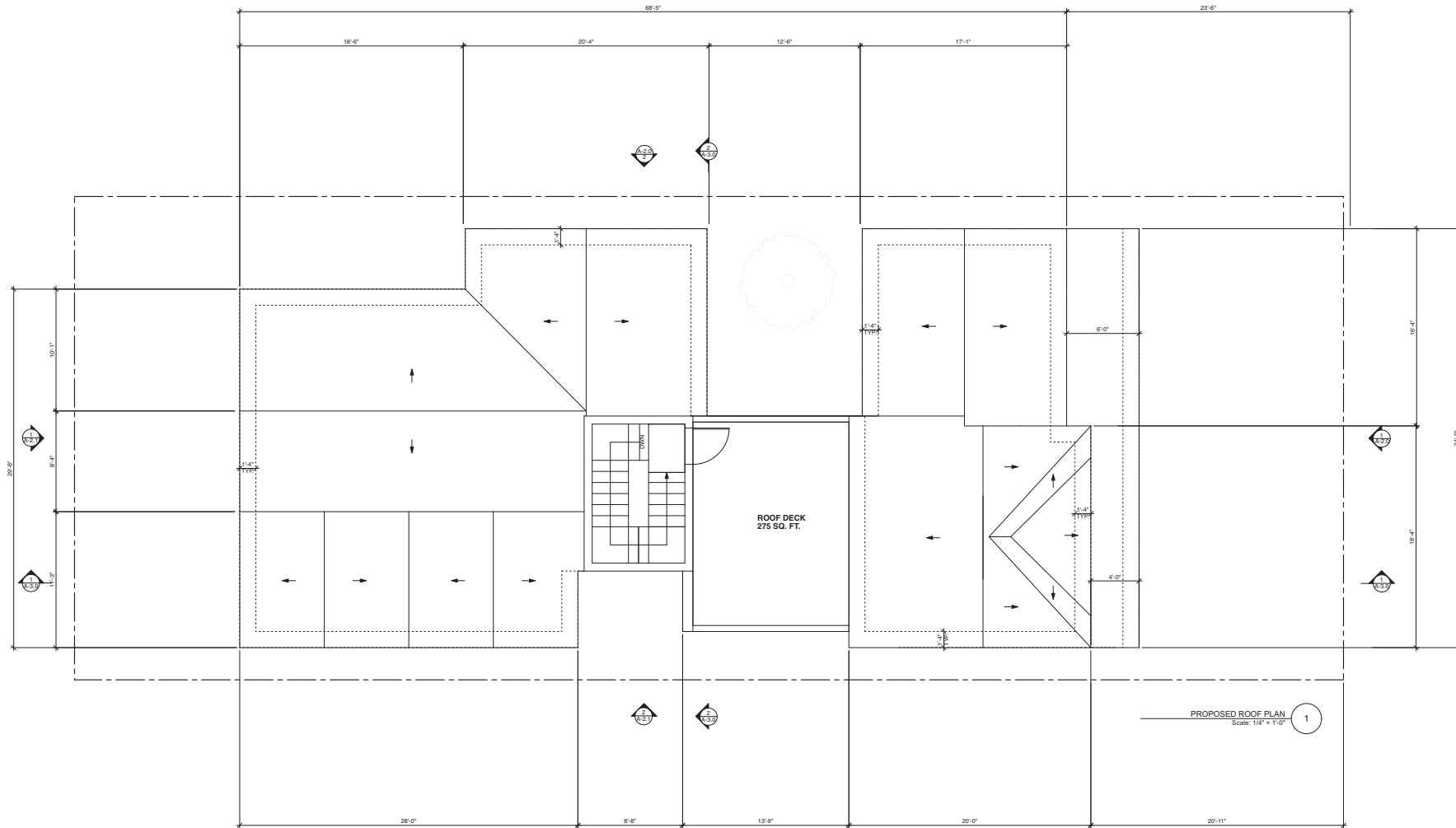
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4. PLAN CHECK SUBMITTAL	04.30.2021
5. P.C. CORRECTIONS	09.10.2021

DATE:	DRAWN:	SCALE:
03.02.2022	BIK	1/4" = 1'-0"

A-1.3



LEGEND		(E) WALLS		1 HR RATING REQ.		2 HR RATING REQ.		NONABSORBENT INTERIOR FLOOR AND WALL FINISHES SHALL BE USED WITHIN AT LEAST TWO FEET AROUND PERPENDICULAR TO NEW EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC.		DETAIL MARKER		INT ELEV MARKER		WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM		HOSE BIB		ENERGY STAR EXHAUST FAN W/ OVERFLOW (MIN 50 CFM MIN) TERMINATED TO THE OUTSIDE		DOWNSPOUT AND OVERFLOW		SHAFT TYP.		N
		(N) WALLS								SECTION MARKER		WALL TYPE (SEE A-5.4)												

PROJECT:

822 ANGELUS
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ARCHITECT:



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DATE:

08/11/2019

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05/27/2020

04/30/2021

09/10/2021

EXTERIOR ELEVATIONS

DATE:

03.02.2022

DRAWN:

BIK

SCALE:

1/4" = 1'-0"

A-2.0

California Coastal Commission

A-5-VEN-21-0067

Exhibit 3

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EXTERIOR ELEVATION (WEST)

Scale: 1/4" = 1'-0"

1



EXTERIOR ELEVATION (NORTH)

Scale: 1/4" = 1'-0"

1

PROJECT:

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EXTERIOR ELEVATIONS

DATE: 03.02.2022
DRAWN: BIK
SCALE: 1/4" = 1'-0"

