

CALIFORNIA COASTAL COMMISSION

South Coast District Office
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Long Beach, CA 90802-4302
(562) 590-5071



Th14b

5-22-0145 (RADOS)
AUGUST 11, 2022

EXHIBITS

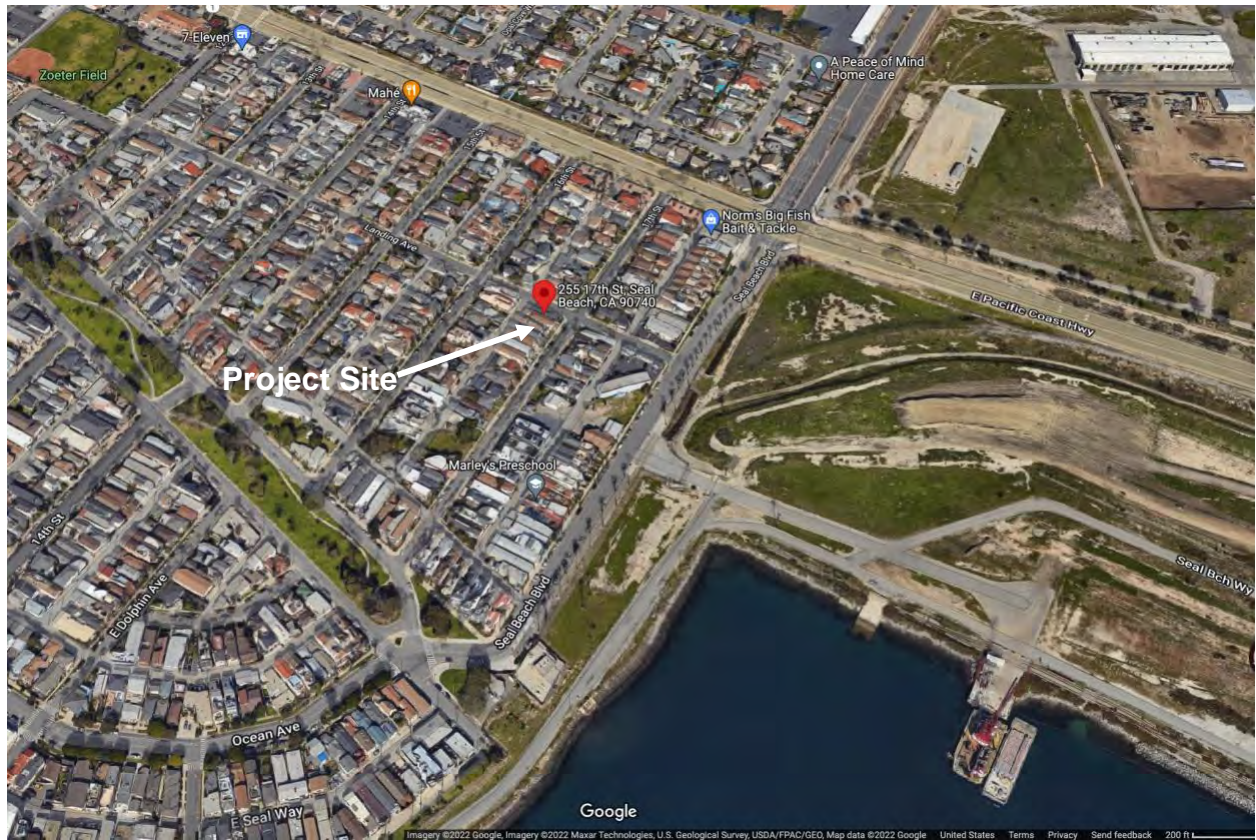
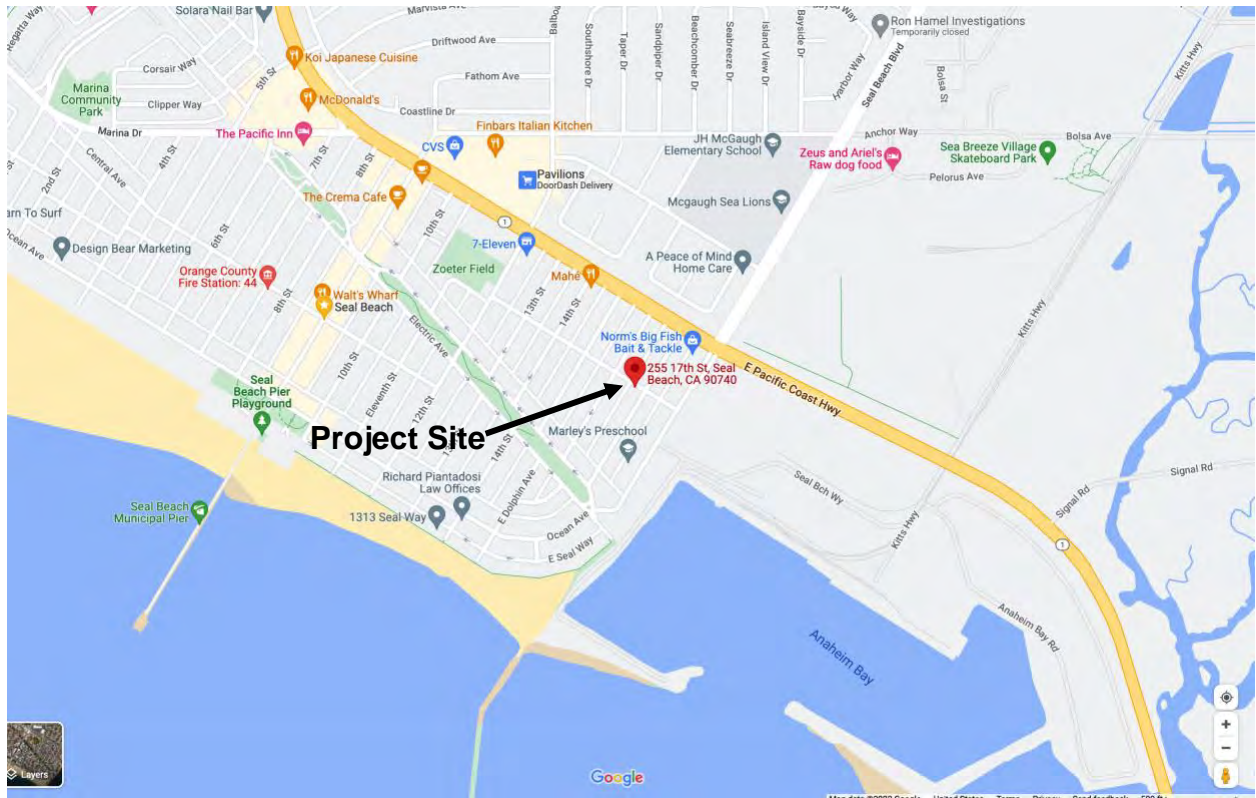
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Exhibit 1 – Project Location

Exhibit 2 – Project Plans and Elevations

Exhibit 3 – CoSMoS Flood Map Analysis

Project Site: 255 17th Street, Seal Beach, Orange County (APN: 199-064-01)





GENERAL NOTES

1. CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO VEGETATION OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR-UP. INSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINE, WHETHER OR NOT THE LINE IS LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND ADDITIONAL EXPENSES.

2. AN APPROVED SESAM: GAS SHUTOFF VALVE MUST BE INSTALLED ON THE FUEL GAS LINE ON THE TEAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE G OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PERMIT IS REQUIRED).

3. LIMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY TUBS OR TO AN EXISTING SEWAGE DISPOSAL SYSTEM (R303.6.3)

4. TOILET SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINES SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN EXISTING WATER SUPPLY (R304.4)

5. ATHTUBS AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH SHOWERHEAD, AND SHOWER VENTILATION SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL TO A HEIGHT OF NOT LESS THAN 18 INCHES ABOVE FINISH (R307.2)

6. REMOVE ULTRA-LOW FLOW WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. NIGHT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY, SUCH A LABEL MUST BE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND FINISH GRADE RATING. (RESEARCH REPORT NOT REQUIRED.) (R308.6.1)

8. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

9. EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINUTE OR 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MEANS TO DEACTIVATE FOR AT LEAST 15 MINUTES AFTER THE DOOR IS OPENED. THE DEACTIVATION SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

10. EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM REQUIREMENTS FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (R302)

11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH (R309.4)

12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR REMODEL WORK EXCEEDING ONE THOUSAND DOLLARS (\$1,000) (R314.4.2)

13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED CARBON MONOXIDE ALARMS SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R313.5.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN CERTAIN DWELLING UNITS OR SLEEPING UNITS FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

14. VERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT OR TO EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.

15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

16. UTILITY PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE IS CONSTRUCTED OF A MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.2)

17. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.1.1, ITEM 4 (R302.5.3).

18. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE ROAD FRONTING THE PROPERTY. (R319.1)

19. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES. CUT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

20. JOISTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3)

21. ENCLICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.

22. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE ROAD FRONTING THE PROPERTY. (R319.1)

23. REMOVE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIXITY IS RECORDED BY THE CITY AND AGREED WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED (A306)

INSTRUCTION NOTES

*ARABE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.

TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE.

WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 UNLESS THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE ARCHITECT SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS PRIOR TO INSPECTION.

LESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER RECEIVING SYSTEM. PROVIDINGS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.

19. SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO THE START OF ANY DEMOLITION, ADDITION, OR REMODEL WORK. THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21865 COPLEY DRIVE IN DIAMOND BAR. PHONE NO. (909) 399-2000. BE ADVISED, SCAQMD MAY REQUIRE A 10 DAY WAIT PERIOD PRIOR TO START OF WORK.

20. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING TRANSPORTED INTO THE PUBLIC WAY. ACCIDENTAL DISPOSITIONS MUST BE WASHED DOWN BY RAIN OR OTHER MEANS.

21. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE IMMEDIATELY COVERED AND TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

22. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

23. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH SECTION R303.1 AND NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. LEAD-SAFE WORK PRACTICES ARE REQUIRED FOR ALL REPAIRS THAT DISTURB EXISTING PAINT IN PRE-1979 BUILDINGS. FAILURE TO DO SO COULD CREATE LEAD HAZARDS THAT VIOLATE CALIFORNIA HEALTH AND SAFETY CODE, SECTION 17920.10 AND 10524 WITH POTENTIAL FINES FOR VIOLATIONS UP TO \$10,000 (SECTION 10524.1) AND IMPROVEMENT FOR NOT MORE THAN A MONTH IN THE COUNTY JAIL OR BOTH.

24. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.

FIRE PROTECTION NOTES

A. AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN NEW ONE- AND TWO-FAMILY DWELLINGS (R313.2)

B. AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH FPA 130 (R313.2.1)

C. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL (R314)

D. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)



the RADOS RESIDENCE
SEAL BEACH, CALIFORNIA

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CITY OF SEAL BEACH NOTES

- AT TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE.
- WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 UNLESS THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE ARCHITECT SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS PRIOR TO INSPECTION.
- LESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER RECEIVING SYSTEM. PROVIDINGS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO THE START OF ANY DEMOLITION, ADDITION, AND/OR REMODEL WORK. THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21865 COPLEY DRIVE IN DIAMOND BAR. PHONE NUMBER (909) 399-2000. BE ADVISED, SCAQMD MAY REQUIRE A 10 DAY WAIT PERIOD PRIOR TO START OF WORK.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DISPOSITIONS MUST BE WASHED DOWN BY RAIN OR OTHER MEANS.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE IMMEDIATELY COVERED AND TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH SECTION R303.1 AND NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO THE START OF DEMOLITION, ADDITION, AND/OR REMODEL WORK. THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21865 COPLEY DRIVE IN DIAMOND BAR. PHONE NO. (909) 399-2000. BE ADVISED, SCAQMD MAY REQUIRE A 10-DAY WAIT PERIOD PRIOR TO START OF WORK. DUE TO THE POSSIBLE PRESENCE OF LEAD-BASED PAINT, LEAD-SAFE WORK PRACTICES ARE REQUIRED FOR ALL REPAIRS THAT DISTURB EXISTING PAINT IN PRE-1979 BUILDINGS. FAILURE TO DO SO COULD CREATE LEAD HAZARDS THAT VIOLATE CALIFORNIA HEALTH AND SAFETY CODE, SECTION 17920.10 AND 10524 WITH POTENTIAL FINES FOR VIOLATIONS UP TO \$10,000 (SECTION 10524.1) AND IMPROVEMENT FOR NOT MORE THAN A MONTH IN THE COUNTY JAIL OR BOTH.
- THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
- SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.

CALGREEN RECYCLING REQUIREMENT

- PROJECTS REQUIRING CALGREEN CODE COMPLIANCE MUST RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 45% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALGREEN CODE SECTIONS 4.406.1 AND 5.46.1.
- CALGREEN RECYCLING REQUIREMENT: TO COMPLY, THIS PROJECT REQUIRES THE USE OF A FRANCHISE MAJOR. FRANCHISE MAJOR FORMS SHALL BE SUBMITTED AND SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE START OF THESE PLANS BEING APPROVED. CONTACT THE CITY PERMIT TECHNICIAN FOR A COPY OF THE WASTE MANAGEMENT FORMS.



VICINITY MAP

Coastal Compliance
Exhibit 2
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PROJECT TEAM

ARCHITECT

STEVEN B. SENNICOFF
SENNICOFF ARCHITECTS, INC.
5500 EAST 2ND STREET, SUITE 2
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562.344.5438

STRUCTURAL ENGINEER

MARGARITO CASTILLO
CASTILLO ENGINEERING, INC.
1208 FIVE AVENUE, SUITE 201
LONG BEACH, CALIFORNIA 90813
562.961.5600, EXT. 712

TITLE-24 CONSULTANT

ATLONZA YAZDANFAR
ENERGY COMPLIANCE SERVICES
5702 HERSHOLF AVENUE
LAKEWOOD, CA 90712
661.946.1741

PROJECT DATA

OWNER

ASHLEY AND CAMERON RADOS
255 17TH STREET
SEAL BEACH, CA 90740

PROJECT ADDRESS

255 17TH STREET
SEAL BEACH, CA 90740

ASSESSOR PARCEL NUMBER (APN)

199-046-01

SCOPE OF WORK

AN INTERIOR AND EXTERIOR REMODEL AND SECOND FLOOR ADDITION WITH NEW ROOF DECK ABOVE TO AN EXISTING ONE-STORY, SINGLE-FAMILY HOME WITH EXISTING ATTACHED TWO-CAR GARAGE.

SQUARE FOOTAGES:

EXISTING FIRST FLOOR	=	867.76 SF
NEW FIRST FLOOR	=	542.75 SF
TOTAL FIRST FLOOR	=	922.73 SF
NEW SECOND FLOOR	=	1346.38 SF
TOTAL LIVABLE	=	2269.11 SF
EXISTING GARAGE	=	429.56 SF
REMODELED PORCH	=	68.34 SF
NEW ROOF DECK	=	864.32 SF

PROJECT BUILDING CODES

THIS PROJECT SHALL CONFORM WITH THE FOLLOWING:
2019 CALIFORNIA BUILDING CODE- TITLE 24, PART 2
2019 CALIFORNIA RESIDENTIAL CODE- TITLE 24, PART 2.5
2019 CALIFORNIA ELECTRICAL CODE- TITLE 24, PART 3
2019 CALIFORNIA MECHANICAL CODE- TITLE 24, PART 4
2019 CALIFORNIA PLUMBING CODE- TITLE 24, PART 5
2019 CALIFORNIA ENERGY CODE- TITLE 24, PART 6
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE- TITLE 24, PART 11
FOR FIRE SPRINKLER SYSTEM NFPA 13D
ALL LOCAL CODES AND ORDINANCES

OCCUPANCY:

R-3/U

CONSTRUCTION:

TYPE V-B

FIRE SPRINKLERS: YES, REFER TO NOTES ON THIS SHEET

562.344.5438

RESIDENTIAL REMODEL / ADDITION
The Rados Residence



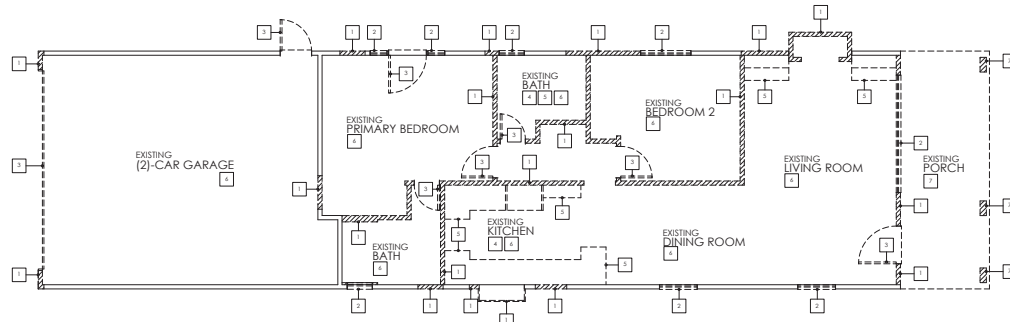
SET REVISIONS

PLAN CHECK NUMBER

SET ISSUE DATE
10 MAY 2022

TITLE SHEET
SHEET NUMBER

T



DEMOLITION PLAN
SCALE: 1/4"=1'-0"

REMODEL NOTES

1. ALL WORK SHALL COMPLY WITH THE APPROPRIATE SECTIONS OF THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE.
2. ALL DIMENSIONS NOTED ARE FIELD MEASURED TO EXISTING WALL FINISHES. DIMENSIONS ARE INDICATED TO PROVIDE A ROUGH BASIS FOR MATERIAL TAKE-OFFS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND MAKE ANY ADJUSTMENTS NECESSARY REGARDLESS OF ANY DIMENSIONS NOTED.
3. IF SPECIFIC CONDITIONS ARE NOT DETAILED, THE CONSTRUCTION SHALL BE OF THE GENERAL NATURE AS THAT SHOWN AND/OR DETAILED ON PLANS, AND SHALL FOLLOW STANDARD CONSTRUCTION PRACTICES AND CODES.
4. FOR ADDITIONAL INFORMATION, REFER TO SCHEDULES AND THE TITLE 24 COMPLIANCE REPORT.

DEMOLITION PLAN NOTES

1. ALL WORK SHALL COMPLY WITH THE APPROPRIATE SECTIONS OF THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE.
2. ALL DIMENSIONS NOTED ARE FIELD MEASURED TO EXISTING WALL FINISHES. DIMENSIONS ARE INDICATED TO PROVIDE A ROUGH BASIS FOR MATERIAL TAKE-OFFS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND MAKE ANY ADJUSTMENTS NECESSARY REGARDLESS OF ANY DIMENSIONS NOTED.
3. INTERIOR PLASTER SHALL BE REMOVED FROM ALL WALLS AND CEILING PROVIDE NEW 5/8" GYPSUM BOARD AT NEW AND REMODELED WALLS AND CEILING AS INDICATED ON PLANS (TYPICAL U.N.O.)
4. IF SPECIFIC CONDITIONS ARE NOT DETAILED, THE CONSTRUCTION SHALL BE OF THE GENERAL NATURE AS THAT SHOWN AND/OR DETAILED ON PLANS, AND SHALL FOLLOW STANDARD CONSTRUCTION PRACTICES AND CODES.
5. DEMOLITION MAY BE REQUIRED IN OTHER AREAS OF THE PROJECT BASED ON NEW STRUCTURAL DESIGN AND LAY-OUT. THE CONTRACTOR IS TO REVIEW DRAWINGS AND OVERALL PROJECT PRIOR TO DEMOLITION TO DETERMINE BEST DEMOLITION PRACTICES AND STANDARDS.

DEMOLITION PLAN KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE DEMOLITION PLAN ONLY.

- 1 REMOVE EXISTING 2X WOOD FRAMED WALL. MAKE AREA READY FOR NEW CONSTRUCTION FLOOR PLAN
- 2 REMOVE EXISTING WINDOW. MAKE AREA READY TO RECEIVE NEW CONSTRUCTION OR WINDOW PER FLOOR PLAN
- 3 REMOVE EXISTING DOOR. MAKE AREA READY TO RECEIVE NEW CONSTRUCTION OR DOOR PER FLOOR PLAN
- 4 REMOVE ALL PLUMBING FIXTURES AND APPLIANCES. VERIFY WITH OWNER WHICH APPLIANCES WILL BE SALVAGED FOR REUSE
- 5 REMOVE ALL CABINETS, LOWER AND UPPER CABINETS. PREP FOR NEW CABINETS AND APPLIANCES. PER PLAN
- 6 REMOVE EXISTING CEILING AND ROOF SYSTEM ABOVE
- 7 REMOVE EXISTING PORCH STRUCTURE. MAKE AREA READY FOR NEW CONSTRUCTION

DEMOLITION CALCULATIONS

TOTAL LINEAR FOOTAGE OF EXTERIOR WALLS OF HOUSE: 178.00'
 TOTAL LINEAR FOOTAGE OF EXTERIOR WALLS TO BE REMOVED: 23.38'
 TOTAL LINEAR FOOTAGE OF EXTERIOR WALLS TO REMAIN: 144.62'
 144.62 / 178.00 = 81.28% OF EXISTING WALLS TO REMAIN

SITE DATA

LOT ZONING:	RHD-20 (RESIDENTIAL HIGH DENSITY - 20)
LOT SIZE:	25.00' x 100.00'
LOT AREA:	2500.00 S.F.
MINIMUM SETBACKS:	FRONT = 12'-0" AVERAGE / 6'-0" MINIMUM SIDE = 3'-0" INTERIOR SIDE / 3'-0" EXTERIOR SIDE REAR = 24'-0" MINUS THE ALLEY WIDTH
MAXIMUM BUILDING HEIGHT:	= 25'-0"
LOT COVERAGE:	MAX. ALLOWED = 75.00% = 1875.00 S.F. PROPOSED = 60.44% = 1511.00 S.F.
PRIVATE OPEN SPACE:	MINIMUM (PROPOSED) = 200.00 S.F. PROPOSED = 844.33 S.F.

SITE NOTES

1. OBTAIN PERMIT FROM PUBLIC WORKS ENGINEERING DEPT. PRIOR TO DOING ANY SIDEWALK, CURB WORK OR ANY WORK IN A PUBLIC RIGHT-OF-WAY.
2. VERIFY ALL UTILITY LOCATIONS (UNDERGROUND WATER, GAS, SEWER, ETC.) PRIOR TO EXCAVATION.
3. ALL SEWER PIPES RUNNING UNDER THE BUILDING, CONCRETE SLABS, PORCHES AND WALLS SHALL BE AS-BUILT.
4. SEPARATE PERMITS SHALL BE REQUIRED FOR GRADING (REMOVAL & RE-COMPACTING), SWIMMING POOLS, DEMOLITION AND TREE STANDINGS PERMITS.
5. NO PERSON SHALL PERFORM ANY WORK ON ANY BUILDING OR STRUCTURE ADJACENT TO A PUBLIC WAY IN GENERAL USE BY THE PUBLIC FOR PEDESTRIAN TRAVEL, UNLESS THE PEDESTRIANS SHALL BE PROTECTED BY FENCES, CANOPIES, OR OTHER SAFETY DEVICES.
6. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
7. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBER OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY VISIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)
8. PROVIDE A WEATHER BASED CONTROLLER FOR AN AUTOMATIC IRRIGATION SYSTEM (L3A.3.1)
9. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOLID PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVERTED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.
10. NO WALLS OR ACCESSORY STRUCTURES THAT EXCEED 42" IN HEIGHT ARE ALLOWED WITH THE FRONT YARD SETBACK OF 12'-0"
11. EXISTING STREET TREE SHALL BE PROTECTED SURFACE (UNAUTHORIZED TREE REMOVAL WILL BRINGER SUBSTANTIAL PENALTIES FOR ALL OF THE PARTIES INVOLVED)
12. A NEW SEWER CLEANOUT NEEDS TO BE INSTALLED ON THE EXISTING SEWER (APPROX 20'-0" DIA.) WITH A 18" PLASTIC CLEANOUT BOX AND COVER, ADJACENT TO THE PROPERTY LINE ON BELLS STREET PUBLIC.
13. ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A 1"-42" LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.
14. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - A. CONTROLLER SHALL BE WEATHER OR SOIL MOISTURE BASED THAT AUTOMATICALLY ADJUSTS IRRIGATION IN RESPONSE TO CHANGES IN PLANT NEEDS AS WEATHER CONDITIONS CHANGE.
 - B. WEATHER-BASED CONTROLLER WITHOUT METEOROLOGICAL SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE SEPARATE WIRING OR WIRELESS SENSORS, WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLERS.

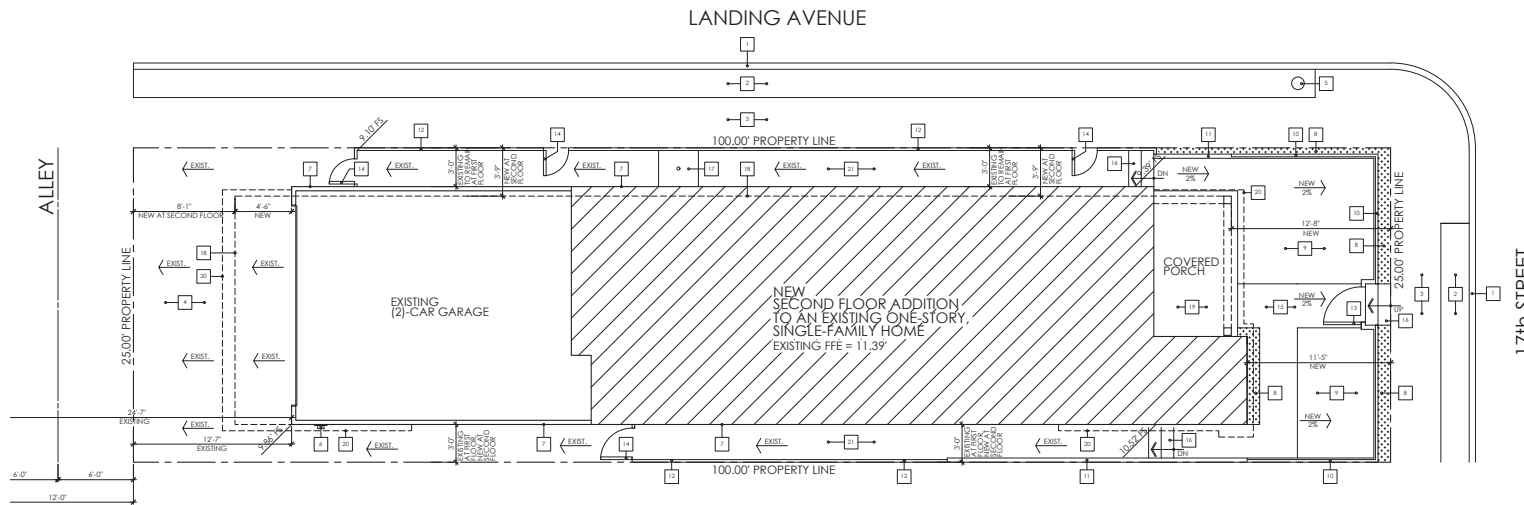
SITE PLAN KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE SITE PLAN ONLY.

- 1 EXISTING CONCRETE CURB
- 2 EXISTING PUBLIC PARKWAY
- 3 EXISTING PUBLIC CONCRETE SIDEWALK
- 4 EXISTING CONCRETE DRIVEWAY TO REMAIN
- 5 EXISTING PALM TREE TO REMAIN
- 6 EXISTING ELECTRICAL PANEL TO REMAIN
- 7 LINE OF EXISTING FIRST FLOOR
- 8 NEW LANDSCAPE PLANTER WITH WATER RETENTION, PLANTING TO BE MAINTAIN, DROUGHT-TOLERANT, NON-INVASIVE SPECIES
- 9 NEW RAISED TURF YARD
- 10 NEW LOW FENCE OVER RETAINING WALL
- 11 NEW MASONRY WALL
- 12 NEW VINYL FENCE
- 13 NEW WOOD LOW GATE
- 14 NEW VINYL GATE
- 15 NEW CONCRETE WALK
- 16 NEW CONCRETE STEPS
- 17 NEW OUTDOOR SHOWER AND DRAIN
- 18 LINE OF NEW SECOND FLOOR ADDITION ABOVE
- 19 NEW CONCRETE PORCH - OWNER TO SELECT FINISH MATERIAL
- 20 LINE OF NEW ROOF EAVE ABOVE
- 21 EXISTING CONCRETE WALK AT SIDEYARDS

LANDSCAPE NOTE

1. PLANTER LANDSCAPE SHALL BE DROUGHT TOLERANT, NON-INVASIVE VEGETATION.



SITE PLAN
SCALE: 1/4"=1'-0"

562.344.5438

RESIDENTIAL REMODEL / ADDITION
The Rados Residence



SET REVIEWS

SHEET NUMBER
FLAN/CHECK NUMBER
10 MAY 2022

A 1

DOOR PLAN NOTES

- 3** INDICATES NEW 2X WOOD FRAMED WALLS [S.N.O.]
- 4** INDICATES 4" x 4" SQUARE OPENINGS OR CEILING AT THE FIRST AND SECOND FLOORS [S.N.O.]

DETECTORS

SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE 10V, PERMANENTLY WIRED, INTERCONNECTED, AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. REFER TO ELECTRICAL PLANS.

TITRATION

SHOWER COMPARTMENTS AND WALLS ABOVE BATHVITAE WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE FLOOR (R307.2).

SHOWER DOORS SHALL SWING OUT. THE AREA OF SHOWER RECEPTOR SHALL NOT BE LESS THAN 1.284 SQUARE INCHES OF FLOOR AREA, AND ENCOMPASS A 30 INCH DIAMETER CIRCLE, MINIMUM. (IC 411.7)

BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH A MINIMUM GLAZING AREA OF 3 SQUARE FEET, ONE HALF OPENABLE. THE GLAZED AREAS ARE NOT REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION OF 30 CFM INTERMITTENT OR 25 CFM CONTINUOUS PROVIDED. (R303.3)

PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R308)

DO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION, NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO A SIMILAR ROOM. (IPC 402.5)

AIRWAYS AND HANDRAILS
STAIRWAYS: MAXIMUM RISE OF 7.75" AND A MINIMUM RUN (HEAD OF 10" R311.2.5) STAIR SHALL BE PROVIDED WITH 2" TO 2.25" NOSING WHEN THE TREAD DEPTH IS LESS THAN 11" R311.7.3.3 AND EXCEPT, 1. THE TREAD OR RISE VARIANCE SHALL NOT EXCEED 1/8" WITH ANY FLIGHT OR STAIR.

STAIRWAYS: MINIMUM HEAD ROOM CLEARANCE SHALL BE 6' 8". STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 36" ABOVE THE FINISHED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT (R311.7.1)

ALTERNATING TREAD DEVICES AND SHIP LADDERS SHALL NOT BE USED AS AN ELEMENT OF A MEANS OF EGRESS. R311.7.1.1 AND R311.7.1.2

PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES R311.7.8

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE TREAD NOSING TO FINISHED SURFACE OF THE GRIP SURFACE, SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF AT LEAST 1" BETWEEN THE WALL AND THE HANDRAIL. (R311.7.1)

HANDRAILS WITH A CIRCULAR SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 1 1/4 INCHES WITH A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.51" INCH. (IRC 111.7.8.3)

HANDRAILS WITH OTHER THAN CIRCULAR CROSS SECTIONS SHALL HAVE A PERIMETER OF 4 INCHES TO 4.25 INCHES WITH A MAXIMUM CROSS SECTION DIMENSION OF 2.25 INCHES. (RC117.8.5 ITEM 1)

HANDRAILS WITH A PERIMETER GREATER THAN 6.25 INCHES SHALL COMPLY WITH (R311.7.8.3) ITEM 2.

HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POST OR OTHER OBSTRUCTION, EXCEPT AT THE LANDING, VOLUTE, OR TURNOUT ON LOWEST TREAD. (R311.7.8.2) EXCEPTION 1 & 2.

CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1.5 INCHES MINIMUM. (R311.7.8.2)

STAIRWAY LANDINGS SHALL HAVE DEPTH, IN THE DIRECTION OF TRAVEL, SAME AS STAIRWAY WIDTH.

JARDS (GUARDRAILS)
ROVEE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30 INCHES ABOVE VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. (R312.1)

GUARD HEIGHT SHALL BE A MINIMUM OF 42 INCHES. (R312.2)

OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL PRECLUDE THE PASSAGE OF A 4 INCH DIAMETER SPHERE. (R312.3)

IF TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 4 INCH DIAMETER SPHERE. (R312.3) EXCEPTION 1.

OPENINGS BETWEEN INTERMEDIATE BALUSTERS ON THE OPEN SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4-3/8 INCH DIAMETER SPHERE. (R312.3) EXCEPTION 2.

LANDINGS
LANDING LENGTHS AT ALL EXTERIOR DOORS SHALL BE A MINIMUM OF 36 INCHES IN THE DIRECTION OF TRAVEL. (R313)

LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 INCHES LOWER THAN THE TOP OF THE THRESHOLD. THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 1/2 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LOWER LANDING OR FLOOR. (R311.3.1)

RESHOLDS
ENTRY/EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 15" BELOW THE THRESHOLD.
EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDINGS SHALL BE NOT MORE THAN 7 1/2" BELOW THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS (R311.3.1)

MBING NOTE
OPEN SINKS, LAVATORIES, BATHVITAE, SHOWERS, BIDETS, LAUNDRY BLS, AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT ID COLD WATER AND CONNECTED TO AN APPROVED WATER FIXTURE (R304.4)

EJECTION AGAINST DECAY & TERMITES
DO NOT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE DIRECT CONTACT WITH THE GROUND THAT SUPPORTS PERMANENT FIXTURES FOR HUMAN OCCUPANCY SHALL BE APPROVED. (R304.4)

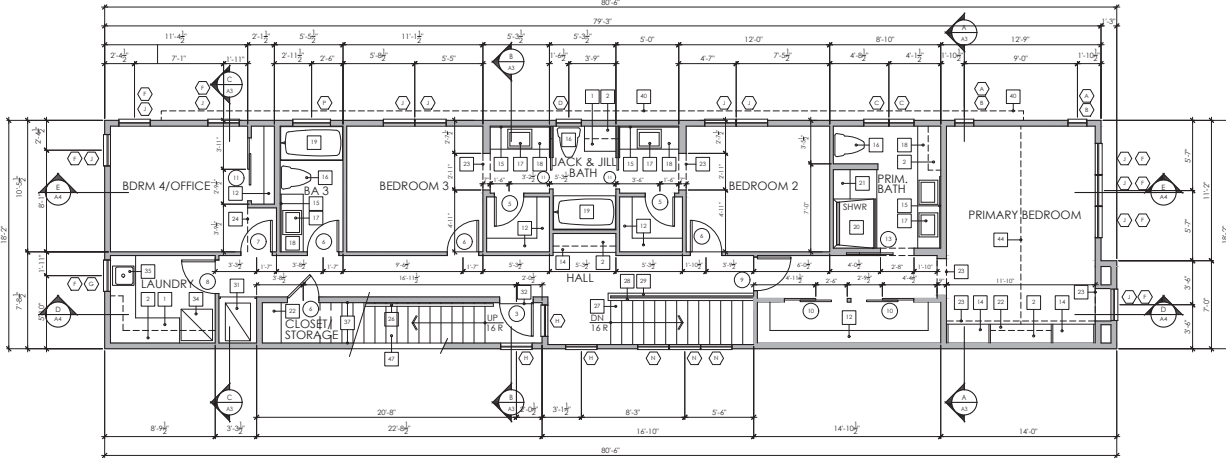
ESBANKING TREATED (R317.2)

DO NOT COLUMN TO BE OR APPROVED NATURAL DECAY RESISTANT DO NOT APPROVED PRESSURE-PRESERVATIVE TREATED WOOD, LESS SUPPORTIVE IN ACCORDANCE WITH SECTION R317.1.4.

OMATIC FIRE SPRINKLERS NOTE
PROJECT IS SUBJECT TO AUTOMATIC FIRE SPRINKLER SYSTEM PER SECTION R313 OF THE CALIFORNIA RESIDENCE CODE AND NFPA 13. A SPRINKLER SYSTEM SHALL BE APPROVED BY THE PLUMBING DIVISION FOR INSTALLATION.

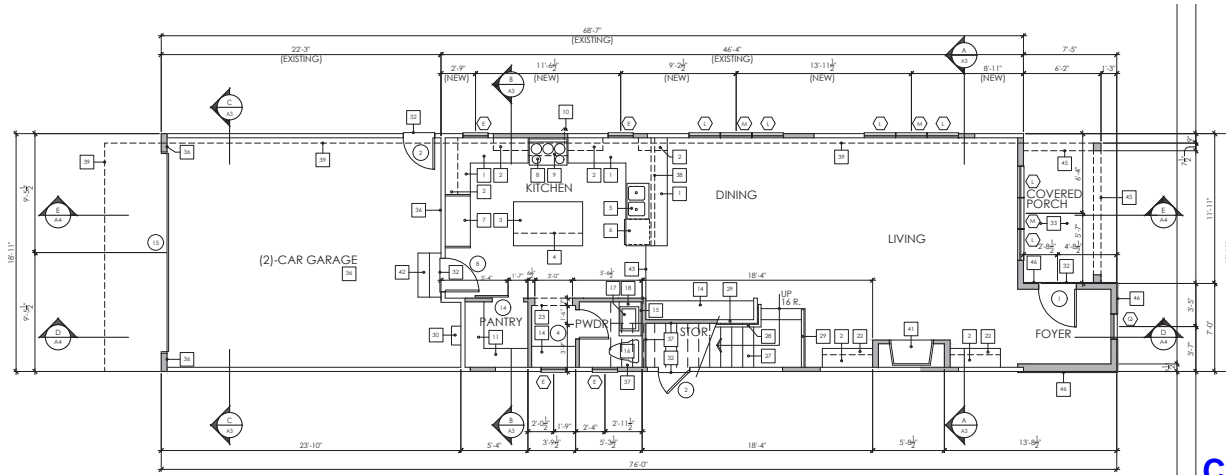
ETITRATIONS
GLAZING PENETRATING THE WALLS OR CEILING SEPARATING THE BUILDING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 16 GA. GALVALUME OR 48 MESH STEEL OR OTHER APPROVED MATERIAL. (R309.2)

OTHER PENETRATIONS OF GARAGE/DWELLING CEILING AND WALLS ARE TO BE PROTECTED (R309.1)



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

FLOOR PLAN KEYNOTES

- 36" HIGH X 24" DEEP BASE CABINET WITH STONE COUNTER TOP, SQUARED EDGES AND POLISHED FINISH - OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH. BACKSPLASH AT KITCHEN ONLY. TO BE SELECTED BY OWNER. OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH.
- 12" DEEP UPPER CABINETS. OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH.
- 36" HIGH CABINET ISLAND WITH STONE TOP, SQUARED EDGES AND POLISHED FINISH - OWNER TO SELECT CABINET ISLAND MATERIAL, STYLE AND FINISH.
- LINE OF LOWER CABINETS AT KITCHEN ISLAND - OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH.
- KITCHEN SINK - OWNER TO SELECT
- DISHWASHER - OWNER TO SELECT
- REFRIGERATOR/FREEZER - OWNER TO SELECT
- 36" FREESTANDING SLIDE-IN RANGE WITH INTEGRAL OVEN. OWNER TO SELECT
- EXHAUST HOOD - OWNER TO SELECT
- STOVE VENT TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEES 150 (a), EXC. 5 TO 150.2 (a) AND ASHRAE STD. 62.2 TO SELECT
- PANTRY - PROVIDE ADJUSTABLE SHELVING SYSTEM - OWNER TO SELECT
- CLOSET STORAGE SYSTEM - OWNER TO SELECT
- NOT USED
- 36" HIGH X 12" DEEP BASE CABINET WITH WOOD TOP - OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
- TEMPERED GLASS MIRROR - OWNER TO SELECT STYLE AND FINISH
- LOW FLOW TOILET - OWNER TO SELECT
- BATH SINK - OWNER TO SELECT
- 34" HIGH X 22" DEEP BUILT-IN BASE CABINETS WITH STONE TOP, SQUARED EDGES AND SPLASH WITH POLISHED FINISH - OWNER TO SELECT CABINET MATERIAL, STYLE AND FINISH
- 34" WIDE X 47" LONG FIBERGLASS WALK-IN TUB AND SHOWER. TILE ALL TO CEILING. SET TILE OVER WATER RESISTANT GYPOBOARD. OWNER TO SELECT TILE AND FINISH.
- NEW TILE SHOWER PAN AND CURB WITH TILE WALLS TO CEILING, WITH TEMPERED GLASS ENCLOSURE. SET TILE OVER WATER RESISTANT GYPOBOARD OR EQUAL.
- PROVIDE 16" DEEP TILED SEAT AT SHOWER
- FULL HEIGHT 12" DEEP BUILT-IN CABINET WITH ADJUSTABLE SHELVES. OWNER TO SELECT MATERIALS AND FINISHES
- LINE OF SOFFIT/OPENING, ABOVE
- LINE OF CEILING HEIGHT CHANGE
- SOLID GUARDRAIL. REFER TO EXTERIOR ELEVATIONS
- HANDRAIL. REFER TO FLOOR PLAN NOTES THIS SHEET
- HARDWOOD STAIRS. REFER TO FLOOR PLAN NOTES
- GUARDRAIL, 42" ABOVE FINISHED FLOOR WITH INTEGRAL HANDRAIL 3/4" TO 3/8" ABOVE STAIR NOSING. REFER TO NOTES ON THIS SHEET. OWNER TO SELECT MATERIAL, STYLE AND FINISH.
- GUARDRAIL, 42" HIGH ABOVE FINISHED FLOOR. REFER TO FLOOR PLAN NOTES THIS SHEET
- TANKLESS GAS WATER HEATER. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE A 3" CLEARANCE ON ALL SIDES, BOTTOM, TOP AND 2" FROM CURB OF THE WATER HEATER. PROVIDE COMBUSTION AIR FOR A WATER HEATER LOCATED WITHIN 12" OF THE TOP OR BOTTOM OF THE COMPARTMENT. PROVIDE WATER HEATER ANCHORS TO THE UPPER AND LOWER 1/3 OF UNIT RUN. NEW DEDICATED GAS LINE FROM 1/2" BURNER AT EXISTING GAS METER TO NEW TANKLESS GAS WATER HEATER. CONTRACTOR TO VERIFY DIAMETER OF NEW DEDICATED GAS LINE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS.
- FORCED AIR HEATING UNIT PER TITLE 24 REPORT. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS. PROVIDE A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH. UNIT CAPACITY SHALL BE NO LESS THAN 41,000 BTU.
- LINE OF DOOR THRESHOLD
- NEW CONCRETE PORCH. OWNER TO SELECT FLOOR FINISH
- STACKABLE WASHER/DRYER SYSTEM. PROVIDE ENTER VENT THROUGH ROOF TO NEAREST OUTSIDE WALL. FOR WASHER, PROVIDE RECESSED HOSE CONNECTIONS
- LAUNDRY SINK - OWNER TO SELECT
- (1) LAYER 5/8" TYPE "X" GYPOBOARD AT ALL WALLS AND CEILING OF GARAGE AT GARAGE SIDE
- (1) LAYER 5/8" TYPE "X" GYPOBOARD AT WALLS AND CEILING OF USABLE AREAS UNDER STAIRS
- LINE OF 2X FRAMED PONY WALL BELOW COUNTERTOP
- LINE OF SECOND FLOOR ABOVE
- LINE OF BUILDING BELOW
- HEAT N-GLO GAS FIREPLACE, SEALED COMBUSTION TYPE FIREPLACE, IS 3008 OR APPROVED EQUAL TO BE SELECTED BY OWNER. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- CONCRETE STEPS AT GARAGE
- LINE OF TRANSITION BETWEEN TILE FLOORING AND WOOD FLOORING
- LINE OF VALUED CEILING ABOVE
- LINE OF OUTDOOR SOFFIT ABOVE
- NEW BRICK VENEER - SEE ELEVATIONS FOR DETAIL
- WEATHERPROOF STAIRS - REFER TO FLOOR PLAN AND ROOF PLAN NOTES

TITLE-24 ENERGY REQUIREMENTS

- A MINIMUM OF 50% OF THE LUMINAIRES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY
- BATHROOMS, GARAGE, LAUNDRY OR UTILITY ROOMS MUST HAVE FLOUR-ESCENT OR HIGH EFFICACY LIGHTING AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
- BEDROOMS, LIVING ROOMS, FAMILY ROOMS, AND OTHER ROOMS USED FOR SLEEPING AND SLEEPING MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, OR DIMMERS MAY BE USED.
- EXTERIOR LIGHTING MUST BE FLUORESCENT OF HIGH EFFICACY, OR AN OCCUPANT SENSOR, WITH AN INTEGRAL PHOTO CONTROL, WITH CEILING INSULATION PER ENERGY CALCULATIONS.



SECTION NOTES

- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL CONNECTIONS AND DETAILS.
- PROVIDE BATT INSULATION AT ROOF RAFTERS AND/OR CEILING JOISTS AND EXTERIOR WALLS AS SPECIFIED IN THE TITLE 24 REPORT.

SECTION KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE SECTIONS ONLY.

- 1 NEW PLYWOOD ROOF SHEATHING- REFER TO STRUCTURAL DRAWINGS
- 2 NEW ROOF RAFTERS - REFER TO STRUCTURAL DRAWINGS
- 3 NEW WOOD BEAM- REFER TO STRUCTURAL DRAWINGS
- 4 NEW PLYWOOD DECK SHEATHING- REFER TO STRUCTURAL
- 5 NEW DECK JOISTS - REFER TO STRUCTURAL DRAWINGS
- 6 NEW 2X CEILING JOISTS - REFER TO STRUCTURAL DRAWINGS
- 7 NEW 5/8" GYP BOARD AT ALL WALLS AND CEILING
- 8 NEW 5/8" TYPE 'X' GYPBOARD AT ALL WALLS AND CEILING OF GARAGE AND AT WALLS AND CEILING AT USEABLE AREAS UNDER STAIRS.
- 9 NEW BATT INSULATION AT CEILING JOISTS AND AT ROOF RAFTERS PER THE TITLE 24 COMPLIANCE REPORT
- 10 NEW BATT INSULATION AT EXTERIOR WALLS PER THE TITLE 24 COMPLIANCE REPORT
- 11 NEW BATT INSULATION AT RAISED FLOOR, PER T-24 REPORT
- 12 NEW 2X WOOD STUDS
- 13 NEW EXTERIOR FINISH- REFER TO EXTERIOR ELEVATIONS
- 14 NEW PLYWOOD FLOOR SHEATHING- REFER TO STRUCTURAL DRAWINGS
- 15 NEW FLOOR JOISTS - REFER TO STRUCTURAL DRAWINGS
- 16 NEW STAR TRIMMS
- 17 NEW 2X STAIR FRAMING
- 18 NEW WINDOW PER PLAN
- 19 NEW CONCRETE SLAB AT COVERED PATIO. SLOPE FOR DRAINAGE REFER TO STRUCTURAL DRAWINGS
- 20 NEW CONCRETE FOOTING
- 21 NEW 1x6 T & G AT UNDERSIDE OF EXTERIOR CEILING/SOFFITS
- 22 NEW 2X SOFFIT FRAMING
- 23 EXISTING 2X WOOD STUDS
- 24 EXISTING PLYWOOD FLOOR SHEATHING
- 25 EXISTING FLOOR JOISTS
- 26 EXISTING CONCRETE SLAB
- 27 EXISTING CONCRETE FOOTING
- 28 NEW 2x RIP STRIPS
- 29 NEW 2x FRAMED SOLID GUARDRAIL- REFER TO EXTERIOR ELEVATIONS

ROOF PLAN NOTES

- ROOFING MATERIAL: CLASS 'A' STANDING SEAM METAL ROOF. MCELROY METAL BRAND. STYLE INSTALL: CC-182218. IS 200. CLASS 90 ASTM F1480. UL 263. FIRE RESISTANCE: UL 793 CLASS 'A' COLOR BY OWNER OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- MCELROY VENTED 'Y' PERFORATED CLOSURE AT RIDGE FOR VENTING 'COR-A' VENT EAVE VENT. P5-400. ASTM: E779 B7
- DECKING SYSTEM- CLASS A MIN. DESERT CRETE DECKING SYSTEM (CC-ESR-1461). OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE INSTALLATION NOTES BELOW
- ROOF AND DECK ASSEMBLY SYSTEMS SHALL BE LISTED BY APPROVED TESTING AGENCIES
- PROVIDE MINIMUM 26 GA. GALV. METAL FLASHING AT ALL DECK TO WALL CORNERING. REFER TO DETAILS
- INDICATES ROOF AND DECK PITCH. REFER TO ROOF PLAN FOR ROOF PITCH

ROOF PLAN KEYNOTES

THE KEY NOTES DIRECTLY BELOW REFER TO THE ROOF PLAN ONLY.

- 1 NEW CLASS 'A' STANDING SEAM METAL ROOF. REFER TO ROOF PLAN
- 2 NEW CANT STRIP SLOPED TO DRAIN
- 3 NEW LINE OF EDGE OF SECOND FLOOR ROOF
- 4 NEW LINE OF EDGE OF SECOND FLOOR BUILDING BELOW
- 5 ATTIC VENT PER ATTIC VENT CALCULATION
- 6 NEW METAL GALVANIZED DOWNSPOUT. PAINT TO MATCH EXTERIOR. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS
- 7 NEW METAL GALVANIZED GUTTER. PAINT TO MATCH EXTERIOR. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS
- 8 NEW 42" HIGH OBTUSCURED, TEMPERED GLASS GUARD RAIL
- 9 NEW STUCCO GUARDRAIL- 42" HIGH MIN. ABOVE FINISHED FLOOR
- 10 DECKING SYSTEM- CLASS A MIN. DESERT CRETE DECKING SYSTEM (CC-ESR-1461). OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE INSTALLATION NOTES BELOW
- 11 NEW SLIM LINE HEATING AND COOLING UNIT. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS- REFER TO TITLE 24 COMPLIANCE REPORT
- 12 (4) WATERPROOF SLOPING STUCCO ROOF AT FIRST FLOOR
- 13 PERSON HOT TUB - OWNER TO SELECT BRAND
- 14 BRQ GRILL - OWNER TO SELECT
- 15 SINK - OWNER TO SELECT
- 16 UNDER COUNTER REFRIGERATOR - OWNER TO SELECT
- 17 WEATHER PROOF STAIRS/STEPS - REFER TO KEYNOTE 10 ABOVE
- 18 HANDRAIL- 34" TO 38" ABOVE STAIR NOSING- REFER TO NOTES ON THIS SHEET
- 19 HOSE BIBB
- 20 4" SQ. G.I. OVERFLOW SCUPPER
- 21 4" ROUND DECK DRAIN
- 22 NEW STUCCO WALL AND GUARDRAIL- REFER TO EXTERIOR ELEVATIONS
- 23 36" x 30" ATTIC ACCESS
- 24 (2) 30" x 42" OBTUSCURE TEMPERED GLASS GATES
- 25 36" HIGH x 24" DEEP METAL BASE CABINET WITH METAL COUNTER TOP- OWNER TO SELECT

ATTIC VENTILATION CALCS

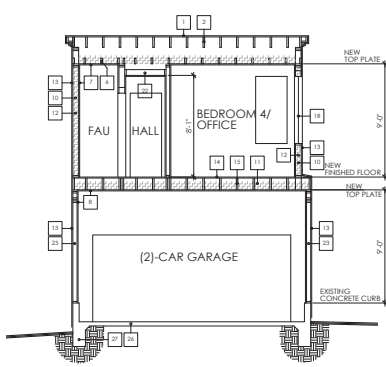
AREA 1
228.40 S.F. OF ATTIC SPACE (300 x 0.76 S.F.) OF REQUIRED VENTILATION
0.24 S.F. x 1.44 = 109.73 S.F. OF REQUIRED ATTIC VENTILATION
PROVIDE 5 LINEAL FEET OF MCELROY VENTED 'Y' PERFORATED CLOSURE AT RIDGE @ 17.44 S.F. PER LINEAL FOOT @ 87.20 S.F.
PROVIDE 4 LINEAL FEET OF VULCAN EAVE VENTS @ 9.8 S.F. PER LINEAL FOOT @ 39.20 S.F.
TOTAL ATTIC VENTILATION PROVIDED = 126.40 S.F.

ATTIC VENT NOTES

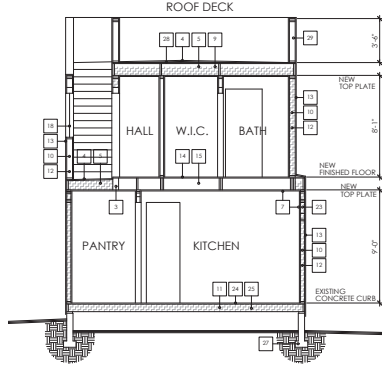
- OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE ATTIC SPACE.
- THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE ATTIC AREA.
- OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MINIMUM AND 1/4" MAXIMUM OPENING.
- 50% OF THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY MCELROY VENTED 'Y' PERFORATED CLOSURE AT RIDGE.
- WHERE THE RATIO OF 1/200 IS USED TO VENT ATTICS, NOT LESS THAN 40% BUT NOT MORE THAN 50% OF THE VENTS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE.

VAULTED RAFTER BAY NOTES

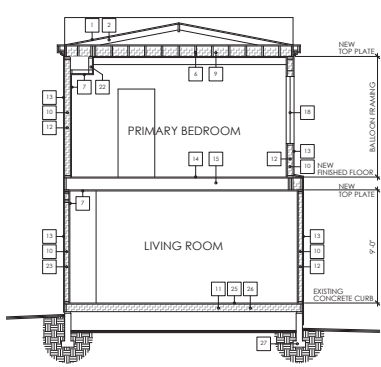
- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATING OPENINGS LOCATED AGAINST THE ENTRANCE OF RAIN OR SNOW. (R806.1)
- INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1/4" SPACES SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
- VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16" INCH MIN. AND 1/4" INCH MAXIMUM. (R806.1)



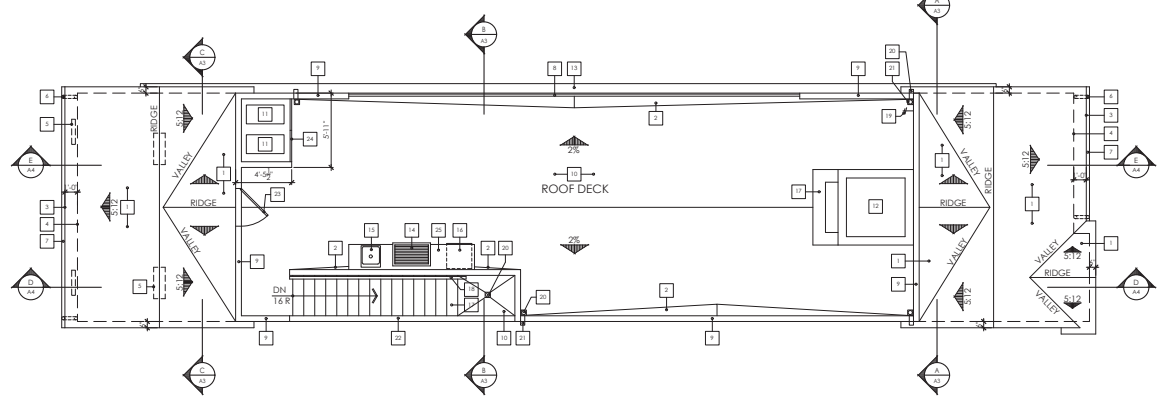
SECTION CC
SCALE: 1/4"=1'-0"



SECTION BB
SCALE: 1/4"=1'-0"



SECTION AA
SCALE: 1/4"=1'-0"



ROOF DECK / ROOF PLAN
SCALE: 1/4"=1'-0"

EXTERIOR COVERING NOTES

- EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL SYSTEM PER SECTION R703.1 OF THE 2019 CALIFORNIA RESIDENTIAL CODE.
- WATER RESISTANT BARRIER (R703.2): ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR APPROVED WATER RESISTANT BARRIER, SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS.
- WOOD SIDING SYSTEM (R703.3.2): HORIZONTAL SIDING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. WHERE THERE ARE NO RECOMMENDATIONS, THE SIDING SHALL BE LAPPED 1/2" WHERE SUBMITTED. SHALL HAVE THE ENDS SEALED AND INSTALLED OVER A STRIP OF FLASHING.
- ATTACHMENTS (R703.4): UNLESS SPECIFIED OTHERWISE, ALL WALL COVERINGS SHALL BE SECURELY FASTENED IN ACCORDANCE WITH TABLE R703.4 OR WITH APPROVED ALUMINUM, STAINLESS STEEL, INVAULTED, OR OTHER APPROVED CORROSION-RESISTIVE FASTENERS.
- EXTERIOR PLASTER (R703.4): LATH (R703.4.1): ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2" LONG, 11 GAGE NAILS HAVING A 7/16" HEAD OR 7/8" LONG, 16 GAGE STAPLES, SPACED AT NO MORE THAN 6" ON CENTER, OR AS OTHERWISE APPROVED. PLASTER (R703.4.2): PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN (3) COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH. ON WOOD-FRAME CONSTRUCTION, WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

WEEP SCREEDS (R703.4.2.1): A MINIMUM 24 GAGE GALVANIZED, CORROSION RESISTANT WEEP SCREED, OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT RANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION FLOOR LINE OF EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE LATH OR 7" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW RAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

WATER-RESISTIVE BARRIERS (R703.4.3): WATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2, AND WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO (2) LAYERS OF GRADE D PAPER.

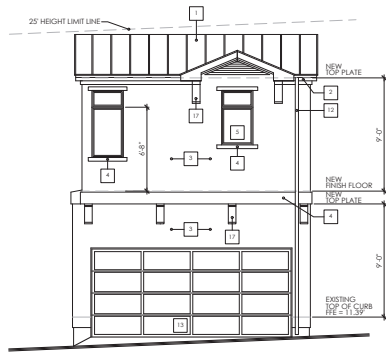
APPLICATION (R703.4.4): EACH COAT SHALL BE LEFT IN A MOIST CONDITION FOR AT LEAST 48 HOURS PRIOR TO THE APPLICATION OF THE NEXT COAT.

CURING (R703.4.5): FOR (2) COAT CEMENT PLASTER, THE SECOND COAT SHALL NOT BE APPLIED SOONER THAN 48 HOURS AFTER THE APPLICATION OF THE FIRST COAT. THE FINISH COAT SHALL NOT BE APPLIED SOONER THAN 48 HOURS AFTER THE APPLICATION OF THE SECOND COAT.

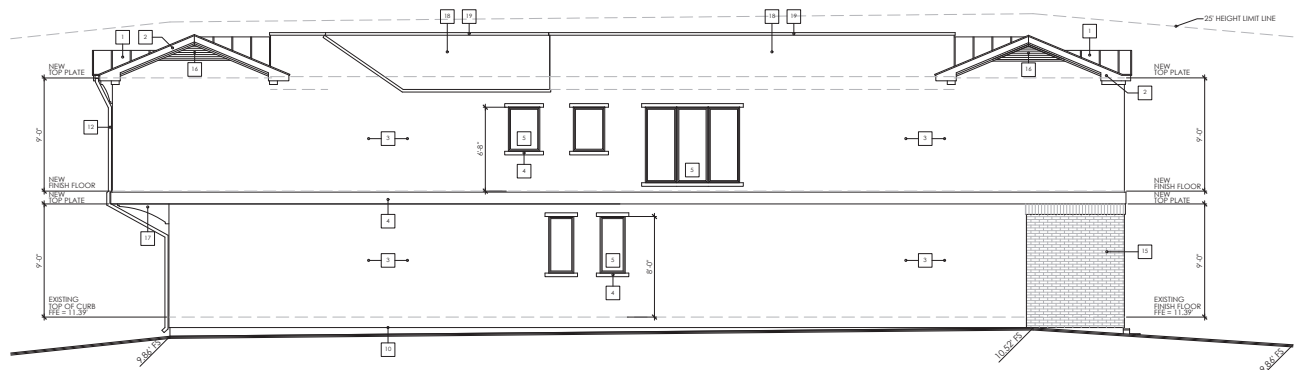
4. REFER TO SECTION R703 OF THE 2019 CALIFORNIA RESIDENTIAL CODE FOR ADDITIONAL INFORMATION.

EXT. ELEVATION KEYNOTES

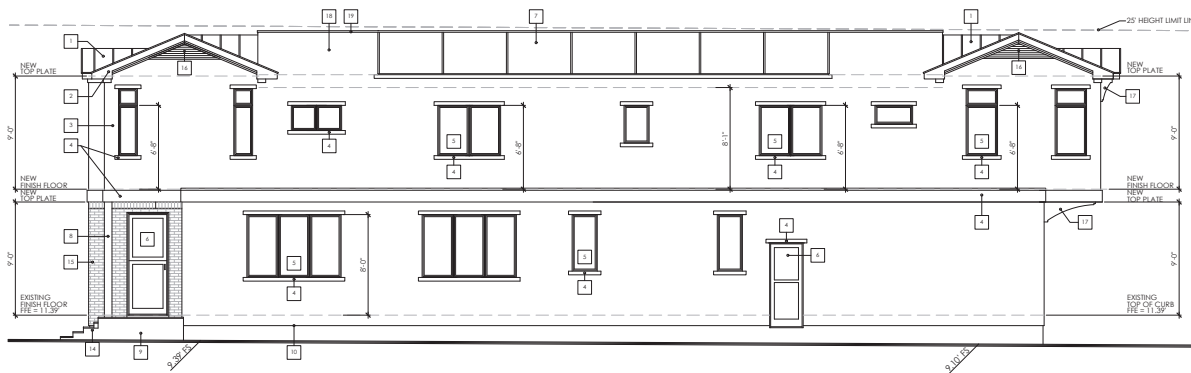
- NEW STANDING SEAM METAL ROOF, CLASS 'A', MISLEKROY METAL BRAND. REFER TO ROOF PLAN FOR NOTES AND SPECIFICATIONS.
- NEW STUCCO FASCIA AND BARGE - OWNER TO SELECT COLOR.
- 7/8" (3) COAT EXTERIOR SMOOTH STUCCO FINISH - OWNER TO SELECT COLOR
- NEW STUCCO TRIM - OWNER TO SELECT COLOR
- NEW WINDOW PER FLOOR PLAN AND SCHEDULE
- NEW DOOR PER FLOOR PLAN AND SCHEDULE
- NEW OBTURATED TEMPERED GLASS GUARDRAIL 42" ABOVE FINISHED FLOOR
- NEW WOOD POST - OWNER TO SELECT COLOR
- NEW CONCRETE PORCH. OWNER TO SELECT FINISH
- NEW 24 GAUGE GALV. METAL WEEP SCREED
- GALVANIZED METAL GUTTER, PAINTED TO MATCH EAVE
- GALVANIZED METAL DOWNSPOUT, PAINTED TO MATCH STUCCO
- NEW METAL/GLASS GARAGE DOOR
- NEW CONCRETE STEPS. OWNER TO SELECT FINISH
- BRICK VENER BY AMBRICO, ASTM E 119-88, ASTM E 72-80, INSTALL MANUFACTURER'S WRITTEN INSTRUCTIONS. OWNER TO SELECT COLOR
- NEW METAL LOUVERED ATTIC VENT
- NEW STUCCO CORBEL - OWNER TO SELECT COLOR
- NEW STUCCO GUARDRAIL - 42" MIN. ABOVE FINISHED DECK
- NEW METAL TRIM AT STUCCO GUARDRAIL



WEST ELEVATION - ALLEY
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION - LANDING AVENUE
SCALE: 1/4"=1'-0"



Coastal Commission
East Elevation - 17th Street
SCALE: 1/4"=1'-0"

562.344.5438

RESIDENTIAL REMODEL / ADDITION
The Rados Residence



EXTERIOR ELEVATIONS
SHEET NUMBER
SET REVISIONS
FLANCK CHECK NUMBER
10 MAY 2022

Exhibit 2
Page 5 of 5

Explore Scenarios

Search location

SHOW LEGEND

- Scenario Region: California Coast
- Scenario Topic: Flooding

Scenario

3.3 ft Sea Level Rise

Use cm

- 16.4 ft
- 9.8 ft
- 8.2 ft
- 6.6 ft
- 5.7 ft
- 4.9 ft
- 4.1 ft
- 3.3 ft
- 2.5 ft
- 1.6 ft
- 0.8 ft
- 0 ft

Sea Level Rise

None
Storm Frequency
100 year
20 year
Annual
None

Storm Frequency

