

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



Th14c

5-22-0258 (Leffler)

AUGUST 11, 2022

EXHIBITS

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Project Location

Exhibit 1

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Exhibit 1

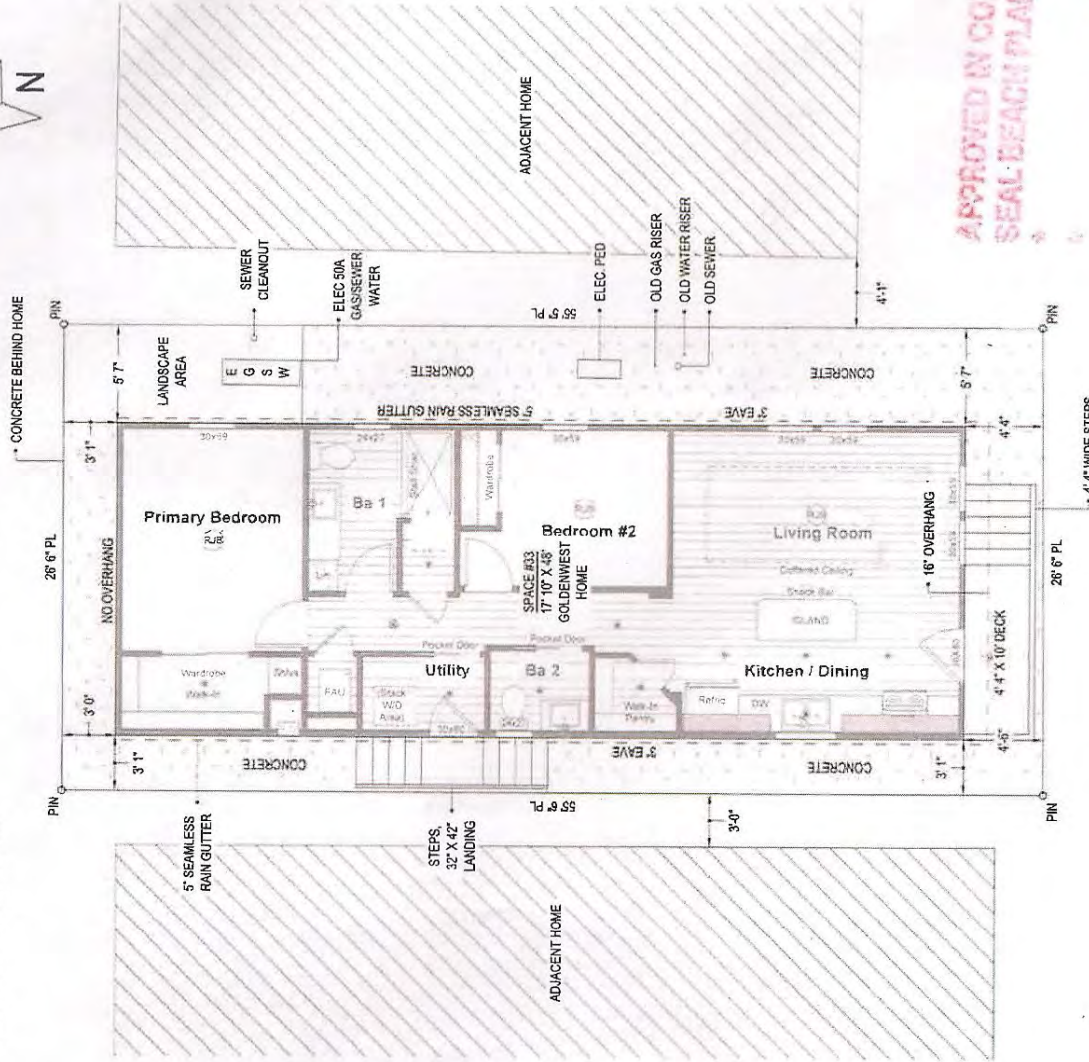
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NOTE:
WATER FROM ROOF WILL BE COLLECTED IN RAIN
GUTTERS AND REDIRECTED TO STREET. ALL
CONCRETE TO SLOPE AWAY FROM HOME

PARK PERIMETER, ADJACENT BUILDING
5'7" FROM PROPERTY LINE



WELCOME LANE

LOT = 1474.40 SF
HOME = 855.95 SF
EAVES = 48.53 SF
STEPS AND DECK = 57.84 SF
TOTAL STRUCTURES = 962.32 SF
962.32 ÷ 1474.40 = 0.65
LOT COVERAGE = 65%

LANDSCAPING

VEGETATED/LANDSCAPED AREAS SHALL ONLY CONSIST OF NATIVE PLANTS OR NON-NATIVE DROUGHT TOLERANT PLANTS, WHICH ARE NON-INVASIVE. NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE BY THE CALIFORNIA NATIVE PLANT SOCIETY ([HTTP://WWW.CNPS.ORG/](http://www.cnps.org/)), THE CALIFORNIA NATIVE PLANT COUNCIL (FORMERLY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL) ([HTTP://WWW.CAL-IPC.ORG/](http://www.cal-ipc.org/)), OR AS MAY BE IDENTIFIED FROM THE TIME BY THE STATE OF CALIFORNIA SHALL BE EMPLOYED OR ALLOWED TO NATURALIZE OR PERSIST ON THE SITE. NO PLANT SPECIES LISTED AS A "NOXIOUS WEED" BY THE STATE OF CALIFORNIA OR THE U.S. FEDERAL GOVERNMENT SHALL BE UTILIZED WITHIN THE PROPERTY. ALL PLANTS SHALL BE LOW WATER USE PLANTS AS IDENTIFIED BY CALIFORNIA DEPARTMENT OF WATER RESOURCES (SEE: [HTTP://WWW.OWUE.WATER.CA.GOV/DCS/WUCOL.S00.PDF](http://www.owue.water.ca.gov/dcs/wucol.s00.pdf))

APPROVED IN CONCEPT
SEAL BEACH PLANNING DEPT.
SIGNATURE: *[Signature]*
DATE: 3/25/2022

MANAGEMENT APPROVAL

SIGNATURE: *[Signature]* DATE: 3-4-2022

SEAL BEACH SHORES MHP
PARK ADDRESS: 313 WELCOME LANE
SEAL BEACH, CA 90740

#33 WELCOME LANE PLOT PLAN

CUSTOMER: CHARLES LEFFLER
PHONE: (209) 409-9094

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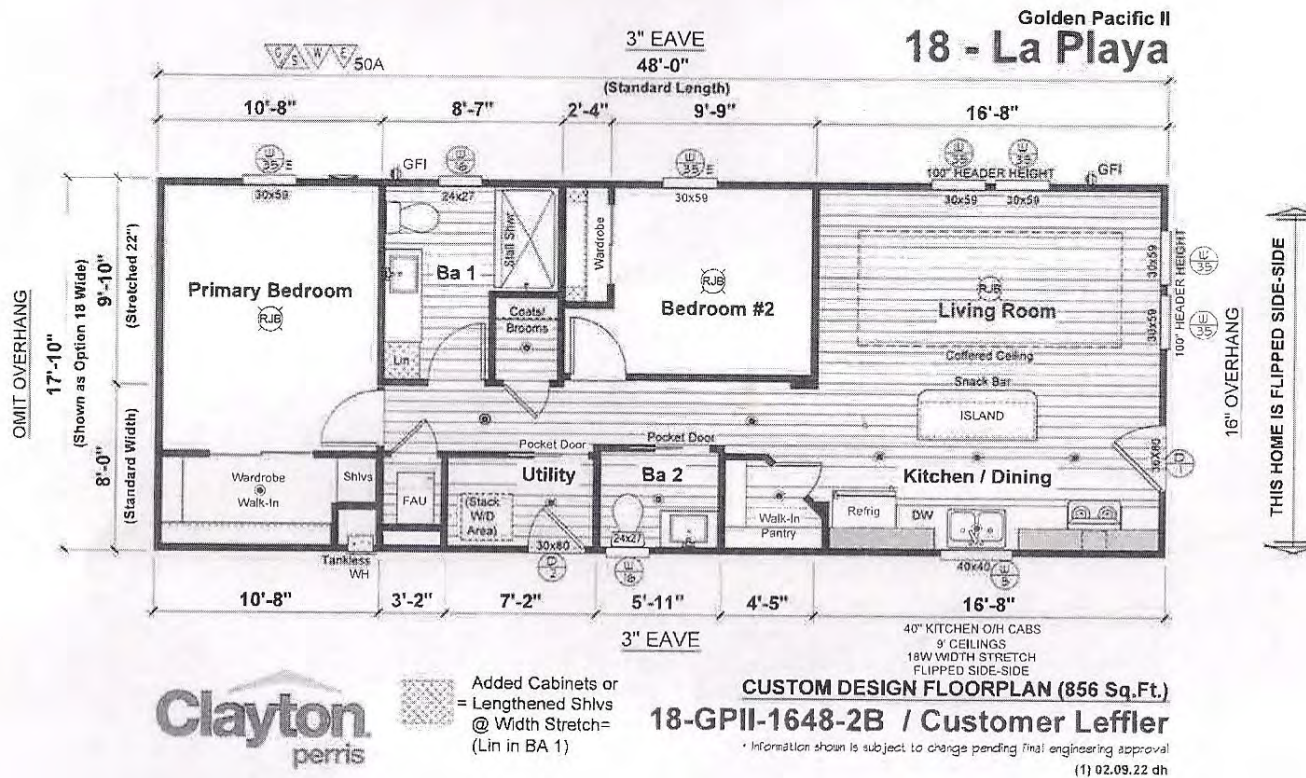
SCALE: 1" = 8'

Exhibit 2

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SEAL BEACH SHORES MHP PARK ADDRESS: 313 WELCOME LANE SEAL BEACH, CA 90740	#33 WELCOME LANE FLOOR PLAN CUSTOMER: CHARLES LEFFLER PHONE: (208) 409-9094	PAGE 2 OF 3 NOT TO SCALE
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Exhibit 2

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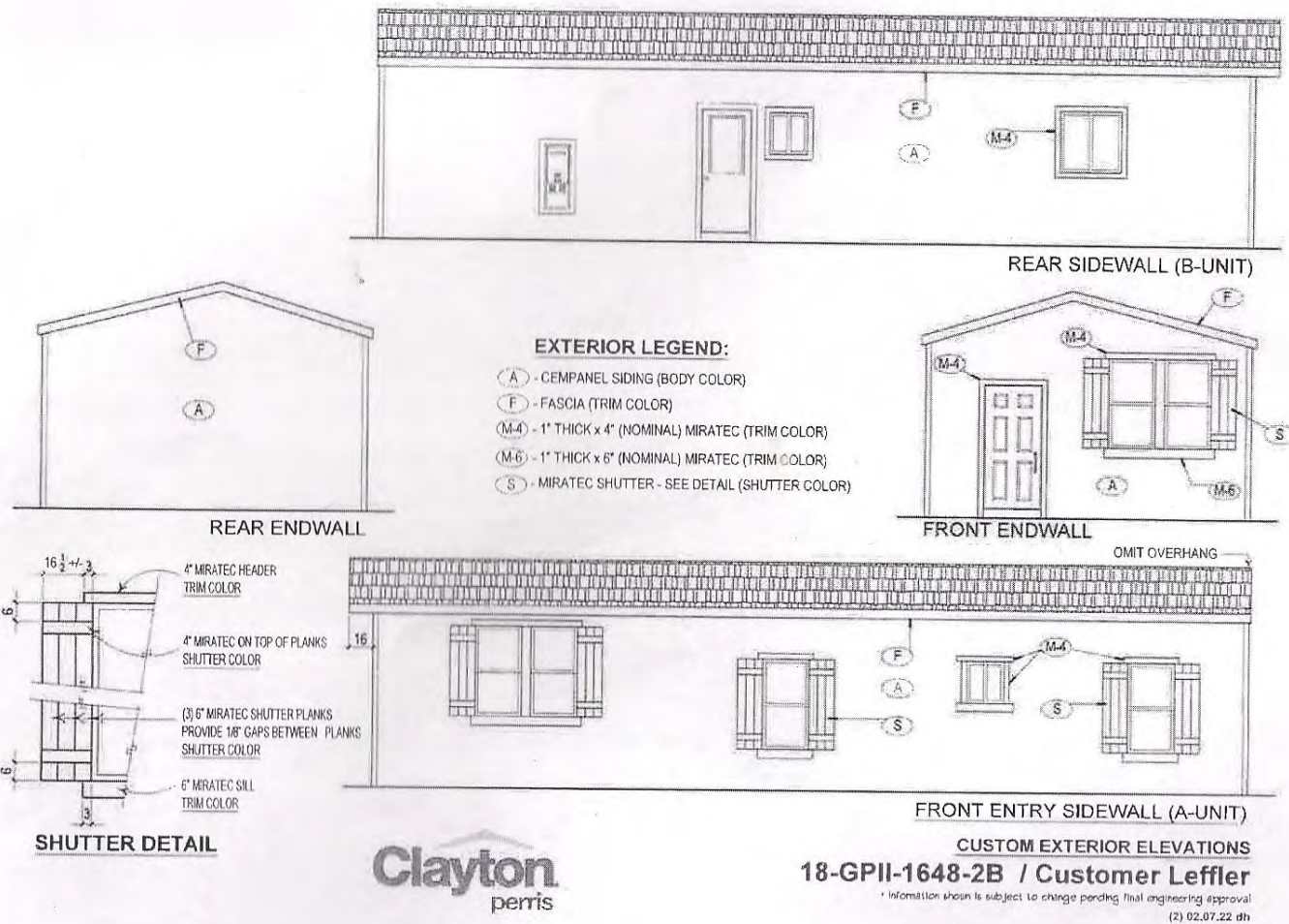
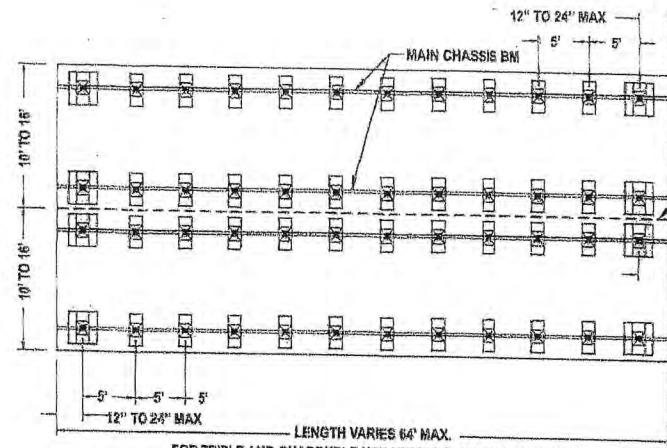
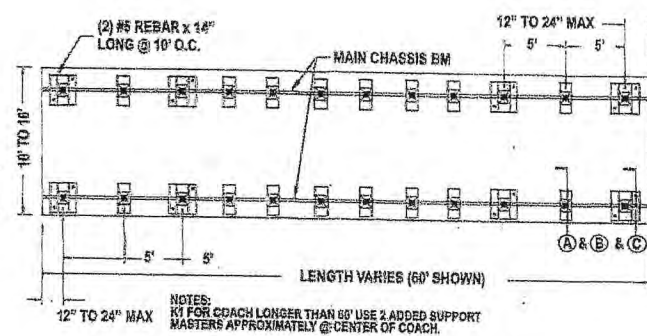
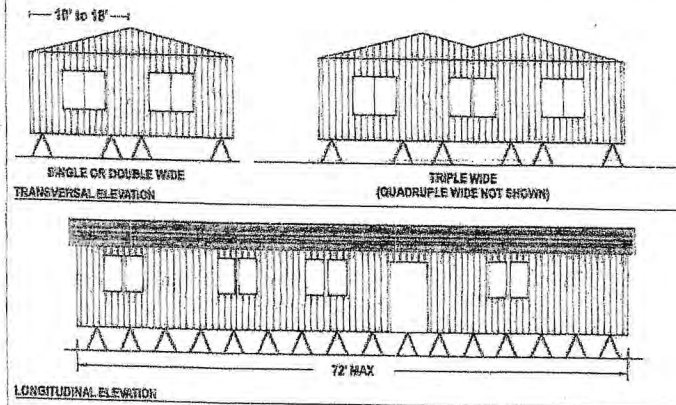


Exhibit 2



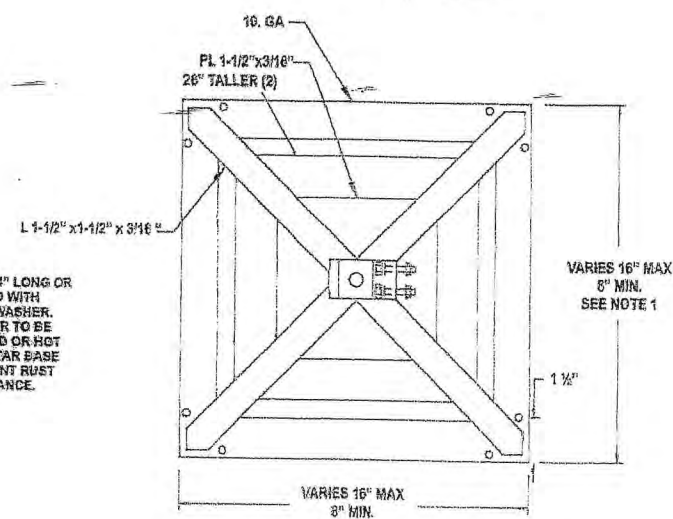
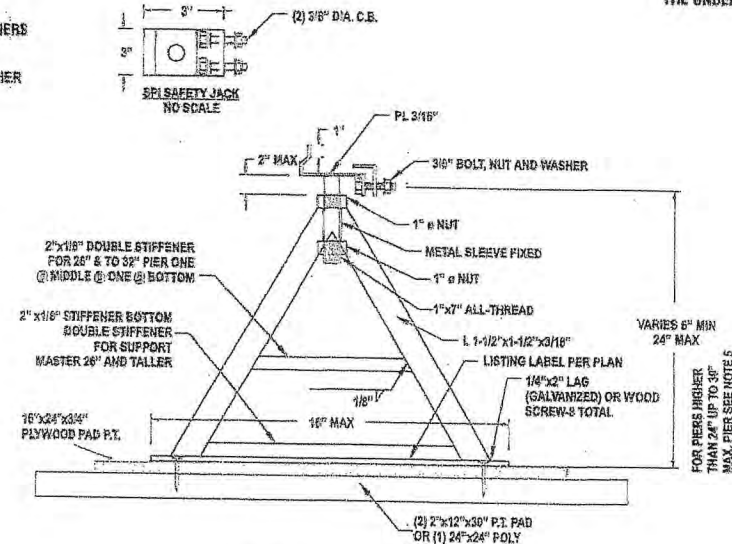
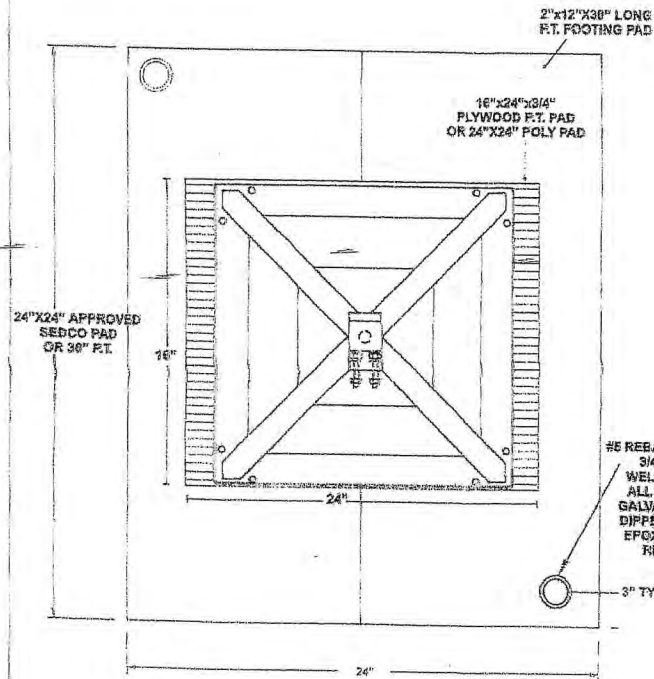
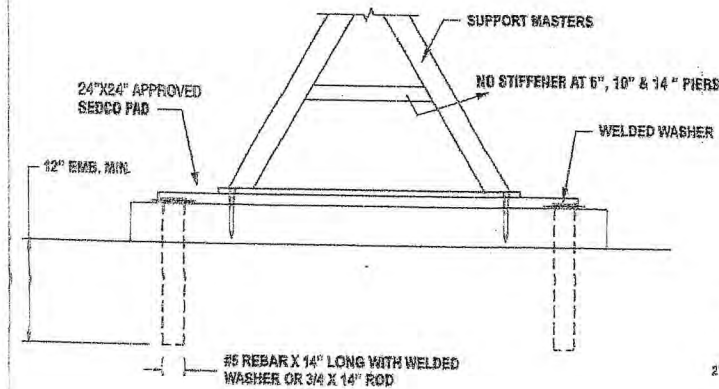
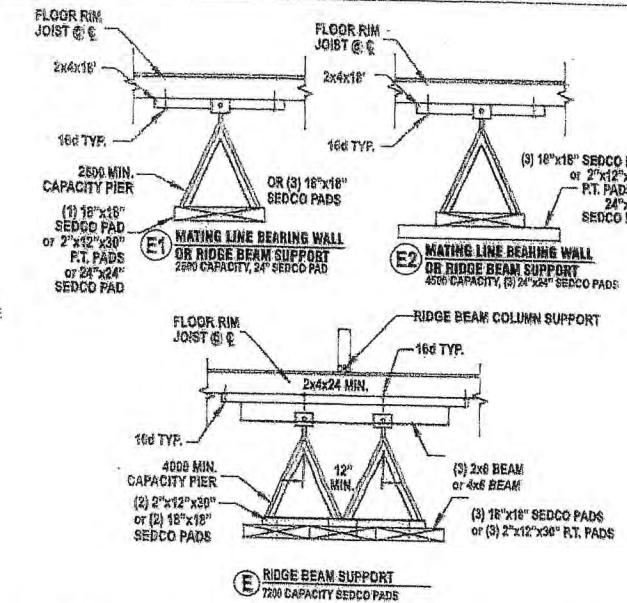
SUPPORT MASTER ENGINEERED TIE DOWN SYSTEM

IN COMPLIANCE WITH 2019 CBC & CALIFORNIA ADMINISTRATIVE CODE TITLE 25, CHAPTER 2 & 2.2.



2 HALVES TO BE CONNECTED PER MANUFACTURER'S INSTRUCTIONS

SUPPORT MASTER TO CLEAR THE RIDGE SUPPORT (TYP)

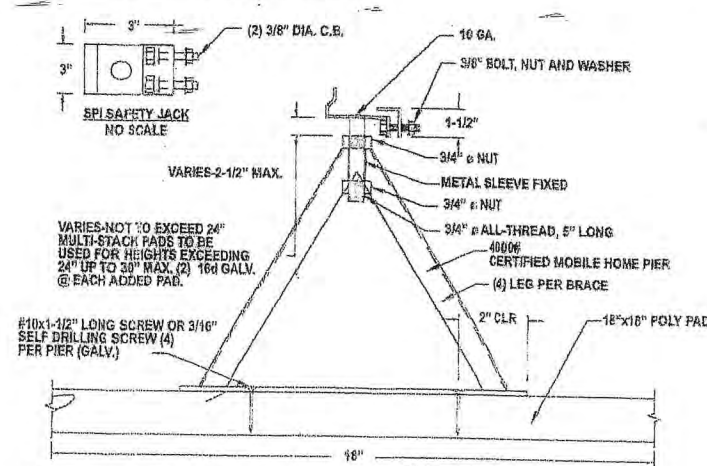
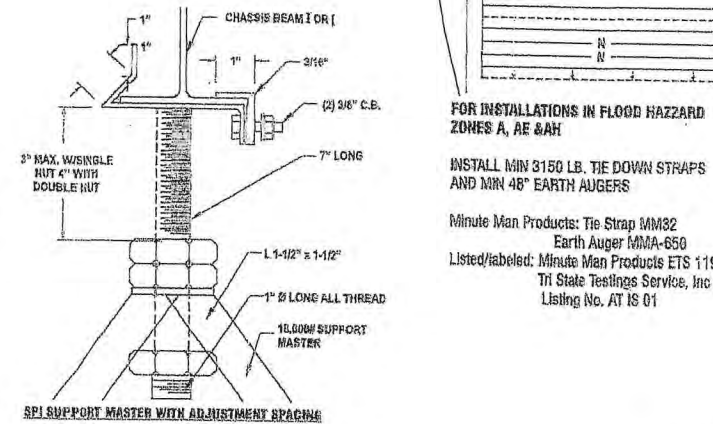


FOR PLACEMENT IN FLOOD HAZARD AREAS

WHEN PERIMETER SKIRTING IS INSTALLED, PLACE THE UNDERFLOOR VENTS SO THE BOTTOM OF THE VENT IS MAX 12" ABOVE THE UNDERFLOOR GROUND SURFACE

SINGLE WIDES		MULTI - WIDES	
MFG'D HOME SIZE	No. OF TIE DOWNS EACH SIDE	MFG'D HOME SIZE	No. OF TIE DOWNS EACH SIDE
12' to 56'	3	20' to 50'	3
12' to 57' / 70'	4	20' to 51' / 60'	4
14' to 74'	4	24' to 50'	3
16' to 74'	4	24' to 51' / 66'	5
		28' to 60'	5
		28' to 61' / 74'	6
		40' to 60'	7
		40' to 61' / 66'	8
		40' to 67' / 74'	9

EVENLY SPACED



(A) PIER & JACK BRACE
NO SCALE

SEDGO PLASTIC FOUNDATION PAD RADCO LISTING #1365
TEST REPORT #8141-15K 16,000 LB RATED "Support Master" Pier Testing Listing Agency: BSK Association, Inc. Listing # 1033-4

(C) SUPPORT MASTER & SPI SAFETY JACK
GROUND PIN APPLIES TO SINGLE WIDE ONLY
WHERE PIER IS LOCATED ON CONC. SLAB USE 5/8" DIA. X 3-1/2" LONG REBAR HEAD ANCHORS W 1-1/2" MIN. EMBEDMENT IN PLACE OR REBAR ANCHORS

(B) SUPPORT MASTER & SPI SAFETY JACK
NOTE 1 PIER BASE DIMENSIONED VARIES:
8" SQ. BASE FOR 6" TALL PIER
12" SQ. BASE FOR 12" TALL PIER
16" SQ. BASE FOR PIER TALLER THAN 14"

(E) TYPICAL POST TO PIER AT MARRIAGE LINE
SEE MANUFACTURER'S INSTALLATION FOR LOCATIONS AND LOADS. (THIS DETAIL IS A SUGGESTION, PLEASE SEE MANUF. INSTALLATION FOR EXACT LOCATION & TYPICAL DETAIL.)

NOTES AND SPECIFICATIONS DESIGN CRITERIA:

- THESE PLANS ARE INTENDED TO BE USED IN CONJUNCTION WITH INSTALLATION INSTRUCTIONS.
- MATERIALS: STEEL SHAPES AND PLATES: ASTM A36
STEEL TUBE: ASTM A500 OR E
BOLTS: ASTM A307 MIN.
- ALL WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1-94 BY AMERICAN WELDING SOCIETY. WELDERS SHALL BE QUALIFIED IN ACCORDANCE WITH AWS. ELECTRODES SHALL BE: E70XX OR E70XX-X (BRAY ARC ONLY).
- THIS MFG'D HOME TO BE PLACED ON A FAIRLY LEVEL SITE WITH NO EXISTING SOIL PROBLEMS. IF SETTLEMENT OCCURS DUE TO POOR SOIL, MANUFACTURED HOME SHOULD BE READJUSTED WHEN DIFFERENCE IN LEVEL IS MORE THAN 1/4" OR WHEN IT WOULD ADVERSELY AFFECT THE USE OF THE MANUFACTURED HOME.
- ONE END OF THE HOME MAY HAVE SUPPORT MASTERS AS HIGH AS 32" BUT THIS IS APPLICABLE ONLY IF OTHERS ARE 24" HIGH MAX. PIERS OVER 24" SHALL HAVE DOUBLE STIFFENER PER DETAIL E.
- BRACES SHALL BE LOCATED IN ACCORDANCE WITH DETAIL K.
- PIERS SHALL BE LISTED WITH HOD AND HAVE 4000# RATING.
- PIERS SHALL BE LOCATED IN ACCORDANCE WITH MOBILE HOME MANUFACTURER'S SPECIFICATIONS. BUT NO MORE THAN FIVE FEET MAX.
- DESIGN ASSUMES 14" WIDE COACHES FOLLOWS PER 2019 CRC
FLOOR LIVE LOAD: 40 PSF
ROOF LIVE LOAD: 20 PSF
SNOW: 20 PSF
EARTHQUAKE: SEISMIC DESIGN CATEGORY "II", SITE CLASS "II"
WIND: SDS = 1.8
VIB = 156 MPH EXPOSURE "C"
COACH WEIGHT: TOPOGRAPHIC FACTORY K=1.1
SOIL: SSS.FLT
NOMINAL 1000 PSF
- IF SITE CRITERIA DIFFERS FROM ABOVE THE ENGINEER HAS TO BE NOTIFIED AND PLAN NEEDS TO BE ALTERED BY ENGINEER OF RECORD TO MEET NEW CRITERIA.
- PLANS SHALL BE CONSIDERED AS ONE COMPLETE SYSTEM.
- VENTILATION FOR UNDER FLOOR AREA SHALL BE ONE SQUARE FOOT FOR EACH 28 LINEAR FEET OR PERIMETER. LOCATE OPENINGS CLOSE TO CORNERS WHERE POSSIBLE TO PROVIDE CROSS VENTILATION. THE REQUIRED AREA OF OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENINGS SHALL BE PROTECTED WITH 1/4" CORROSION RESISTANT WIRE MESH.
- WATER SHALL BE PREVENTED FROM ENTERING THE UNDER FLOOR AREA BY SLOPING FINISHED GRADE AWAY FROM MOBILE HOME TO DRAINAGE SWALE AND/OR AS REQUIRED BY LOCAL CONDITIONS AND LOCAL GRADING REQUIREMENTS. THE PERIMETER SKIRTING WALL BY OTHERS SHALL BE DESIGNED BY OTHERS SUCH THAT IT WILL PREVENT THE INTRUSION OF WATER INTO THE UNDER FLOOR AREA.
- PADS TO BE 21"x24" SEDCO PAD OR 16"x24"x3/4" P.T. WITH 2"x12"x36" P.T. PADS
- WHERE POST OCCURS USE 4000 MIN. RATED PIER WITH THREE 2"x12"x36" PADS SEE MANUFACTURER'S INSTRUCTIONS OR SEDCO PADS
- ALL PIERS TO BE SCREWED PER PROVIDED DETAIL AND HAVE SPI LOCKING JACK CONNECTED TO THE CHASSIS BEAM (NO SUBSTITUTE IS ACCEPTABLE).
- A MIN. 16" CLEARANCE SHALL BE MAINTAINED BENEATH FLOOR JOIST & 8" MIN. BELOW MAIN CHASSIS BEAM.
- ALL REBAR TO BE PRIMED WITH RUST RESISTANT PAINT (HOT DIPPED IN TAR BASE EPOXY PAINT RUST RESISTANT).

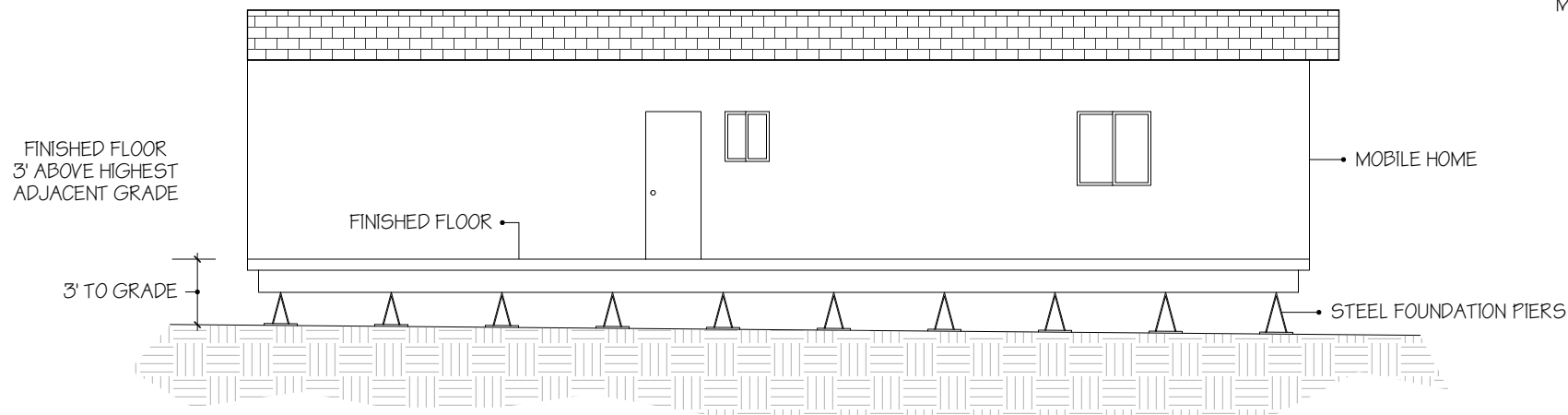
ENGINEERED TIE-DOWN SYSTEM
APPROVED
SUBJECT TO CORRECTIONS OF THE
DESIGNER OR MANUFACTURER'S INSTRUCTIONS
DESIGN OF CODES AND STANDARDS
DATE: 11/10/20
BY: [Signature]
E.T.S. 123
This Plan Approval Expires: 11/15/22

Pacific Consulting Engineers
2150 BELL AVENUE, SUITE 145
SACRAMENTO, CA 95838
(916) 564-6028 (916) 564-6029 (Fax)

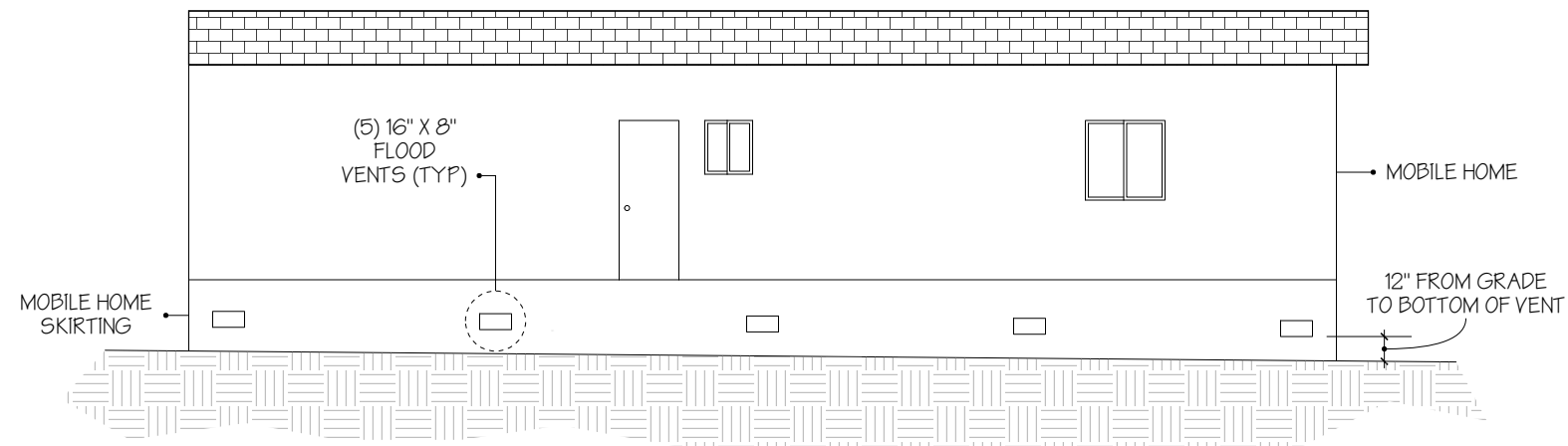


SUPPORT MASTER ENGINEERED TIE DOWN SYSTEM

PROJ. NO.
DATE: 01/06/2020
REVISION: 10-6-12
10-10-14
10-12-16
DATE NO.
SEDGO_HldgNo_ETS



MOBILE HOME WILL BE INSTALLED IN ACCORDANCE WITH TITLE 25, DIVISION 1, CHAPTER 2 OF THE CALIFORNIA CODE OF REGULATIONS



FLOOD SOLUTIONS™ MODEL "FS"
FEMA COMPLIANT, ICC CERTIFIED ENGINEERED FLOOD VENTS



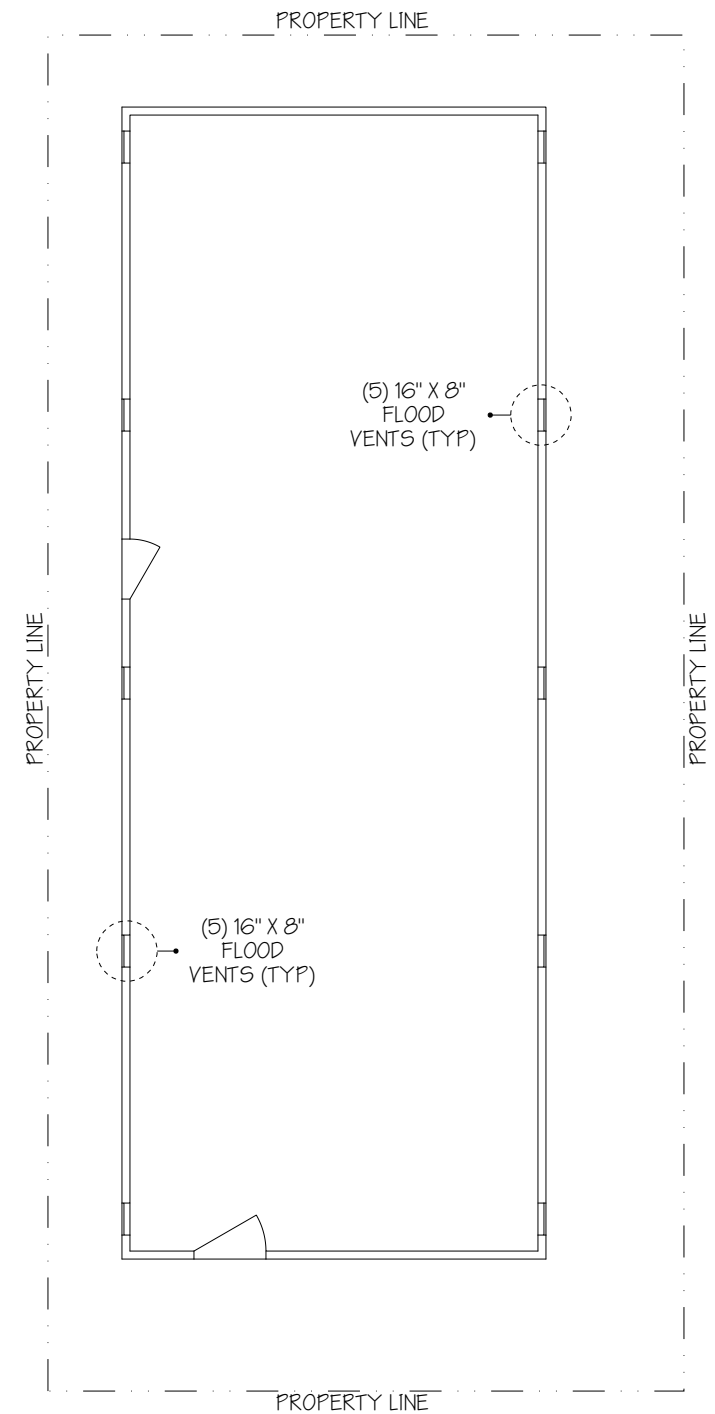
- FEMA Compliant Engineered Flood Vents meet FEMA requirements when installed properly.
- Use at least 2 flood vents per enclosed area below flood grade, installed on at least two separate walls.
 - The bottom of the flood vent opening must not be higher than 12 inches above the grade.
 - At least 1 square inch of engineered opening for every 1 square foot of enclosed space.
 - ICC-ES CERTIFIED VENT

Qty	Model	Minimum Opening Required	Tip to Tip Dimensions	Engineered Opening Covers
17	FS-1608	16" Wide x 8" High	18-1/2"W x 10-1/2"H	97 sq ft
	FS-1616	16" Wide x 16" High	18-1/2"W x 18-1/2"H	191 sq ft
	FS-1412	14-1/2"W x 12"H	17"W x 14-1/2"H	129 sq ft

Frame: ALUMINUM; .050" minimum thickness, with square openings in front face, each opening is 3/8" x 3/8"
Finish: each vent has a satin sanded finish. This finish may be field painted.

FLOOD OPENING CALCULATIONS

ENLOSED AREA = 17' 8" X 48' = 848.16 SF
10 X (16 X 8 VENTS) X 0.75 (25% REDUCTION) =
960 SF > 848.16 SF (MINIMUM REQUIRED)



SEAL BEACH SHORE #33 FLOOD VENT DETAIL

33 WELCOME LANE, SEAL BEACH, CA 90740

DRAWN BY:
STEVE ALMQUIST
(714) 392-9665

Exhibit 2

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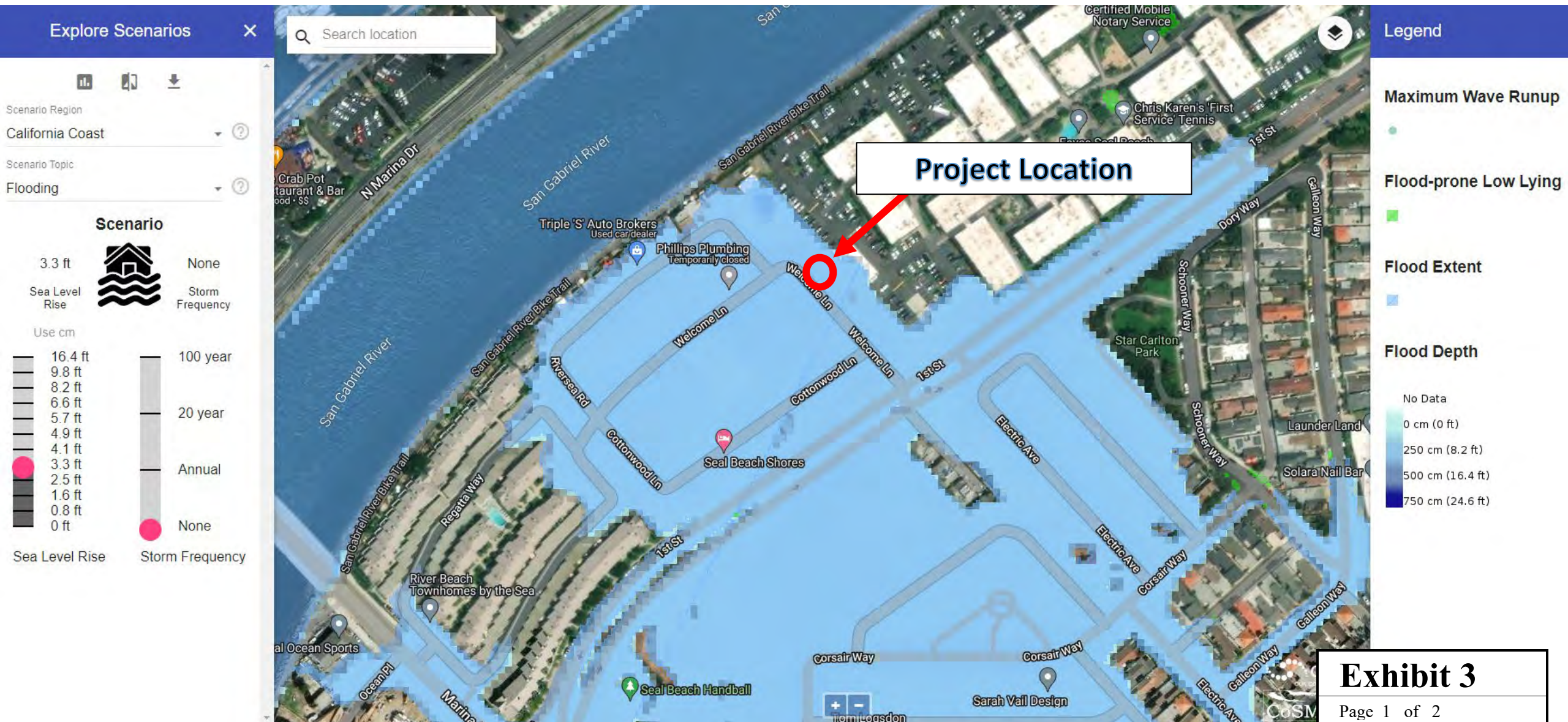


Exhibit 3

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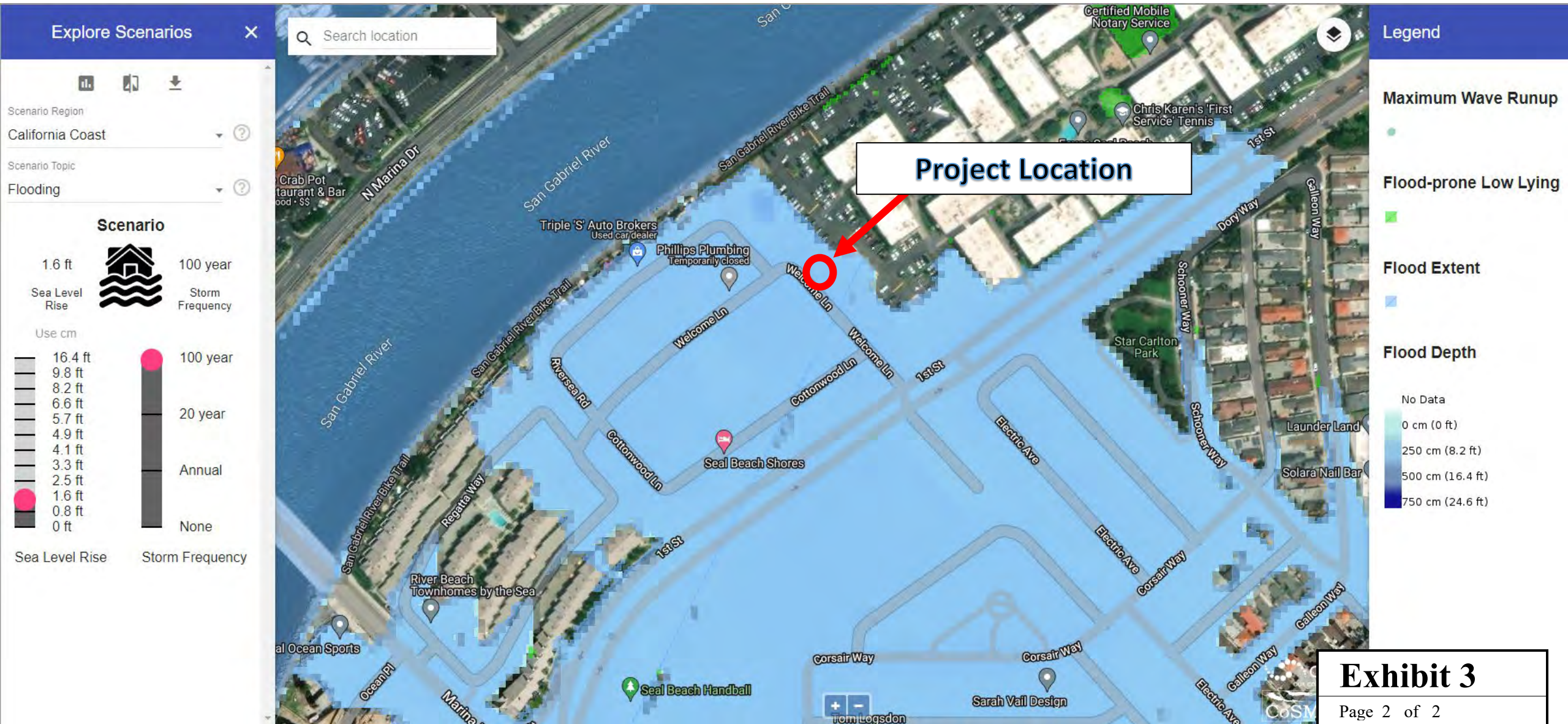


Exhibit 3

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The following is a general guide and timeline for removal of a mobile home:

Day 1: Remove personal property (furniture, kitchen loose items, clothes, etc.) Appliances and large, heavy furniture does not have to be removed from the mobile home. Disconnect utilities from mobile home.

Day 2: Prepare mobile home for moving, e.g., remove skirting, stairs and deck. Components of removed accessory structures will be stacked inside of mobile home. HCD permit not required.

Day 3: Complete separation of mobile home sections by removing lag bolts at floor and truss locations. Remove piers and install axles, tires and towing hitch. Install shipping plastic at open sides of now separated mobile home to protect from water incursion. Attach mobile home to transport vehicle and remove from the mobile home park. HCD Permit not required for preparation to transport.

All work during preparation for transport is performed on the mobile home site location and no staging area is required. The deconstruction and removal of the mobile home and accessory structures does not require engineering. All engineering is provided in the mobile home installation manual which I will provide to you. All proposed work pertaining to the removal of mobile home and accessory structures is done with basic tools. For example, hammers, pry bars, cordless drill/impact wrenches, air compressors and pneumatic nailers. Steel foundation piers and skirting material will be loaded onto a flatbed truck and removed from the site to be reused.

Thank you for your review of the proposed flood mitigation efforts outlined in this letter.

Sincerely,



Steve Almquist - Coastline Construction

Exhibit 4

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