

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



Th14d

5-22-0113 (Mullally)

August 11, 2022

EXHIBITS

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Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 –Project Plans

Exhibit 3 – CoSMoS Analysis

An aerial photograph of the Long Beach and Seal Beach area. The image shows a coastal city with a large beach area in the foreground. A white circle marks a specific location in the city, and a white arrow points from the text 'Project Location' to this circle. The city is surrounded by water, and there are various buildings and roads visible. The text 'Long Beach' is in the top left, 'Seal Beach' is in the center, and 'Project Location' is at the bottom left.

Long Beach

Seal Beach

Project Location



Electric Avenue

Project Site

12th Street

NOTES

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, 2019 AMENDMENTS, LAWS AND ORDINANCES AS SPECIFIED BY THE CITY OF SEAL BEACH BUILDING DEPARTMENT.
2. DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE. IF ANY DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED.
3. ALL DIMENSIONS ARE TO FACE OF FINISH AND SQUARE UNLESS NOTED OTHERWISE. CONCRETE IS UNADORNED TO THE SURFACE UNLESS NOTED OTHERWISE.
4. SUBMITTALS THROUGHOUT THE PLAN AND THOSE IN COMMON USE, THE ARCHITECT SHALL RETAIN INTENT OF ANY DISCREPANCIES.
5. ALL CONTRACTORS MUST COMPLY TO CALIFORNIA LABOR CODE, SEC. 2008.
6. THE CONTRACT DOCUMENTS AND SPECIFICATIONS, HEREIN, THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SURVEY AND VERIFY THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO, REGULATION OF ADEQUATE WORKING SPACES, ETC. TO SAFELY EXECUTE ALL WORKS.
7. SEPARATE BUILDING PERMITS SHALL BE OBTAINED FOR ELECTRICAL AND MECHANICAL WORKS AND SHALL BE PAID FOR BY THE CONTRACTOR. THE BUILDING PERMIT SHALL BE PROVIDED BY JOHN CATALDO & ASSOCIATES AND PAID FOR BY THE CONTRACTOR. ALL OTHER PERMITS AND LICENSES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
8. REQUIRED PERMITS SHALL BE OBTAINED FROM THE "STATE DIVISION OF INDUSTRIAL SAFETY & CAL. DEPT. OF INDUSTRIAL RELATIONS OR EQUIVALENTS."
9. SEPARATE PLANS SHALL BE PLAN CHECKED AND SEPARATE PERMITS SHALL BE OBTAINED FOR ANY MODIFICATION TO EXISTING AUTOMATIC FIRE-EXTINGUISHING SYSTEMS AS APPLICABLE.
10. ALL ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
11. ALL EXISTING CONSTRUCTION BRANDS SHALL COMPLY WITH "TRUE JAC" STATE ENERGY CONSERVATION REQUIREMENTS.
12. ALL AREAS AFFECTED OR DAMAGED BY ALTERATIONS, REMOVAL OR EXISTING CONSTRUCTION AND NEW WORK SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING OR IN A SATISFACTORY MANNER APPROVED BY THE ARCHITECT AND PROJECT MANAGER.
13. THE CONTRACTOR SHALL MAINTAIN FIRE ACCESS DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAR OF RUBBISH SO AS NOT TO IMPED THE ACCESS AND WORK OF OTHERS.
15. SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. ALLOW MINIMUM OF ONE WEEK FOR REVIEW BY THE ARCHITECT.
16. TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE JOB, EXCEPT WHERE THEY CONTRADICT WITH DETAILS, NOTES OR OTHER SHEETS.
17. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST POSSIBLE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ARCHITECT SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
18. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FINISHING OF CONSTRUCTION SHALL BE MINIMUM OF SIMILAR TO THAT INDICATED FOR EACH CASE OF CONSTRUCTION ON THIS PROJECT. SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
19. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
20. ALL MATERIALS FOR THE COMPLETION OF THE WORK ELEMENTS NOTED HEREIN SHALL BE NEW, FIRST QUALITY CONDITION AND DELIVERED TO THE JOB SITE IN AN UNDAMAGED CONDITION.
21. ALL REQUIRED WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS. THEY SHALL BE ONE AND THE SAME.
22. THE CONTRACTOR SHALL COORDINATE THE WORK EFFORTS OF THE VARIOUS TRADES TO AVOID POSSIBLE INTERFERENCE, DUPLICATION OF WORK OR UNNECESSARY GAPS BETWEEN OPERATIONS. SUB-CONTRACTORS SHALL PROPERLY COORDINATE AND COORDINATE THEIR WORK WITH THE WORK OF OTHERS AS SHOWN ON THE DRAWINGS. ANY AND ALL DELAYS OR CHANGES ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RESPECT THE PROPOSED AND EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. PRIOR TO REVIEW ACTUAL CONDITIONS, AVAILABILITY OF MATERIALS, LOCATIONS OF EXISTING DRIVEWAYS, GENERAL SITE ACCESS FOR TRUCKS AND DELIVERIES, STOCKING OF SUPPLIES, ETC.
2. CONTRACTOR SHALL VERIFY EXISTING REQUIREMENTS OF ALL LOTS WITH REGARD TO EXISTING HARDWARE AS SPECIFIED HEREIN.
3. THESE DRAWINGS AND ANY WRITTEN SPECIFICATIONS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS REQUIRED BY ALL. REFER ALSO TO ALL INSTRUCTIONS AND GENERAL CONDITIONS AND SPECIFICATIONS (INDEX SEPARATELY).
4. NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE ALLOWED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, COST AND TIME SCHEDULES IN WRITING TO THE ARCHITECT FOR APPROVAL.
5. AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE THE P.M. IN WRITING OF ANY SPECIFIED MATERIALS OR EQUIPMENTS WHICH ARE UNAVAILABLE OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
6. IMMEDIATELY AFTER BEING AWARDED THE CONTRACT, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE. THIS SCHEDULE SHALL BE "CONTINUOUSLY" UPDATED AND POSTED ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING NECESSARY UTILITIES (ELECTRIC, PLUMBING, HEATING, WATER, ETC.) TO THE JOBSITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR.
8. ALL CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE. FENCING, PLANT GROUND, ETC. ALL EXISTING EQUIPMENTS, SLABING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR CEMENTARY.
9. NO HAZARDOUS MATERIALS TO BE STORED ON SITE.

NEW RESIDENCE AND A.D.U.

156 & 156 1/2 12TH ST.
SEAL BEACH, CA 90740

RENDERING (FACING STREET)



VICINITY MAP



PROJECT DIRECTORY

OWNER
BRIAN MULLALY
151 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

ARCHITECT:
JOHN G. CATALDO AIA, C.S.I.
830 MISSION STREET
SOUTH PASADENA, CA 91030
Tel : (626) 799-4400
Fax : (626) 799-7010

SHEET INDEX

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PROJECT INFO/BUILDING DATA

ADDRESS:	156 & 156 1/2 12TH ST SEAL BEACH, CA 90740
ASSUMPTION'S PARCEL NO. (A.P.N.):	199-070-30
ZONING:	RHD-20
OCCUPANCY GROUP:	R-3
TYP. OF CONSTRUCTION:	VB
FIRE SEPARATORS:	N/A
LOT AREA:	3,075 SQ. FT.
BUILDING AREA:	
EXISTING	
ONE STORY S.F.D. (In the corner)	840 SQ. FT.
(E) 2ND UNIT	
ADJOVE (E) GARAGE:	140 SQ. FT.
GARAGE/STORAGE (1ST FLOOR)	470 SQ. FT.
PROPOSED:	
NEW 2-STORY S.F.D.	
1ST FLOOR	768 SQ. FT.
2ND FLOOR	770 SQ. FT.
NEW 2-STORY S.F.D.	1,533 SQ. FT.
NEW 2-STORY ATTACHMENT A.D.U.	
1ST FLOOR	258 SQ. FT.
2ND FLOOR	233 SQ. FT.
NEW 2-STORY S.F.D.	491 SQ. FT.
LOT COVERAGE:	15.13+49.1+44.0+230.4 SQ. FT.
FLOOR AREA RATIO:	(768+233+491+230.4)/3075 X 100 = 34.34%

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL COMPLY WITH THE FOLLOWING:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2018 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA ENERGY CODE
- CITY OF SEAL BEACH ZONING CODE

California Coastal Commission



ARCHITECTURE ENGINEERING

830 MISSION STREET, SOUTH PASADENA, CA 91030
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER:

Drawing Content:

TITLE SHEET

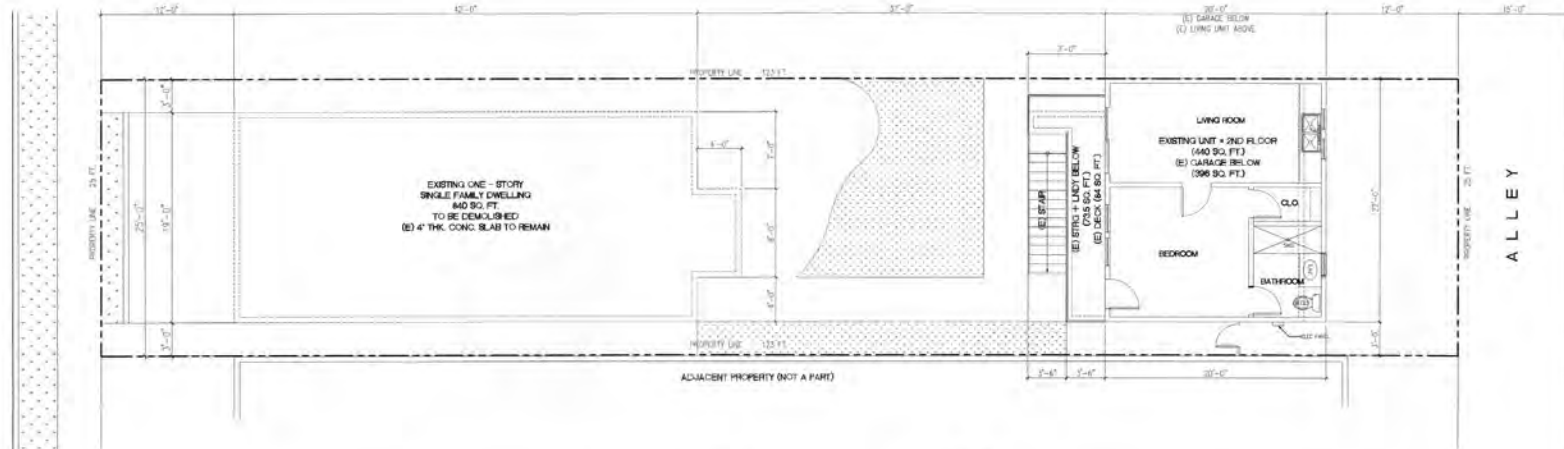


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Designer: JC
Manager: JC
Date: 03/26/2021
Job No: 2020-155
Scale: AS NOTED
Drawing No:

T-1

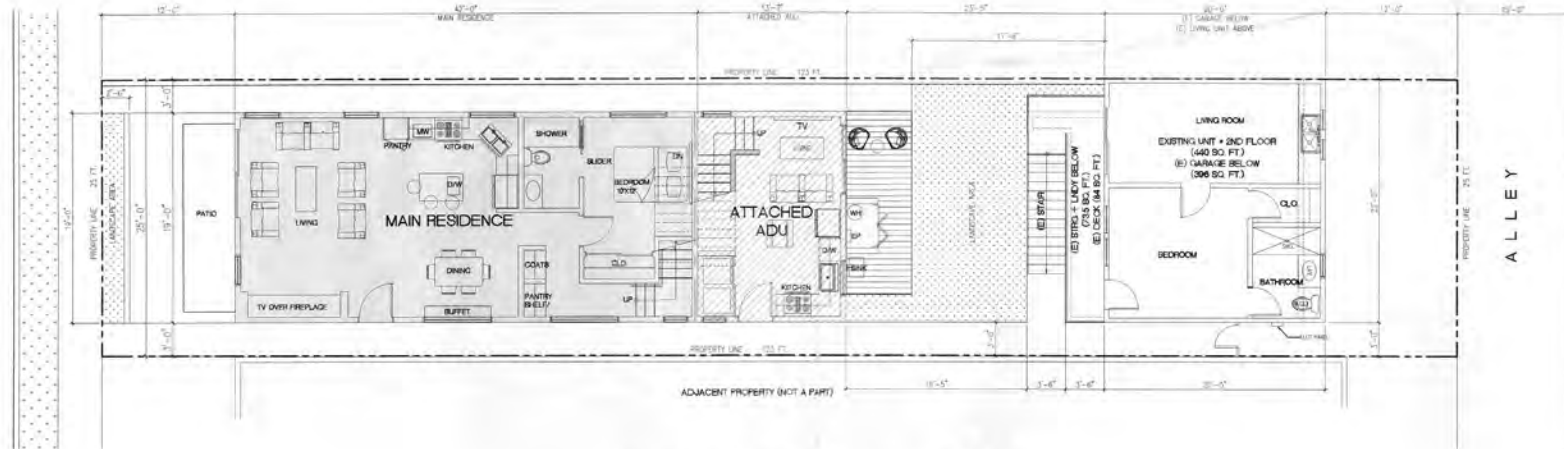
E 12TH STREET



EXISTING SITE PLAN

SCALE: 1/4"=1'-0" NORTH

E 12TH STREET



PROPOSED SITE PLAN

SCALE: 1/4"=1'-0" NORTH



ARCHITECTURE - ENGINEERING

330 MISSION STREET, SUITE 200, PALMDALE, CA 93550
OFFICE : 805-798-1400 FAX : 805-798-1510

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Content

SITE PLAN



Revisions : Date :

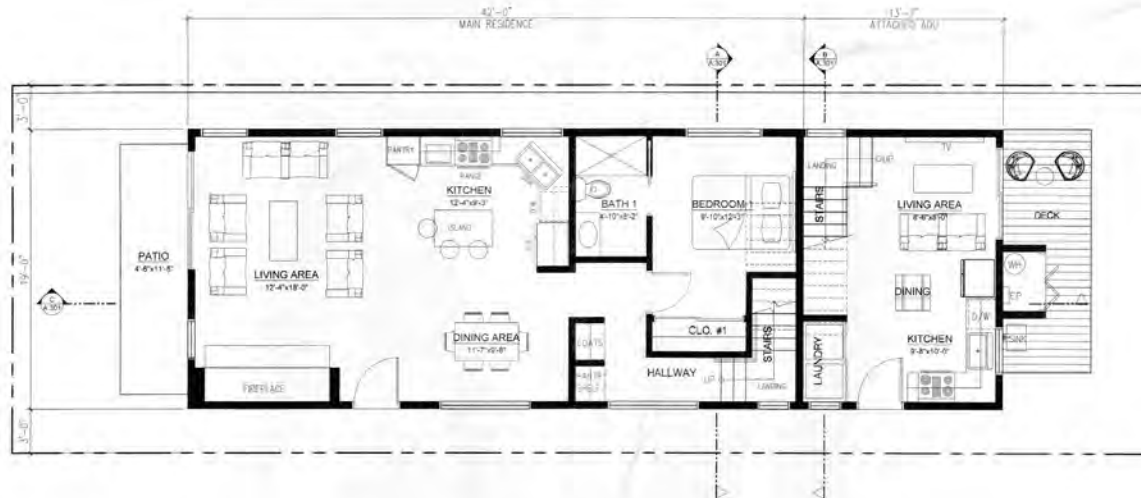
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Manager : JC
Date : 03/30/2021
Job No : 2020-151
Scale : AS NOTED
Drawing No :

California Coastal Commission
A-1

5-22-0115
Exhibit 2
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PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0" NORTH



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0" NORTH



ARCHITECTURE - ENGINEERING

400 MONROE STREET, SUITE 200, SAN JOSE, CA 95101
OFFICE : 408-790-1800 FAX : 408-790-1810

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Consent

PROPOSED
FLOOR PLANS



Revisions: Date:

Designer: JG
Manager: LC
Date: 03/30/2001
Job No: 2000-101
Scale: AS NOTED
Drawing No:

A-2

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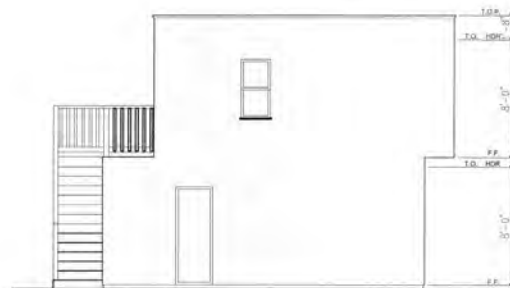
Exhibit 2

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WEST ELEVATION

SCALE: 1/4"=1'-0"



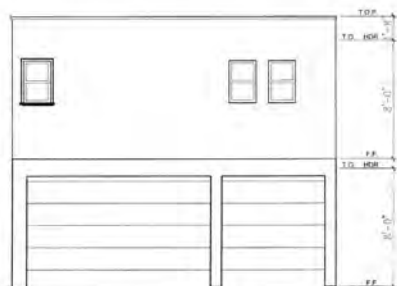
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



(E) UNIT ABOVE GARAGE PLAN

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"



(E) GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"



ARCHITECTURE - ENGINEERING

815 MISSION STREET, SOUTH PASADENA, CA 91109
OFFICE : 626-799-6400 FAX : 626-799-7610

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Content :

EXISTING
GARAGE DRAWINGS
FOR REFERENCE ONLY



Revisions :

Date :

Designer : JC

Manager : JC

Date : 03/30/2021

Job No : 2020-151

Scale : AS NOTED

Drawing No :

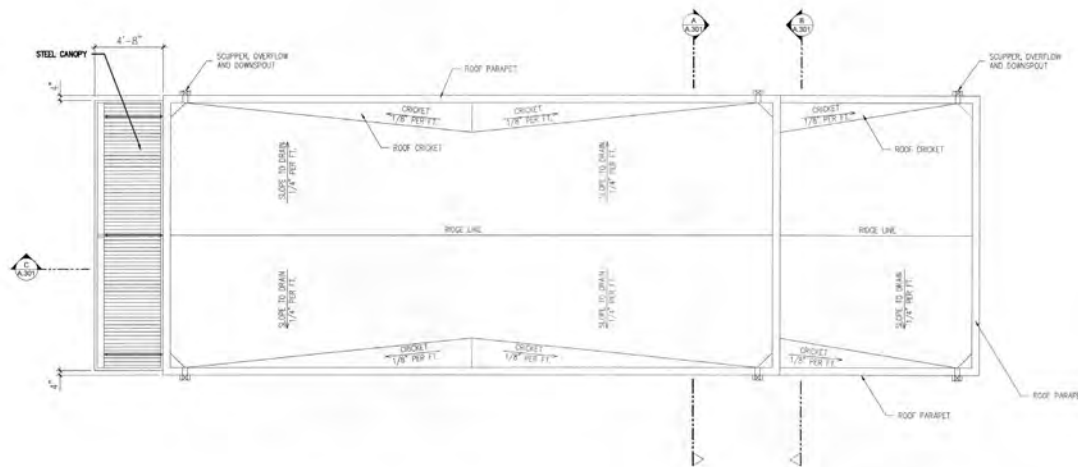
A-2.1

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ROOF PLAN

SCALE: 1/4"=1'-0" 



ARCHITECTURE ENGINEERING

690 MONROE STREET, SUITE 200, PASADENA, CA 91103
OFFICE : 626-798-1800 FAX : 626-798-7310

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Content:

ROOF PLAN



Revisions : Date :

Designer : JC
Manager : EC
Date : 03/30/2021
Job No : 2020-139
Scale : AS NOTED
Drawing No :

A-3

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ARCHITECTURE ENGINEERING

100 MISSION STREET, SUITE PASADENA, CA 91106
OFFICE : 626-799-6400 FAX : 626-799-7818

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 158 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER :

Drawing Content:

EXTERIOR ELEVATIONS

Revisions : Date :

Designer : J.C.
Manager : E.C.
Date : 03/30/2020
Job No : 2020-151
Scale : AS NOTED

Drawing No. :

A-4.1

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5-22-0115

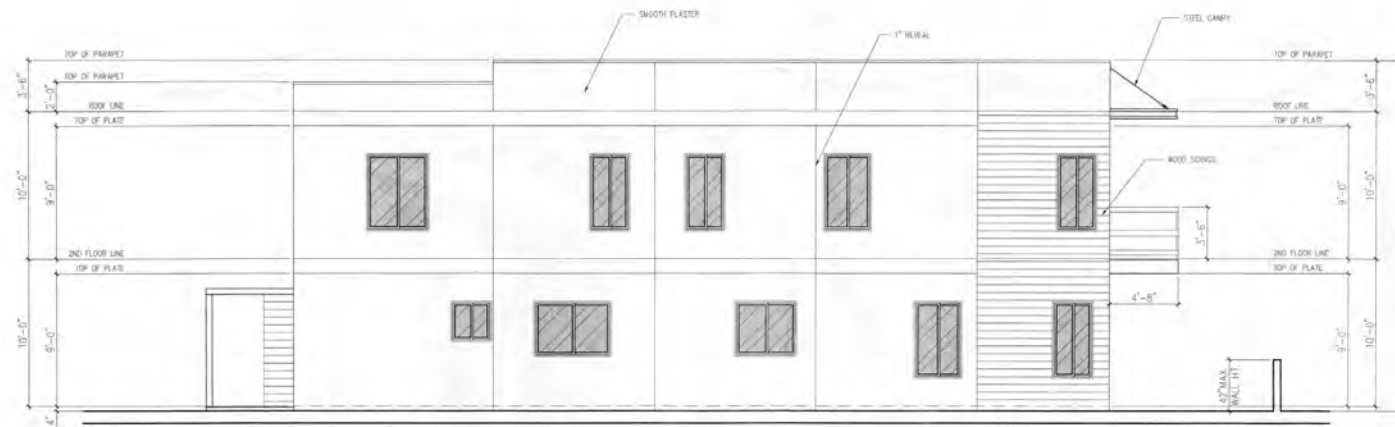
Exhibit 2

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EAST ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"



ARCHITECTURE • ENGINEERING

856 NIMBUS STREET, SUITE PASADENA, CA 91109
OFFICE: 626-798-2400 FAX: 626-798-7019

PROJECT NAME & SITE ADDRESS:

NEW RESIDENCE

156 & 156 1/2 12TH STREET
SEAL BEACH, CA 90740

DEVELOPER:

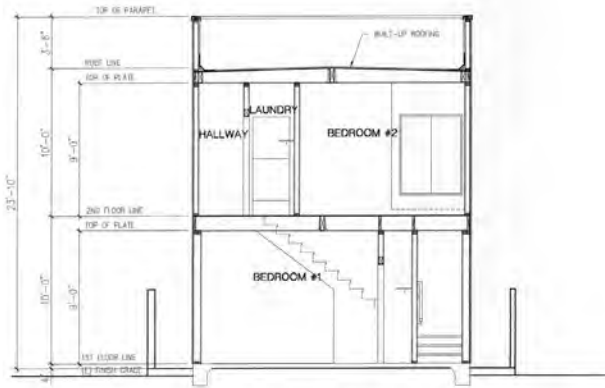
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BUILDING SECTIONS



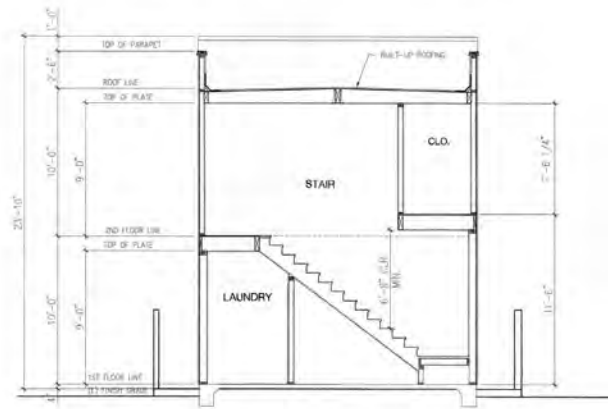
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Manager: CC
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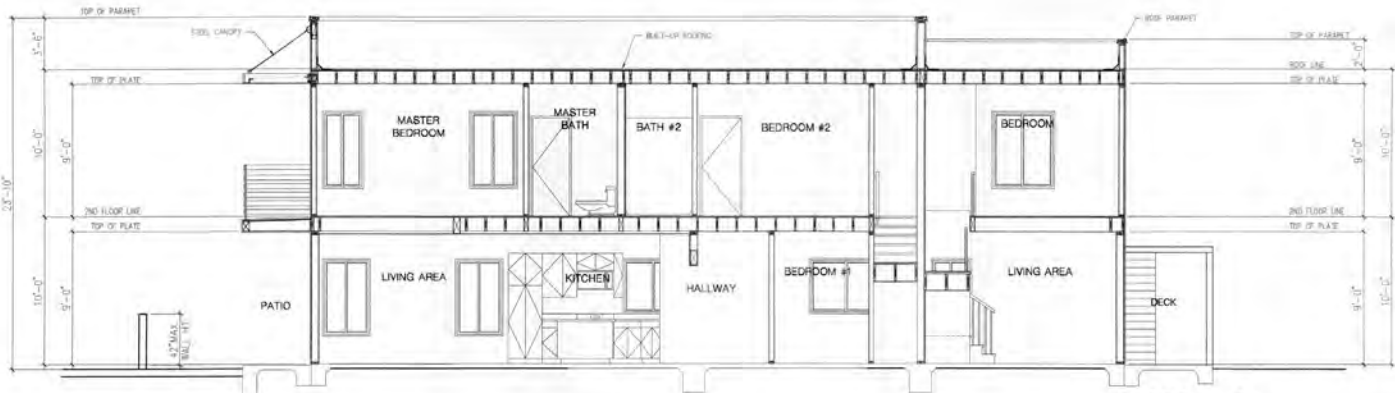
SECTION - A

SCALE: 1/4"=1'-0"



SECTION - B

SCALE: 1/4"=1'-0"



SECTION - C

SCALE: 1/4"=1'-0"

California Coastal Commission
A-4.2

The screenshot displays the OCOF CoSMoS Hazard Map interface. The main map area shows a coastal region with various flood zones overlaid. A search bar at the top left contains the text "156 12th Street, Seal Beach". The left sidebar includes a "Scenario" dropdown menu set to "California Coast" and "Flooding". Below this, there are two vertical scales: "Sea Level Rise" (ranging from 0 ft to 16.4 ft) and "Storm Frequency" (ranging from None to 100 year). The right sidebar contains a "Legend" section with four categories: "Maximum Wave Runup" (green), "Flood-prone Low Lying" (yellow), "Flood Extent" (blue), and "Flood Depth" (purple). The map itself shows a coastal area with buildings, streets, and a beach. A yellow star marks a specific location on the map. The bottom right corner of the map area contains the text "California Coastal Commission 5-22-0115 Exhibit 3".