

## **CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD, SUITE 300  
LONG BEACH, CA 90802-4325  
VOICE (562) 590-5071  
FAX (562) 590-5084



# **F14a**

**A-5-DRL-23-0039 (Campbell)**

**November 8, 2023**

### **EXHIBITS**

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**EXHIBIT 3 – Unpermitted Deck Encroachment**

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## EXHIBIT 1 – Project Location









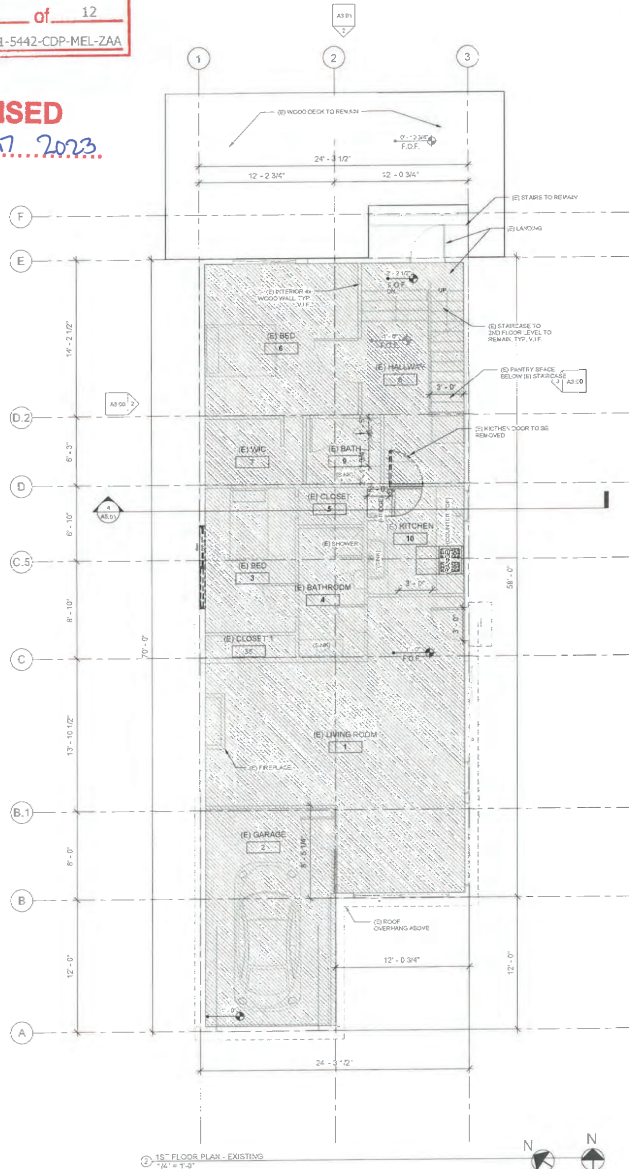




# EXHIBIT "A"

Page No. 3 of 12  
Case No. ZA-2021-5442-CDP-MEL-ZAA

REVISED  
Date Aug. 17, 2023



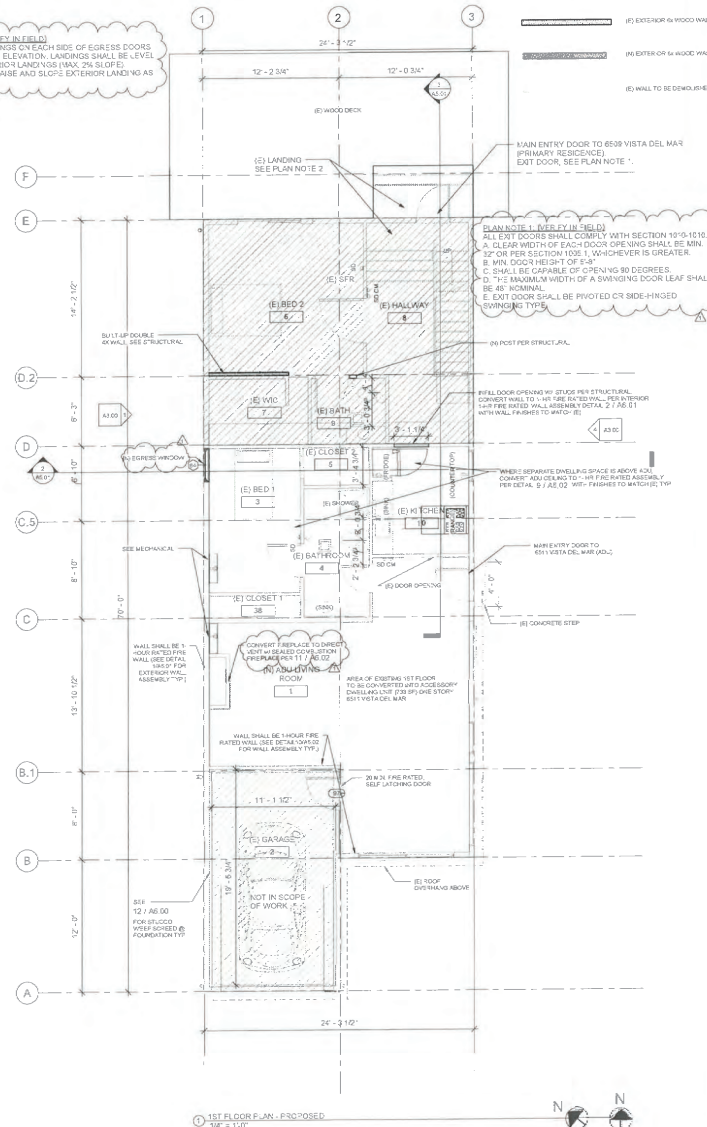
1st FLOOR PLAN - EXISTING  
1/8" = 1'-0"



## PLAN LEGEND

NOT IN SCOPE OF WORK

PLAN NOTE 1: LANDING IN (E) BED 1  
FLOOR AND LANDING ON EACH SIDE OF EGRESS DOORS TO HAVE THE SAME ELEVATION. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS (MAX. 2% SLOPE). CONTRACTOR TO RAISE AND SLOPE EXTERIOR LANDINGS AS REQUIRED.



1st FLOOR PLAN - PROPOSED  
1/8" = 1'-0"

## WALL LEGEND

- (E) INTERIOR 4" WOOD WALL
- (E) INTERIOR 6" WOOD WALL
- (E) EXTERIOR 4" WOOD WALL
- (E) EXTERIOR 6" WOOD WALL
- (E) EXTERIOR 8" WOOD WALL
- (E) WALL TO BE DEMOLISHED

CLIENT NAME  
JOHN & SUE CAMPBELL  
6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293  
310-213-8776

RME  
REIDAR HARRIS ENGINEERS, INC.  
3810 PACIFIC COAST HIGHWAY  
SUITE 101  
TORRANCE, CA 90505  
O: 310-863-9440

STAMP  
05/05/2022

Rev. Number	Description	Rev. Date
0	PLANNING & SCHEMATIC	05/05/2022
1	PC PRELIMINARY	05/05/2022

4TH FLOOR AND ROOF  
DECK ADDITION AND  
ACCESSORY DWELLING  
UNIT CONVERSION

6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293

8 1/2" = 1'-0" TITLE  
EXISTING & PROPOSED  
FLOOR PLAN - 1ST FLOOR

JOB NUMBER  
RME 2019 19135

DATE  
05/05/2022

SCALE  
AS INDICATED

SHEET NUMBER  
A2.00



NOTE 1: CONTRACTOR SHALL PROVIDE TEMPORARY BRACING PRIOR TO DEMOLISHING LOAD BEARING MEMBERS & JCTL.  
REPLACEMENT STRUCTURAL SUPPORTS ARE FULLY INSTALLED.

**EXHIBIT "A"**  
Page No. 4 of 12  
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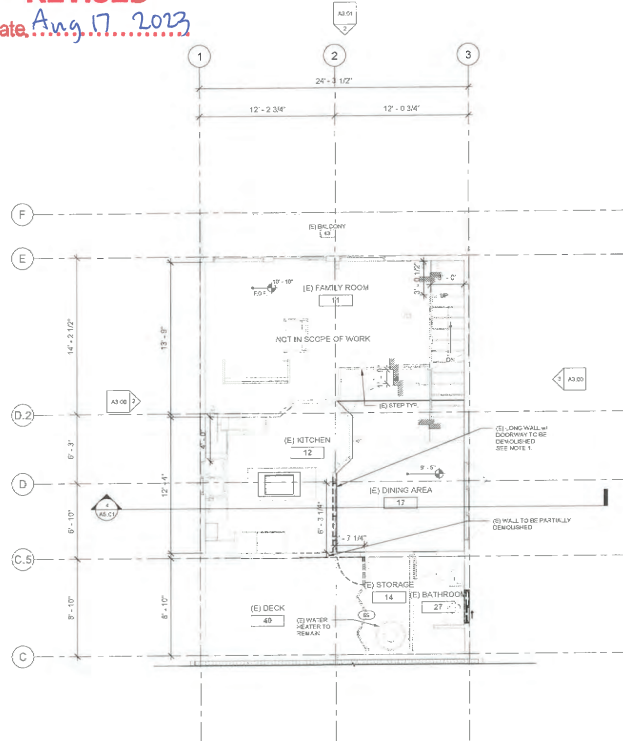
**REVISED**  
Date: Aug 17 2023

**PLAN LEGEND**

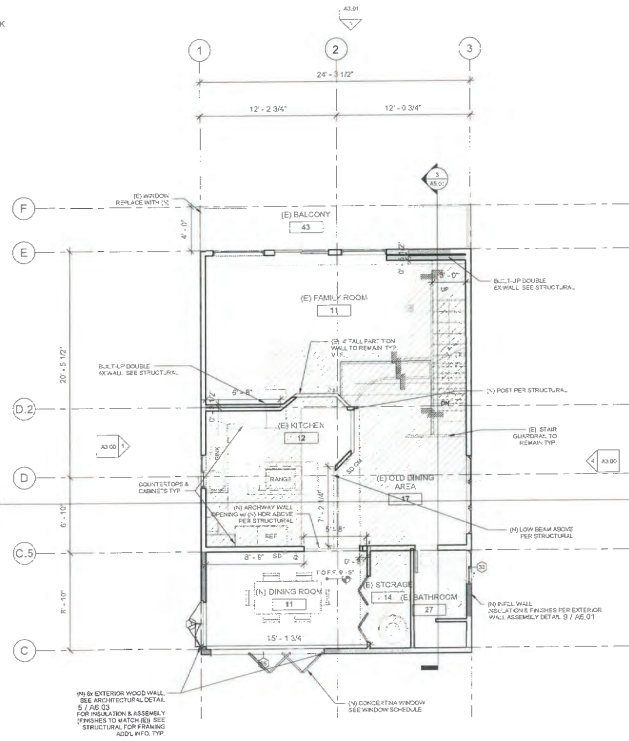
NOT IN SCOPE OF WORK

**WALL LEGEND**

- (E) INTERIOR 4" WOOD WALL
- (N) INTERIOR 6" WOOD WALL
- (E) EXTERIOR 6" WOOD WALL
- (N) EXTERIOR 6" WOOD WALL
- (E) WALL TO BE DEMOLISHED



2. 2ND FLOOR PLAN - EXISTING  
1/4" = 1'-0"



1. 2ND FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



**CLIENT NAME**

JORDAN & SUE CAMPBELL  
6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293  
310-213-8775



REIDAR HARRIS ENGINEERS, INC.  
3819 PACIFIC COAST HIGHWAY  
SUITE 101  
TORRANCE, CA 90505  
O: 310-803-9440

**STAMP**



05/05/2022

Revisions		
Rev. Number	Description	Rev. Date
0	PLANNING SUBMITTAL	06/17/2021

**4TH FLOOR AND ROOF  
DECK ADDITION AND  
ACCESSORY DWELLING  
UNIT CONVERSION**

**6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293**

**SHEET TITLE**  
**EXISTING & PROPOSED  
FLOOR PLAN - 2ND FLOOR**

**JORDAN HARRIS**  
**RAE - DB 19135**

**DATE**  
**05/05/2022**

**SCALE**  
**AS INDICATED**

**SHEET NUMBER**  
**A2.01**

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NEW ROOF NOTES:  
1. NEW ROOF PITCH VISES: SEE ROOF PLAN.  
2. INCLUDE 4" DEEP RATED INSULATION: SINGLE ROOF AND WATERPROOFING: COLOR AND STYLE PER OWNER'S CHOICE.

**EXHIBIT "A"**  
Page No. 7 of 12  
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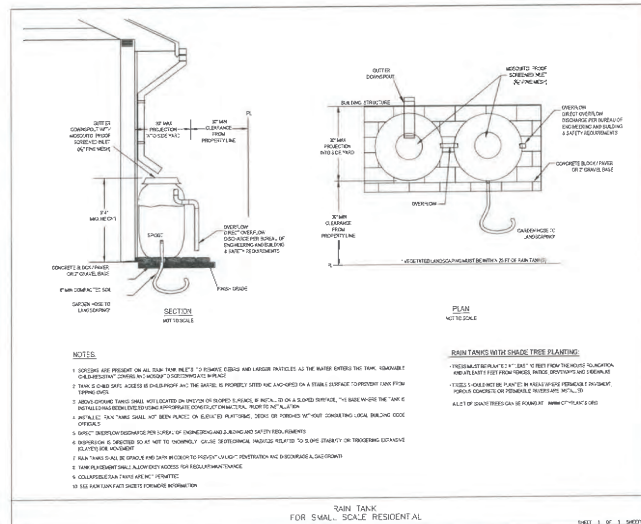
**REVISED**  
Date: Aug 17, 2023

# **WALL LEGEND**

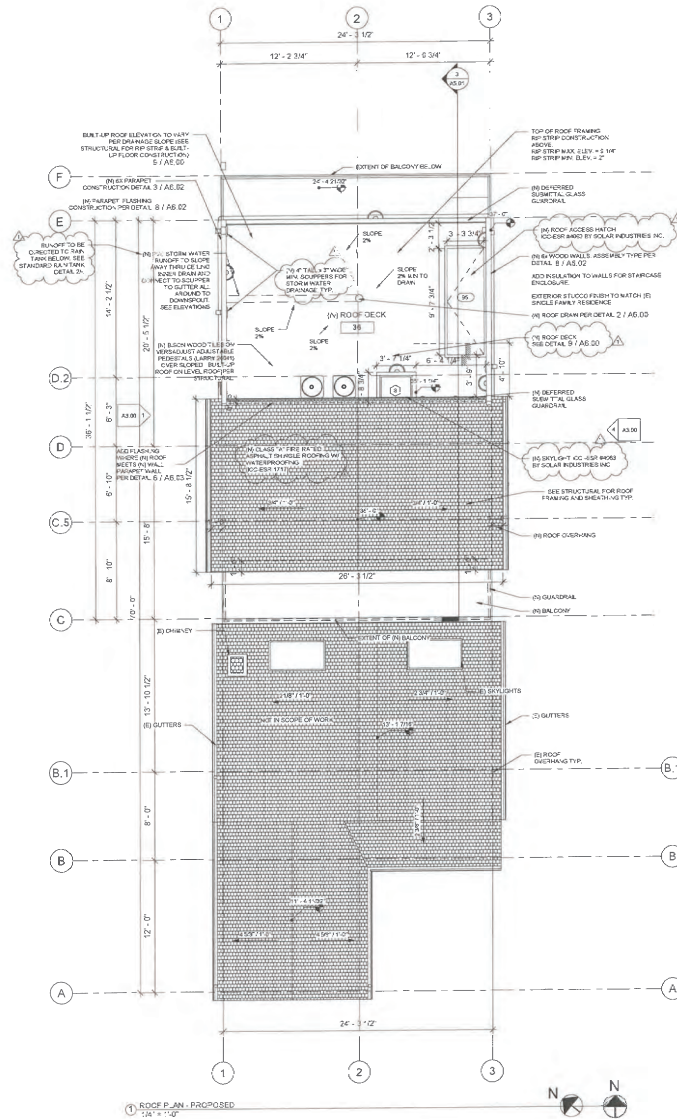
- (1) INTERIOR 4" WOOD WALL
- (2) INTERIOR 6" WOOD WALL
- (3) EXTERIOR 6" WOOD WALL
- (4) EXTERIOR 8" WOOD WALL
- (5) WALL TO BE DEMOLISHED

# **PLAN LEGEND**

- NOT IN SCOPE OF WORK



RAIN TANK STANDARD DETAIL  
NOT TO SCALE



CLIENT NAME  
JOHN & SUE CAMPBELL  
6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293  
310-213-8778

**RME**  
REIDAR HARRIS ENGINEERS, INC.  
3810 PACIFIC COAST HIGHWAY  
SUITE 101  
TORRANCE, CA 90505  
O: 310-803-9440

STAMP  
Professional Engineer  
State of California  
No. 100000000  
Exp. 12/31/2023

Rev. No.	Description	Rev. Date
0	PLUMBING SUBMITTAL	08/17/2023
1	PC RESUBMITTAL	08/06/2022

**4TH FLOOR AND ROOF  
DECK ADDITION AND  
ACCESSORY DWELLING  
UNIT CONVERSION**

**6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293**

SHEET TITLE  
**PROPOSED ROOFTOP PLAN**

JOB NUMBER  
RME JOB 19136

DATE  
08/06/2022

SCALE  
AS INDICATED

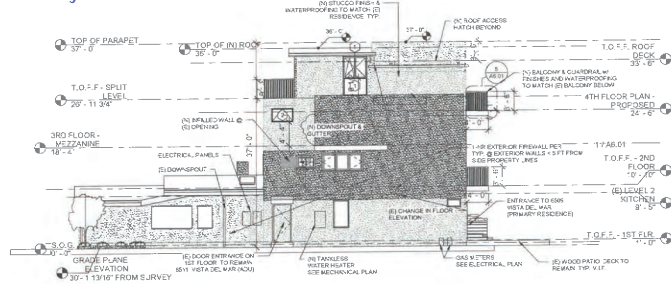
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**A2.04**

# EXHIBIT "A"

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Case No. ZA-2021-5442-CDP-MEL-ZAA

REVISED

Date: Aug 7, 2023

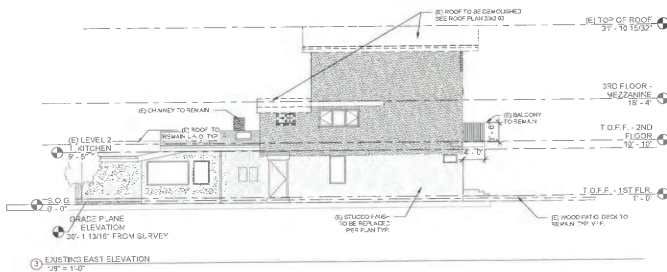


1. PROPOSED EAST ELEVATION  
1/8" = 1'-0"

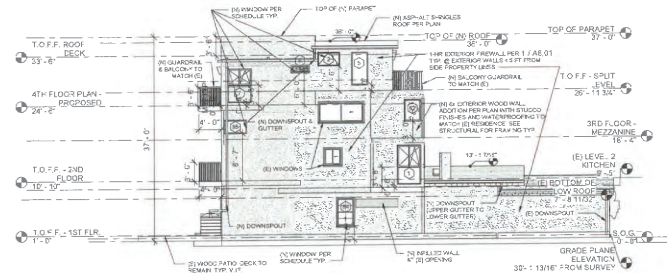
## GRADE PLANE CALCULATION

<b>North Wall (A)</b>		<b>South Wall (C)</b>		<b>Calculation</b>	
High Elev. A	31.87 FT	High Elev. C	30.35 FT	Diag A + Low A	2 = Perimeter A Avg. Grade
Low Elev. A	29.37 FT	Low Elev. C	29.36 FT		
Average Grade A	30.62 FT	Average Grade C	29.86 FT		
Width A	70.00 FT	Width C	70.00 FT		
Weighted Avg. Grade A	2143.4	Weighted Avg. Grade C	2069.9		
<b>East Wall (B)</b>		<b>West Wall (D)</b>		<b>Calculation</b>	
High Elev. B	30.56 FT	High Elev. D	30.16 FT	Perimeter A + Low A	2 = Perimeter A Avg. Grade
Low Elev. B	29.51 FT	Low Elev. D	29.30 FT		
Average Grade B	30.00 FT	Average Grade D	29.73 FT		
Width B	24.00 FT	Width D	24.00 FT		
Weighted Avg. Grade B	722.0	Weighted Avg. Grade D	713.5		
Sum Weighted Avg. Grades	5668.6				
Sum Applicable Wall Widths	188.00 FT				
Grade Plane Elevation	38.15 FT				

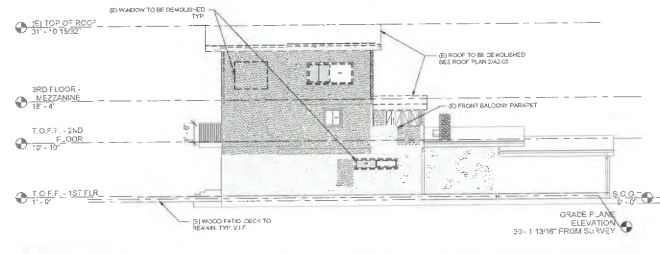
SEE SHEET 1.141 FOR SURVEY ELEVATIONS (GRADE PLANE ELEVATION ACCORDING TO SURVEYOR'S RECORDS)



2. EXISTING EAST ELEVATION  
1/8" = 1'-0"



3. PROPOSED WEST ELEVATION  
1/8" = 1'-0"



4. EXISTING WEST ELEVATION  
1/8" = 1'-0"

CLIENT NAME

JOHN & SUE CAMPBELL  
6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293  
310-253-0778



RME  
REIDAR MARRS ENGINEERS, INC.  
3810 PACIFIC COAST HIGHWAY  
SUITE 101  
TORRANCE, CA 90505  
O: 310-883-9440

STAMP



05/05/2022

Rev. Number	Revised	Revised	Rev. Date
1	PLANNING SUBMITTAL	PC RESUBMITAL	05/05/2022

4TH FLOOR AND ROOF  
DECK ADDITION AND  
ACCESSORY DWELLING  
UNIT CONVERSION

6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293

SHEET TITLE  
EAST/WEST ELEVATIONS

JOB NUMBER

RME JOB 19136

DATE

05/05/2022

SCALE

AS INDICATED

SHEET NUMBER

A3.00

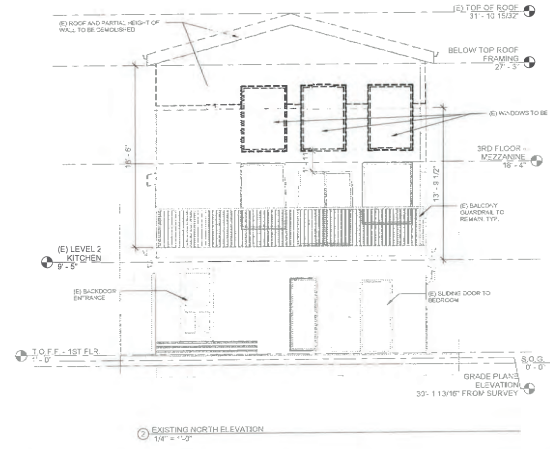
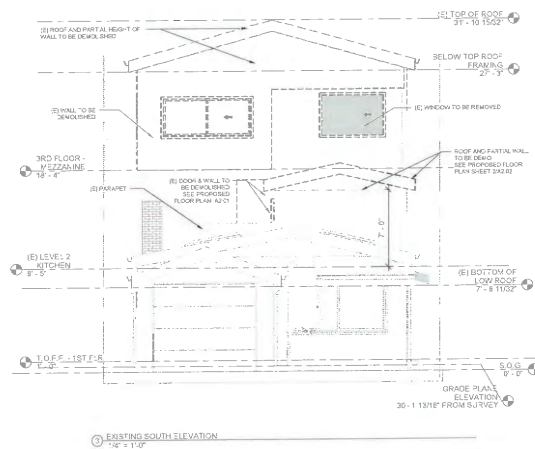
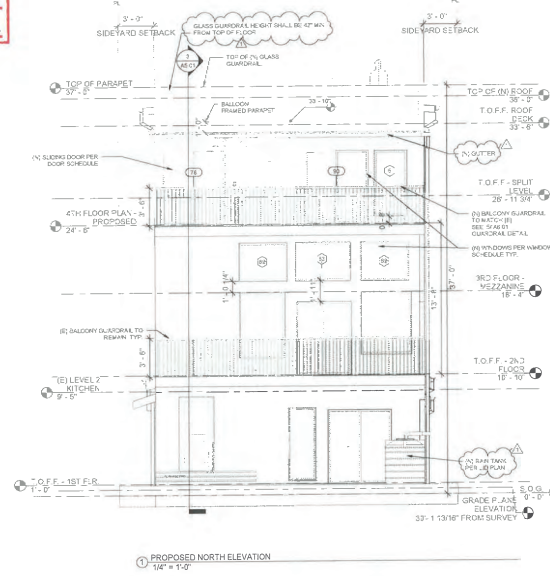
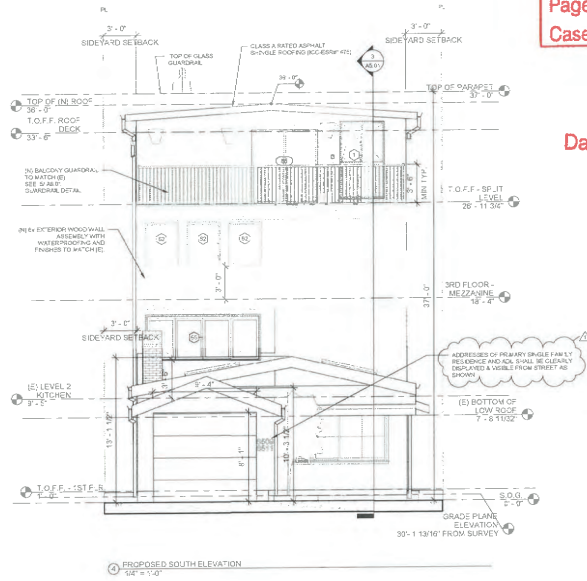
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# EXHIBIT "A"

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Case No. ZA-2021-5442-CDP-MEL-ZAA

REVISED  
Date Aug. 7, 2023



CLIENT NAME

JOHN & SUE CAMPBELL  
5509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293  
310-211-0775

RME

REIDAR MARSH ENGINEERS, INC.  
3810 PACIFIC COAST HIGHWAY  
SUITE 101  
TORRANCE, CA 90505  
O: 310-892-9440

STAMP

Revisions		
Rev. Number	Description	Rev. Date
1	PLANNING SUBMITTAL	08/11/2021
2	PC RESUBMITTAL	05/05/2022

4TH FLOOR AND ROOF DECK ADDITION AND ACCESSORY DWELLING UNIT CONVERSION

6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293

6'-0" TITLE

NORTH/SOUTH ELEVATIONS

DESIGNER

NAME: JOHN MARSH

DATE

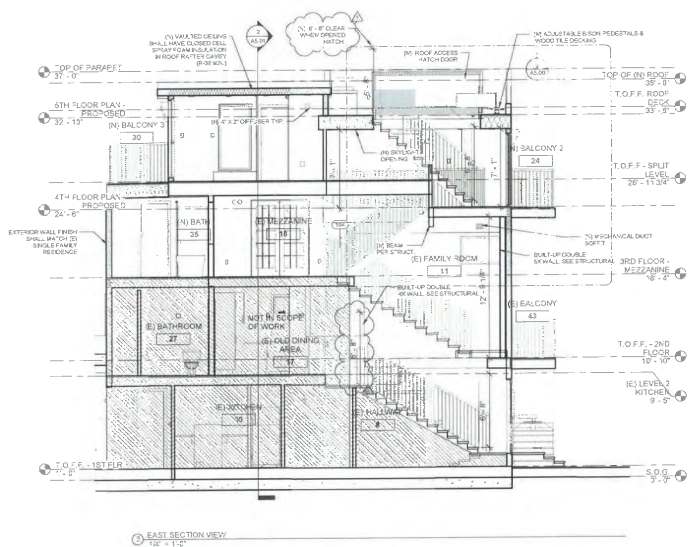
05/05/2022

SCALE

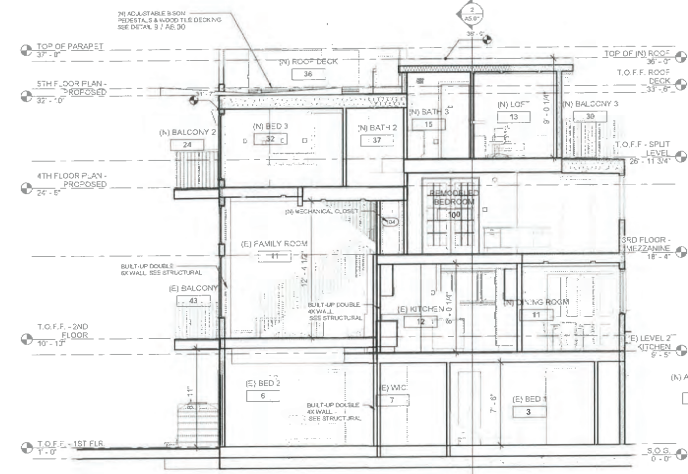
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SHEET NUMBER

A3.01



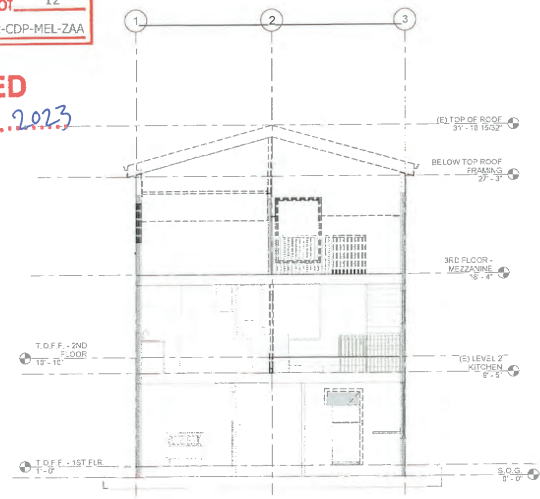
1 EAST SECTION VIEW  
1/4" = 1'-0"



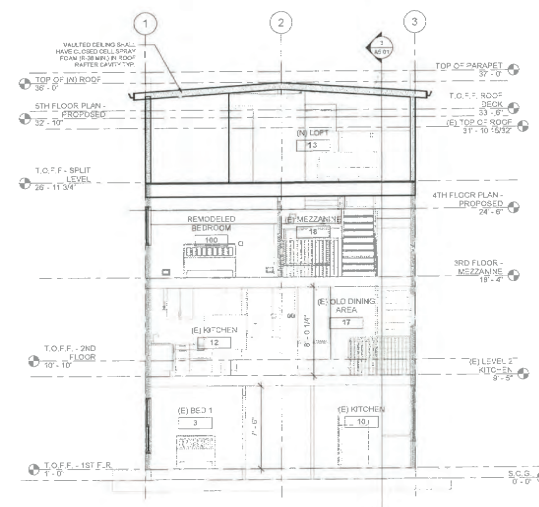
2 WEST SECTION VIEW  
1/4" = 1'-0"

**EXHIBIT "A"**  
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Case No. ZA-2021-5442-CDP-MEL-ZAA

**REVISED**  
Date: Aug 17, 2023



3 EXISTING SOUTH SECTION VIEW  
1/4" = 1'-0"



4 PROPOSED SOUTH SECTION VIEW  
1/4" = 1'-0"

CLIENT NAME  
JOHN & SUE CAMPBELL  
5555 VISTA DEL MAR  
PLAYA DEL REY, CA 90293  
310-243-0778

**RME**  
RESIDAR HARRIS ENGINEERS, INC.  
2810 PACIFIC COAST HIGHWAY  
SUITE 101  
TORRANCE, CA 90505  
O: 310-893-9440

STAMP  
05/05/2022

Rev.	Number	Description	Rev. Date
0	1	PLANNING SUBMITTAL	08/11/2021
1	1	PC RESUBMITTAL	06/05/2022

4TH FLOOR AND ROOF  
DECK ADDITION AND  
ACCESSORY DWELLING  
UNIT CONVERSION

6509 VISTA DEL MAR  
PLAYA DEL REY, CA 90293

SHEET TITLE  
SECTION VIEWS

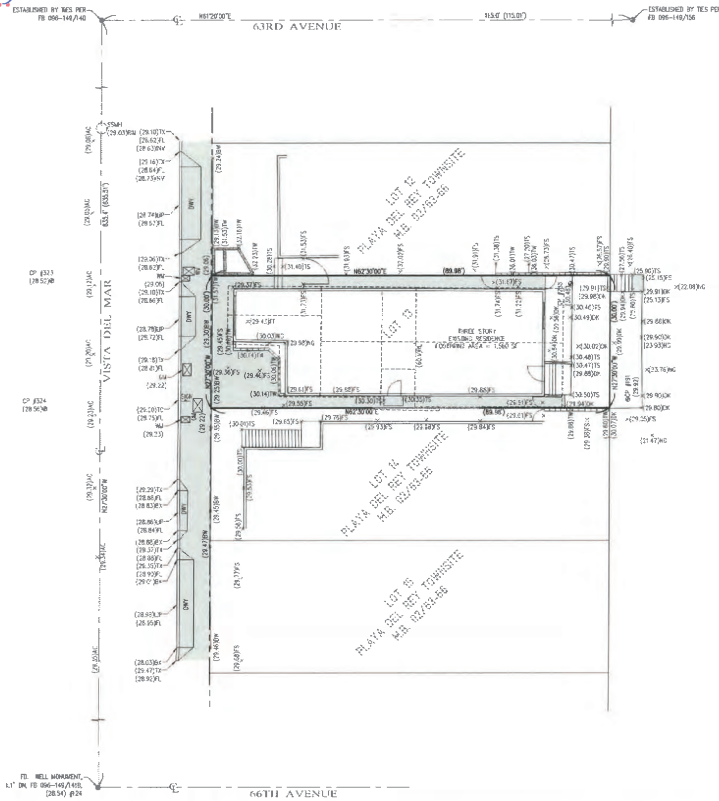
JOB NUMBER  
RME JOB 18135

DATE  
05/05/2022

SCALE  
AS INDICATED

SHEET NUMBER  
**A5.01**  
LUP-HOUST & JOE-BECK ARCHITECTS INC.

**REVISED**  
 Date: Aug. 17, 2023



**ABBREVIATIONS**

AC	ASPHALT CONCRETE
BC	BACK OF BUILDING
BR	BOTTOM OF RAMP
CC	SHIELT CONCERNING
CP	SURVEY CONTROL POINT
CP	CONCRETE
DN	DOWN
ED	EDGE OF GUTTER
FD	FOUND SURVEY MONUMENT
FB	FLOOR BOARD
FL	FINISHED FLOOR ELEVATION
FL	FLOOR LINE
FS	FINISHED SURFACE ELEVATION
GM	GRASS MAT
MS	MASS BLOCK
NE	NATURAL GRADE ELEVATION
NS	NATURAL GRADE
SS	SEWAGE SANITARY
TC	TOP OF CURB
TS	TOP OF STEP
TM	TOP OF WALL
TA	TOP OF RAMP
WM	WATER METER
WM	WATER METER
WY	WATER WAVE

**LINE LEGEND**

---	STREET CENTERLINE
---	POINT OF WALL LINE
---	PROPERTY LINE
---	EXISTING LOT
---	WALL
---	EXISTING ONE FOOT (1') CONTOUR LINES

**FEATURES LEGEND**

---	EXISTING UTILITY AS NOTED
---	DOOR
---	SURVEY CONTROL POINT
---	FOUND SURVEY MONUMENT
---	CONCRETE AREAS
---	CEILING AREAS

**SURVEYOR'S NOTES:**

- LOT 13 AREA = 2,700 SQ. OR 0.06 ACRES
- SURVEY PERFORMED WITHOUT BENEFIT OF A TITLE REPORT. ANY ENCLAVE EASEMENTS OF RECORD MAY NOT BE SHOWN HEREON.



**PREPARED BY:**  
  
 CRF  
 CIVIL ENGINEERING  
 10000 WILSON AVENUE, SUITE 100  
 BELLFLOWER, CA 91706  
 TEL: 714-261-2000  
 FAX: 714-261-2001  
 WWW.CRFENGINEERING.COM

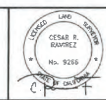
**PREPARED FOR:**  
 SUE CAMPBELL  
 6509 VISTA DEL MAR  
 PLAYA DEL REY, CA 90293

**BASIS OF BEARINGS:**  
 THE CONTINUED OF VISTA DEL MAR ROAD (N27°00'00" W) AS SHOWN ON PLAYA DEL REY TOPGRAPHIC SURVEY MAP (CDP) 65-00, OF MAP BOOKS AS FILED IN THE LOS ANGELES COUNTY RECORDER'S OFFICE.

**COUNTY BENCHMARK:**  
 BENCHMARK: 17-22056  
 SPICE AND WALKER WEST CURB ON PACIFIC AVENUE  
 50 FT NORTH OF 62ND AVENUE

**DATE:** 02-24-2022  
**DEVELOPER:** 14,000 SQ. FT.  
**YEAR ELEVATED:** 1985

**TOPOGRAPHIC SURVEY MAP**  
 6509 VISTA DEL MAR  
 PLAYA DEL REY, CALIFORNIA, 90293  
 (DATE OF SURVEY: 02-24-2022)



**LEGAL DESCRIPTION:**  
 LOT 13 OF PLAYA DEL REY TRACT, BUNKER HILL, 65-00, OF MAP BOOKS AS FILED IN THE LOS ANGELES COUNTY RECORDER'S OFFICE.

**APN:** 4116-005-012

**DATE:** 02-24-2022  
**PROJECT NUMBER:** 65-00-0022  
**PROJECT METHOD:** 22-001  
**SURVEYED BY:** RAJAO, G.  
**CHECKED BY:** S.S.  
**DRAWN BY:** G.R., P.L.S.

☐ Design Development  
☐ Progress Control Docs  
☒ City Submitted  
☐ Bldg Package  
☐ Construction Issue  
☐ Record Drawings  
☐ Construction Staking

**SHEET:**  
 1  
 OF 1 SHEET

**CLIENT NAME**  
 JOHN & SUE CAMPBELL  
 6509 VISTA DEL MAR  
 PLAYA DEL REY, CA 90293  
 310-213-8778

**Revisions**

Rev.	Description	Rev. Date
1	PC RESUBMITTAL	05/05/2022

**4TH FLOOR AND ROOF DECK ADDITION AND ACCESSORY DWELLING UNIT CONVERSION**

**6509 VISTA DEL MAR  
 PLAYA DEL REY, CA 90293**

**SHEET TITLE**  
 TOPOGRAPHIC SURVEY MAP

**DATE**  
 05/05/2022

**SCALE**  
 AS INDICATED

**SHEET NUMBER**  
 T1.01



## EXHIBIT 3 – Unpermitted Deck Encroachment

January 2020



February 2021



# EXHIBIT 4 – Compatibility Analysis

6509 Vista Del Mar  
Playa Del Rey

Reidar Marrs Engineers, Inc.

January 27<sup>th</sup>, 2023

## **Narrative Analysis**

6509 Vista Del Mar, Playa Del Rey, CA 90293

This narrative analysis has been prepared by Reidar Marrs Engineers, Inc. to show, along with the included Contextual Visual Analysis drawings, that the subject project located at 6509 Vista Del Mar is compatible with the pattern of development in the surrounding neighborhood as to scale, mass, and character.

## **Summary of Study Findings**

This study analyzed all structures on either side of the project block, Vista Del Mar between 63<sup>rd</sup> Ave. and 66<sup>th</sup> Ave. The study captured the **36 individual properties** on the 6300 and 6500 blocks of Vista Del Mar.

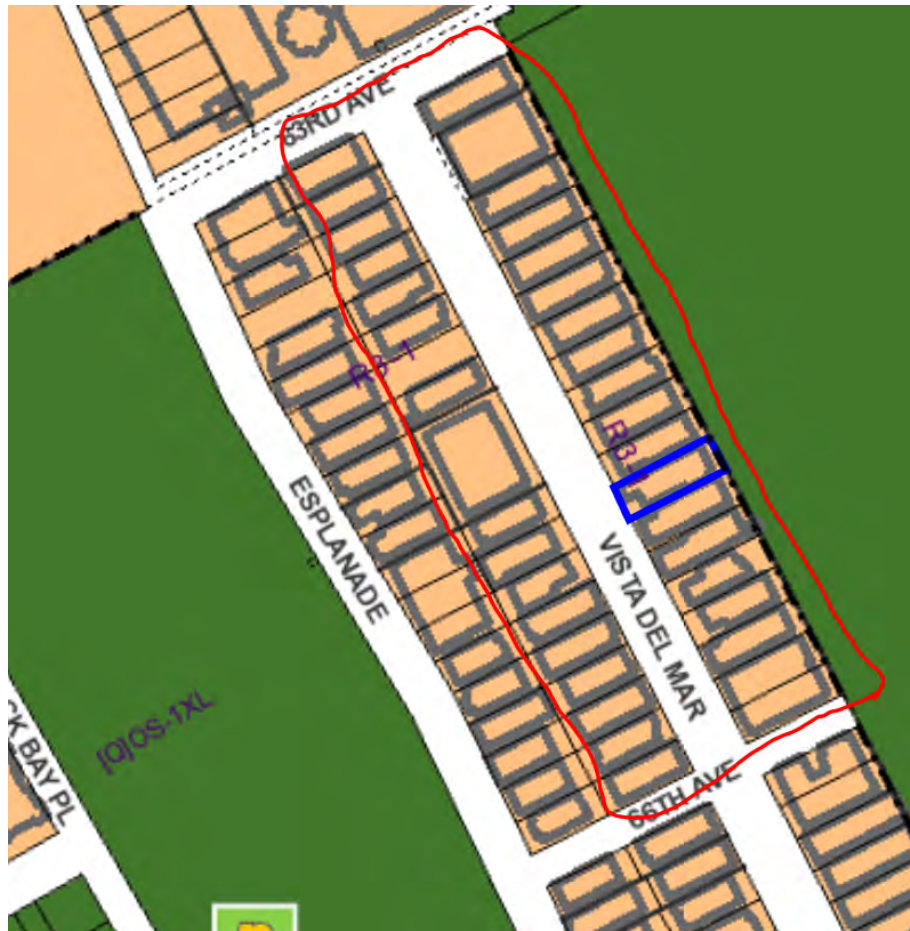
The proposed project at 6509 Vista Del Mar is a request to add a 4<sup>th</sup> story and roof deck above and within the existing footprint of the 2<sup>nd</sup> and 3<sup>rd</sup> stories of the single-family residence, to a total height of 37 ft. The addition is proposed to maintain the same 3 ft side yard setbacks as currently existing at the lower levels and similar to the majority of existing properties in the neighborhood with 3 ft side yard setbacks. Lastly, the existing dwelling space at the ground floor is proposed to be converted into an Accessory Dwelling Unit of 733 square feet, bringing a total of 2 dwelling units to the property, which is consistent with the majority of properties in the neighborhood that have 2 or more dwelling units.

**Therefore, based upon a comprehensive review of development within the project area, the proposed single family residence addition and ADU conversion project is compatible with the existing pattern of development in the neighborhood, as the proposed height of 37 feet is comparable to 33% of structures along the relevant portion of Vista Del Mar. The proposed 3 feet side yard setbacks are comparable with 71% of structures in the neighborhood. And the 2-unit project (single family residence and ADU) is appropriate as to density and use.**

## **Compatibility Analysis**

As was previously stated, the analysis of the general development pattern in the area was on properties along Vista Del Mar. Both sides of the street were included in this analysis, consisting of 36 individual properties. This review presents a comprehensive analysis of development within the study area.

A map of the study area is provided below:



Area of study circled in red. Project Site at center outlined in blue.

### **Compatibility Factors**

As noted earlier, in reviewing the project for compatibility we looked at the following compatibility factors which have the greatest impact on scale and mass: 1) height, 2) side yard setback, 3) density. Other factors, such as articulation and stepbacks that also have a visual impact on the neighborhood are discussed in the Visual Impact section.

### **Height**

**The proposed height of the subject project is 37 ft. Heights within the area of study vary from a low of 18 feet at 6316-6318 Vista Del Mar and a high of 49 feet at 6501 Vista Del Mar. Overall, the average height of all structures is 29.86 feet.**

The proposed height is compatible with the pattern of development for the project block and the wider neighborhood. The following table lists structures on the block with comparable heights:



<u>Address</u>	<u>Height (ft.)</u>
6305 Vista Del Mar	37
6329 Vista Del Mar	45
6337 Vista Del Mar	38
6501 Vista Del Mar	49
6505-6507 Vista Del Mar	40
6304-6306 Vista Del Mar	37
6320 Vista Del Mar	37
6328 Vista Del Mar	37
6504 Vista Del Mar	37
6508 Vista Del Mar	37
6518-6520 Vista Del Mar	37
6532 Vista Del Mar	37

As discussed earlier, of the 36 total lots surveyed, 33% had a height ranging from 37 feet and above up to 49 feet (12 structures).

All of the lots in the general area are substandard in width and area with 30 by 90 feet in dimension. Substandard size of the lots in the analyzed block of properties places serious constraints on construction options, forcing higher heights than would normally be constructed if the lots were standard size. The character of the neighborhood therefore includes relatively tall buildings. Similarly, approximately 53% of the buildings in the block have 3 or more stories.

#### Side Yard Setback

**The subject project will be set back 3 feet from the side property lines.**

The proposed 3 feet side yard setbacks are also present in 71% of the existing properties surveyed. As mentioned previously, the relatively narrow width (30 feet wide) of the typical lot in the neighborhood has led to tall buildings being constructed. Similarly, the narrow lot widths in the neighborhood have also led to more narrow than typical side yard setbacks of 3 feet. The subject property will also have 3 feet side yard setbacks and therefore be compatible with the neighborhood.

#### Density

**Density along the project block ranges from single-family dwellings to a 6-unit condominium. The proposed project is 2 units (Single Family Residence + Accessory Dwelling Unit). The average density for the project block is 2.1 units. This level of density is compatible with the scale, mass, and character of the block.**

The subject property and every property in the neighborhood block is zoned R3-1 (multi-family residential). As described above, the majority of properties in the neighborhood block have 2 or more dwelling units. The proposed project at the subject property will convert a portion of the ground floor to an ADU and add on additional space to the existing single-family residence, bringing the total number of dwelling units on the property to 2 units, which is in line with the multi-dwelling unit character of the neighborhood and in-line with the multi-family zoning of the area.

### **Visual Impact**

The data-based compatibility analysis demonstrates clearly that the project is compatible with the scale and character of this multi-family neighborhood. However, the raw data alone paints a picture that does not necessarily represent the scale and mass of the neighborhood actually visible along the block. These visual impacts are analyzed in this section.

Photos of the front of each of the 36 properties in the neighborhood block are included in the Contextual Visual Analysis drawings. Upon reviewing the articulation and stepbacks of the properties it is clear that the primary visual impact on the neighborhood are the front face of the multi-story buildings continuously vertical near the front of the street (with relatively few buildings having stepbacks), and the majority of buildings having balconies, roof decks, or a combination of both. Out of the 36 properties surveyed, approximately 25 have front-facing balconies (not counting rooftop decks). And approximately 15 of the properties in the neighborhood block have rooftop decks. The subject property is proposed to have both front balconies and a roof deck, and so it will be compatible with the dominant visual characteristics of the neighborhood.

Also, although the subject property could have proposed to add additional upper story dwelling space up to the existing front façade of the garage at the ground floor, the 2nd story and added space above will remain stepped back approximately 38 feet from the front property line. Along the neighborhood block several upper stories of existing buildings are stepped back only 8 feet from the front property line. Although the decision of the owners of the subject property to step the building back from the front façade differs from the typical front-facing continuous multi-story front facing façade characteristic of the tall buildings in the neighborhood, it is a visually appealing choice that also relates to the visual characteristic of the more open space above the existing shorter 2 story developments in the neighborhood.

The red square in the photo below is the only area of proposed work that will be added vertically at the subject property. The owners of the subject property are seeking a vertical extension in line with properties in the neighborhood – but not to the extent of building up as close as possible to the front property line to the minimum allowable front setback as many buildings in the neighborhood have.



Property Lines in Blue and Approximate Extent of Upper Story Addition in Red

### **Conclusion**

Based upon a comprehensive data-based review of development along the project block, the proposed project is compatible as to scale, mass, and character. The project's height, side yard setback, and density are typical for this block, which feature a wide variety of projects developed at various heights and densities.

- Of the 36 buildings surveyed, 12 buildings have a height of 37 feet or greater;



- A 71% majority of the existing properties surveyed have a side yard setback of 3 ft, so the 3 ft side yard setback of the proposed project will be compatible with the majority;
- With an R3-I zoning, the average density (number of dwelling units) of the neighborhood block is 2.1 units, so the 2 dwelling units proposed for the project will be compatible with the multi-family characteristic of the neighborhood.

Additionally, as a result of the visual impacts on the block generated by multi-story tall buildings with front-facing balconies and roof decks, the proposed project will be compatible with the dominate character of the neighborhood by having front facing balconies and a roof deck, although with a visually appealing larger front step back than what is typical for the neighborhood characteristic of tall building upper stories having close proximity to the front street. With all aspects considered, the proposed project fits neatly within the typical pattern of development, which is characterized by many tall multi-family structures.

6509 VISTA DEL MAR,  
PLAYA DEL REY, CA 90293

FINDINGS

- EXISTING FIRST FLOOR TO REMAIN SET BACK 5'-0" FROM FRONT PROPERTY LINE
- EXISTING SECOND FLOOR TO REMAIN SET BACK APPROXIMATELY 38'-0" FROM FRONT PROPERTY LINE
- PROPOSED THIRD AND FOURTH FLOORS TO BE SET BACK APPROXIMATELY 38'-0" FROM FRONT PROPERTY LINE
- ALONG THIS BLOCK, SEVERAL UPPER STORIES OF EXISTING BUILDINGS ARE ONLY SET BACK 8'-0" FROM FRONT PROPERTY LINE
- ALONG THIS BLOCK OF VISTA DEL MAR, NONE OF THE 35 BUILDINGS ARE SINGLE STORY
- ON THIS BLOCK, 5 EXISTING BUILDINGS HAVE 4 STORIES LIKE THE PROPOSED 4 STORY BUILDING
- ON THIS BLOCK, 12 EXISTING BUILDINGS ARE AS TALL OR TALLER THAN THE PROPOSED BUILDING HEIGHT OF 37'-0"
- ON THIS BLOCK, 24 EXISTING BUILDINGS HAVE THE SAME SIDE YARD SETBACK AS THE PROPOSED SIDE YARD SETBACK OF 3'-0"



PROPOSED ELEVATION



6509 VISTA DEL MAR,  
PLAYA DEL REY, CA 90293



CONTEXTUAL VISUAL ANALYSIS

REIDAR MARRS ENGINEERS, INC.



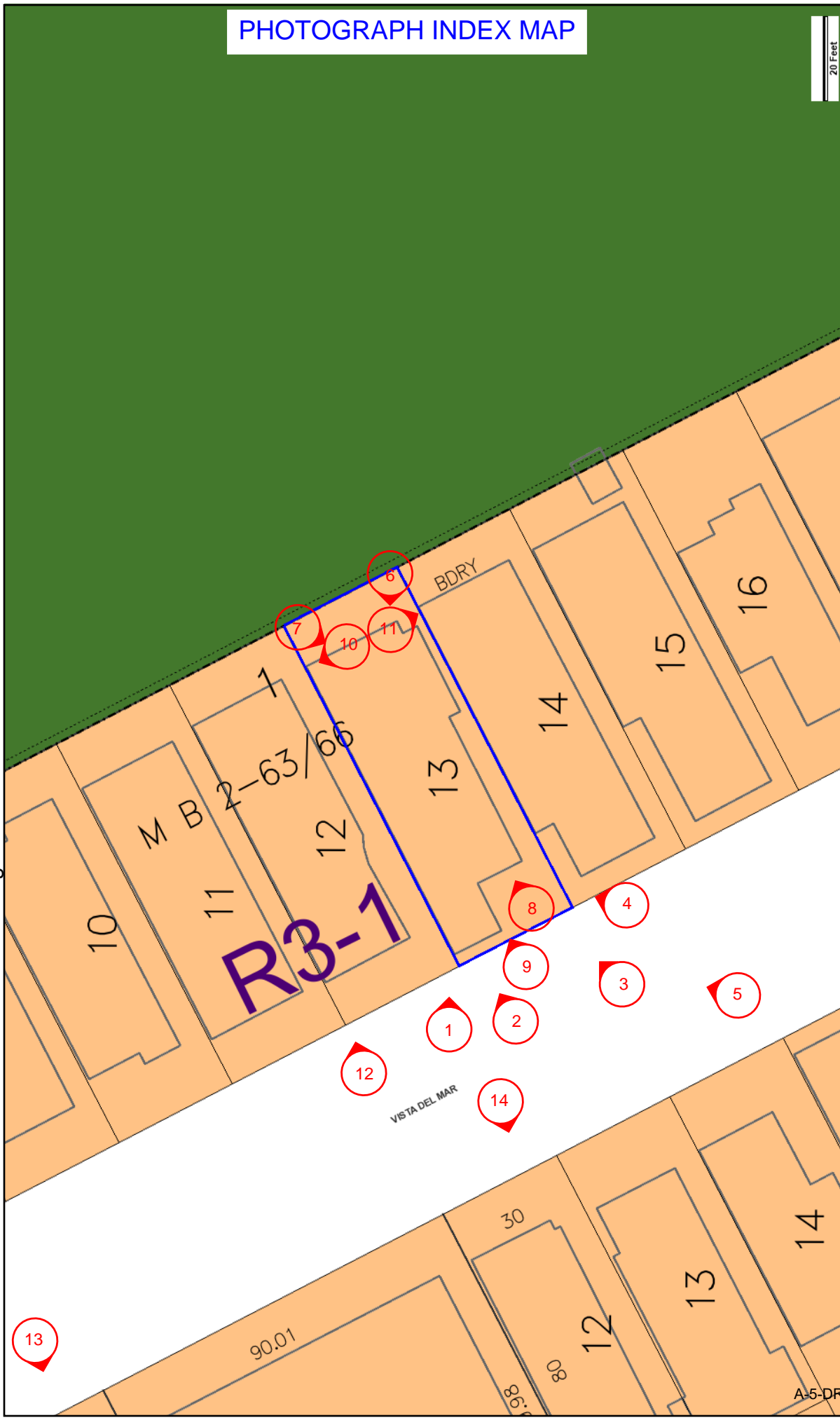
**6509 VISTA DEL MAR,  
PLAYA DEL REY, CA 90293**

[illegible][illegible][illegible][illegible]

## CONTEXTUAL VISUAL ANALYSIS

**REIDAR MARRS ENGINEERS, INC.**

## PHOTOGRAPH INDEX MAP



Tract: PLAYA DEL REY TOWNSITE	Zoning: R3-1
Block: 1	General Plan: Medium Residential
Lot: 13	
Arb: None	

Address: 6509 S VISTA DEL MAR  
Campbell  
PIN: 4116005012  
PIN #: 096B149 84

PHOTOGRAPHS – 6509 VISTA DEL MAR



Location 1 – Front Left Corner





Location 2 – Front Center



Location 3 – Front Right Corner (Street)



Location 4 – Front Right Corner (Sidewalk)



Location 5 – Front Right Corner (Across Street)



Location 6 – Rear Right Corner



Location 7 – Rear Left Corner





Location 8 – Front Center Gutters



Location 9 – Front Center Tree and Parking



Location 10 – Rear Left Fence



Location 11 – Rear Right Fence

6501 Vista Del Mar - Google Maps

<https://www.google.com/maps/place/6505+Vista+Del+Mar,+Playa+Del+Rey,+CA+9029...>

Google Maps 6501 Vista Del Mar



1 of 2

12/05/2021, 12:07

### Location 12 – 6501-6507 Vista Del Mar

6326 Vista Del Mar - Google Maps

<https://www.google.com/maps/place/6328+Vista+Del+Mar,+Playa+Del+Rey,+CA+9029...>

Google Maps 6326 Vista Del Mar



1 of 2

12/05/2021, 12:11

### Location 13 – 6328 Vista Del Mar



6507 Vista Del Mar - Google Maps

<https://www.google.com/maps/place/6508+Vista+Del+Mar,+Playa+Del+Rey,+CA+90293...>

Google Maps 6507 Vista Del Mar



1 of 2

12/05/2021, 12:10

### Location 14 – 6338-6508 Vista Del Mar



Aerial Photograph

# EXHIBIT 5 – City Conditions of Approval

OFFICE OF ZONING ADMINISTRATION  
200 N. SPRING STREET, ROOM 763  
LOS ANGELES, CA 90012-4801  
(213) 978-1318

**ESTINEH MAILIAN**  
CHIEF ZONING ADMINISTRATOR

**ASSOCIATE ZONING ADMINISTRATORS**

JACK CHIANG  
HENRY CHU  
TIM FARGO  
JONATHAN A. HERSHEY, AICP  
PHYLLIS NATHANSON  
CHARLES J. RAUSCH JR.  
CHRISTINE M. SAPONARA  
COURTNEY SHUM  
CHRISTINA TOY LEE  
JORDANN TURNER

**CITY OF LOS ANGELES**  
CALIFORNIA



**KAREN BASS**  
MAYOR

**LOS ANGELES DEPARTMENT  
OF CITY PLANNING**  
EXECUTIVE OFFICES

VINCENT P. BERTONI, AICP  
DIRECTOR  
SHANA M.M. BONSTIN  
DEPUTY DIRECTOR  
ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR  
LISA M. WEBBER, AICP  
DEPUTY DIRECTOR  
planning.lacity.org

July 19, 2023

End of Appeal Period: August 3, 2023

John Campbell (A)  
6509 S Vista Del Mar  
Playa Del Rey, CA 90293

John A. & Sue J. Campbell (O)  
6509 S Vista Del Mar  
Playa Del Rey, CA 90293

Nicholas Marrs (R)  
Reider Marrs Engineers, Inc.  
3810 Pacific Coast Highway Unit 101  
Torrance, CA 90505

CASE NO. ZA-2021-5442-CDP-MEL-  
ZAA  
COASTAL DEVELOPMENT PERMIT,  
MELLO ACT COMPLIANCE REVIEW, AND  
ZONING ADMINISTRATOR'S  
ADJUSTMENT  
6509 South Vista Del Mar  
Westchester – Playa Del Rey  
Community Plan Area  
Zone : R3-1  
D.M. : 096B149  
C.D. : 11 - Park  
CEQA : ENV-2021-5443-CE  
Legal Description: Lot 13, Block 1, Playa  
Del Rey Townsite Tract

Pursuant to the California Environmental Quality Act (CEQA), I hereby **DETERMINE**:

based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15301, Class 1 (Existing Facilities), Section 15303, Class 3 (New Construction or Conversion of Small Structures), and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste site, or historical resources applies; and

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.20.2, I hereby **APPROVE**:

a Coastal Development Permit authorizing the remodel and addition to an existing three-story single-family dwelling with an attached garage consisting of a 959 square-foot addition and new fourth floor, a new 367 square-foot rooftop deck, and the conversion of 733 square feet of the existing first floor into a new Accessory Dwelling Unit (ADU); resulting in a four-story, 3,155 square-foot single-family dwelling with an attached ADU, one-car garage, and one uncovered parking space in the Dual Permit Jurisdiction Area of the Coastal Zone; and

Pursuant to LAMC Section 12.28, I hereby **APPROVE**:

a Zoning Administrator's Adjustment from Section 12.10-C.2 to allow reduced side yards of 3 feet in lieu of the 5 feet required for a 4-story residential building in the R3-1 Zone, including reduced passageways to the primary entrance at the rear of the lot, and

Pursuant to Government Code Sections 65590 and 65590.1 and the City of Los Angeles Interim Mello Act Compliance Administrative Procedures, I hereby **APPROVE**:

a Mello Act Compliance Review for a conversion resulting in one new Residential Unit in the Coastal Zone,

Upon the following additional terms and conditions:

1. All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied within the development and use of the property, except as such regulations are herein specifically varied or required.
2. The use and development of the property shall be in substantial conformance with the plot plan and floor plan submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
3. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
4. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.



5. Zoning Administrator's Adjustment.

- a. Approved herein are reduced side yards of 3 feet in lieu of the 5 feet required by LAMC Section 12.10-C.2 for the construction, use, and maintenance of a 4-story residential building on a 30-foot wide lot in the R3-1 Zone.
- b. To accommodate passage and access, no new fencing shall be erected along the southeasterly property line between the subject site and the neighboring property at 6513 S Vista Del Mar.

6. Coastal Development Permit and Project Permit Compliance

- a. Density. One single-family dwelling and one attached accessory dwelling unit (ADU) shall be permitted, as shown in "Exhibit A".
- b. Height. As shown in "Exhibit A", the development shall be limited to a maximum height of 37 feet.
- c. Front Façade (Articulation). The front façade of the structure shall be articulated as shown in "Exhibit A", incorporating a balcony and a step-back at the second, third, and fourth level, ranging from 38 feet to 43 feet from the front property line.
- d. Roof Deck. Parapets and solid glass railings shall be included in the measurement of building height.
  - i. Bird Strike Prevention. Glass railings on decks and balconies shall use materials designed to minimize bird strikes. Such materials may consist, all or in part, of frosted or partially frosted glass, or other visually permeable barriers that are designed to prevent creation of a bird strike hazard. Clear glass or Plexiglas shall not be installed unless they contain UV-reflective glazing that is visible to birds or appliques (e.g., stickers/decals) designed to reduce bird strikes by reducing reflectivity and transparency are also used. Any appliques used shall be installed to provide coverage consistent with manufacturer specifications (e.g., one applique for every 3-foot by 3-foot area) and the recommendations of the Executive Director. Use of opaque or partially opaque materials is preferred to clear glass or Plexiglas and appliques. All materials and appliques shall be maintained throughout the life of the development to ensure continued effectiveness at addressing bird strikes and shall be maintained at a minimum in accordance with manufacturer specifications.

- e. **Parking and Access.** As shown in "Exhibit A" and as approved by the Department of Building and Safety, the project shall provide two (2) parking spaces accessed from Vista Del Mar.
7. **Dual Permit Jurisdiction Area.** The project is located within the Dual Permit Jurisdiction area of the California Coastal Zone. The applicant shall file an application for a second (or "dual") coastal development permit with the Coastal Commission. Prior to the issuance of any permits, the Applicant shall submit proof of a valid ("dual") permit issued by the Coastal Commission.
8. **Code Enforcement Actions.** Prior to the issuance of any permits relative to this matter, all unpermitted work beyond the rear property line and encroaching on Ballona Wetlands Ecological Reserve land, managed by California Department of Fish and Wildlife (CDFW), shall be removed by the Applicant to the satisfaction of the Department of Building and Safety.
9. **Outdoor lighting** shall be designed and installed with shielding so that light does not overflow into adjacent residential properties.
10. Prior to the commencement of site excavation and construction activities, construction schedule and contact information for any inquiries regarding construction activities shall be provided to residents and property owners within a 100-foot radius of the project site. The contact information shall include a construction manager and a telephone number and shall be posted on the site in a manner, which is readily visible to any interested party.
11. A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Development Services Center and the Department of Building and Safety for purposes of having a building permit issued.
12. Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard main covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center for attachment to the subject case file.

**13. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.**

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any, and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.



The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions include actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.