

CALIFORNIA COASTAL COMMISSION

SAN DIEGO DISTRICT OFFICE
7575 METROPOLITAN DRIVE, SUITE 103
SAN DIEGO, CA 92108-4402
VOICE (619) 767-2370
FAX (619) 767-2384



F9a

6-23-0186 (Barlow Capital Investments, LLC)

November 2023

EXHIBITS

Table of Contents

EXHIBIT 1: Vicinity Map

EXHIBIT 2: Aerial View

EXHIBIT 3: Site Photos

EXHIBIT 4: Project Plans

EXHIBIT 5: 1987 Photo of Unpermitted Gunite

La Jolla

5386 Calumet Ave



Pacific Beach



EXHIBIT NO. 1

APPLICATION NO.

6-23-0186

Vicinity Map



California Coastal Commission

Calumet
Park

5386 Calumet Ave



EXHIBIT NO. 2

APPLICATION NO.

6-23-0186

Aerial View



Project Site



Looking south along cobble beach

EXHIBIT NO. 3

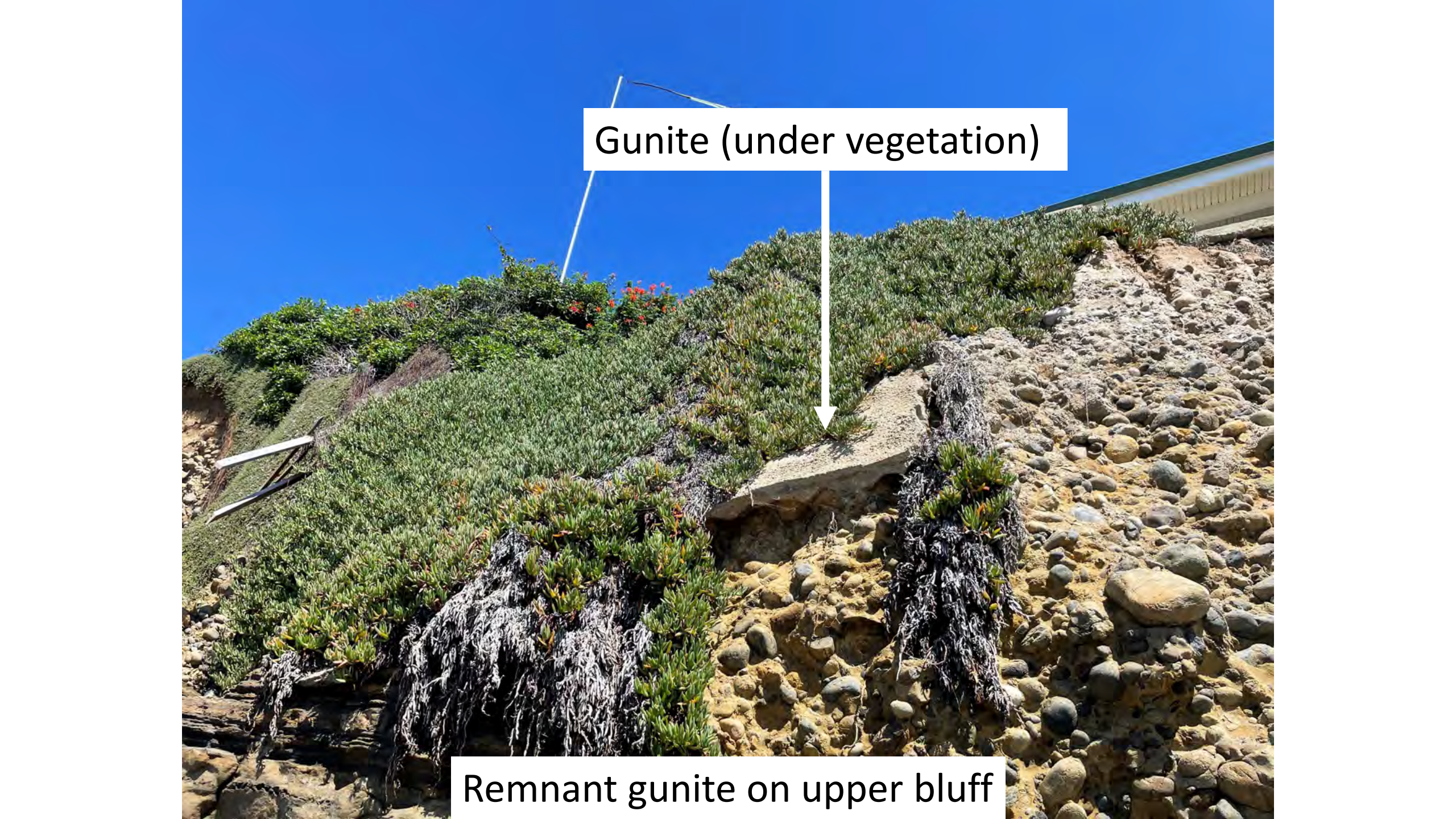
APPLICATION NO.

6-23-0186

Site Photos



California Coastal Commission



Gunite (under vegetation)

Remnant gunite on upper bluff

Rear Patio



Debris-filled gully

Gunite (under vegetation)



Remnant gunite on upper bluff

DEVELOPMENT PERMIT PLANS FOR:
BLUFF STABILIZATION
5386 CALUMET AVENUE, LA JOLLA, CA

GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CALIFORNIA COASTAL COMMISSION AND/OR THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET.SEQ.).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE," IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
7. ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
8. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 627-3200.
9. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
10. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
11. AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
12. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
13. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLDS THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK. DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

BENCHMARK AND SURVEY NOTES

BENCH MARK-CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NORTH CURB RETURN OF CALUMET AVENUE AND BANDERA STREET. ELEVATION 37.825 NAVD 29.

TOPOGRAPHY SOURCE

AERIAL TOPOGRAPHY SURVEY BY SAN-LO ERIAL SURVEYS.
FLIGHT DATE: DECEMBER 13, 2017, CONTROL & FIELD VERIFICATION BY TEAS LAND SURVEYING, DATED DECEMBER 13, 2017.

TOTAL DISTURBED AREA

<0.05 ACRES

GRADING QUANTITIES

GRADED AREA	0.021 ACRES	MAX. CUT DEPTH	0 FT.
CUT QUANTITIES	0 [CYD]	MAX CUT SLOPE RATIO	N/A
CONCRETE FILL QUANTITY	150 [CYD]	MAX. FILL DEPTH	4 FT.
(IMPORT) / EXPORT	150 [CYD]	MAX FILL SLOPE RATIO	N/A
MAX CUT DEPTH UNDER BUILDING FOOTPRINT	0 FT.		
MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT	0 FT.		
MAX FILL DEPTH UNDER BUILDING FOOTPRINT	0 FT.		
MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT	0 FT.		

SPECIAL NOTE:

1. IN ORDER TO REDUCE, CONTROL OR MITIGATE EROSION OF THE COASTAL BLUFF, ALL DRAINAGE FROM IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM THE COASTAL BLUFF AND INTO THE GUTTER SYSTEM ON CALUMET AVENUE.

TOTAL PERVIOUS / IMPERVIOUS AREAS:

CURRENT IMPERVIOUS AREA:	4,982 S.F. (0.114 ACRES)
PROPOSED IMPERVIOUS AREA:	-14 S.F. (0.0 ACRES)
TOTAL IMPERVIOUS AREA:	4,968 S.F. (0.114 ACRES)
CURRENT PERVIOUS AREA:	1,818 S.F. (0.042 ACRES)
PROPOSED PERVIOUS AREA:	+14 S.F. (0.0 ACRES)
TOTAL AREA OF DISTURBANCE:	1,030 S.F. (0.023 ACRES)

PROJECT DATA

PROJECT TEAM: DESIGN ENGINEER: ENGINEERING GEOLOGIST:	TERRACOSTA CONSULTING GROUP WALTER F. CRAMPTON, RCE GREGORY SPAULDING, CEG 3890 MURPHY CANYON ROAD, STE 200 SAN DIEGO, CALIFORNIA 92123 (858) 573-6900
SITE ADDRESS:	5386 CALUMET AVENUE LA JOLLA, CA 92037
LEGAL DESCRIPTION:	LOT 7 OF SUN GOLD POINT, MAP 3216
ASSESSOR PARCEL NO.:	APN 415-021-01-00
OWNER NAME & ADDRESS:	BARLOW CAPITAL INVESTMENTS LLC, SASHA LOWTHER 8565 EL PASEO GRANDE, LA JOLLA, CA
EXISTING & PROPOSED USE:	SINGLE FAMILY RESIDENCE
YEAR CONSTRUCTED:	1962
LANDSCAPE AREA (S.F.):	1,340 S.F. (.031 ACRES)
ZONING DESIGNATION:	RS-1-7
LOT SIZE:	6,800 S.F. (0.156 ACRES)
SETBACKS: FRONT SIDE REAR	15 FEET 5'-6" FEET 10 FEET
OVERLAY ZONES:	COASTAL OVERLAY ZONE, COASTAL HEIGHT LIMIT, FIRST PUBLIC ROADWAY, PARKING IMPACT, RESIDENTIAL TANDEM PARKING, TRANSIT AREA, SENSITIVE COASTAL, COASTAL BLUFF, SENSITIVE VEGETATION, PALEONTOLOGICAL SENSITIVITY

APPROVALS NEEDED:

THIS PROJECT REQUIRES THE FOLLOWING DISCRETIONARY PERMITS/APPROVALS:

- COASTAL DEVELOPMENT PERMIT (CONSOLIDATED)
- SITE DEVELOPMENT PERMIT

PROJECT SCOPE OF WORK:

THIS PROJECT CONSISTS OF THE FOLLOWING:

- INSTALLATION OF TEMPORARY EROSION CONTROL.
- REMOVAL OF RUBBLE AND OTHER DEBRIS WITHIN BLUFF FAILURE AS REQUIRED TO PLACE ERODIBLE FILL
- PLACEMENT OF ERODIBLE CONCRETE FILL OVER RUBBLE FILL
- DEMOLITION OF UPPER BLUFF WALL AND RECONSTRUCTION BEHIND 5-FOOT SETBACK
- DIRECT DRAINAGE CURRENTLY FLOWING OVER BLUFF OUT TO GUTTER AT CALUMET AVENUE

SHEET INDEX

PAGE NO.	SHT. NO.	DESCRIPTION
TS01	1	TITLE SHEET & NOTES
C01	2	EXISTING SITE PLAN & SECTION
C02	3	DEMOLITION SITE PLAN & SECTION
C03	4	PROPOSED SITE PLAN
C04	5	PROPOSED DRAINAGE PLAN
C05	6	PROPOSED GRADING PLAN
C06	7	EROSION CONTROL & LANDSCAPE PLAN

CALIFORNIA COASTAL COMMISSION
WILL PROCESS THE CONSOLIDATED
COASTAL DEVELOPMENT PERMIT



ENGEO
—Expect Excellence—
3890 MURPHY CANYON ROAD, SUITE 200
SAN DIEGO, CALIFORNIA 92123
(858) 573-6900

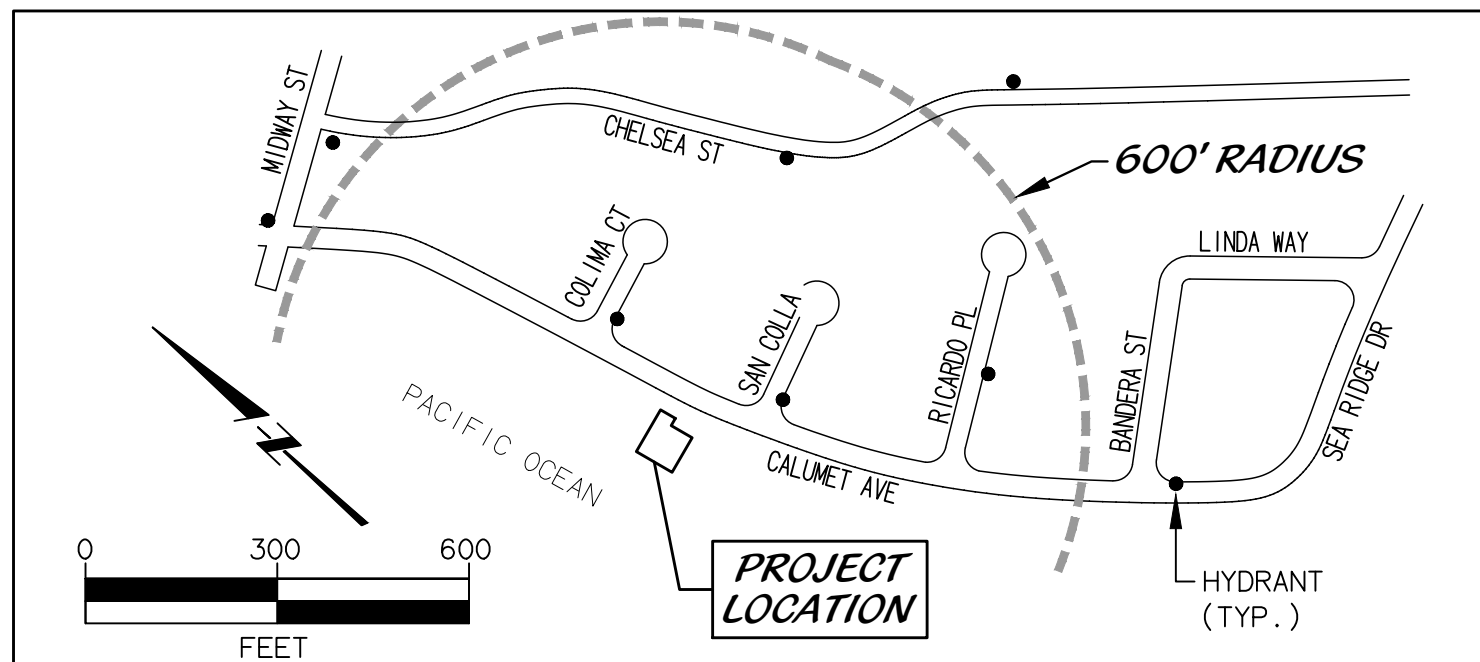


DRONE PHOTO TAKEN MAY 28, 2020

LEGEND

EXISTING IMPROVEMENTS	STD. DWGS.	SYMBOL
PROPERTY LINE		---
CONTOUR		10
WALL		=====
EASEMENT LINE		- - - - -
SETBACK LINE		- - - - -
STORM DRAIN		SD
DOWNSPOUT		DS
DIRECTION OF DRAINAGE		←
PROPOSED IMPROVEMENTS		
ERODIBLE CONCRETE INFILL		[Cross-hatched box]
SUMP VAULT		[Box with X]
CHANNEL DRAIN		=====
SIDEWALK UNDERDRAIN	D-27	[Symbol]

FIRE HYDRANT LOCATION MAP



PRIVATE CONTRACT

COASTAL DEVELOPMENT PLANS FOR:

BLUFF STABILIZATION
5386 CALUMET AVENUE

SHEET TITLE:

TITLE SHEET & NOTES

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT

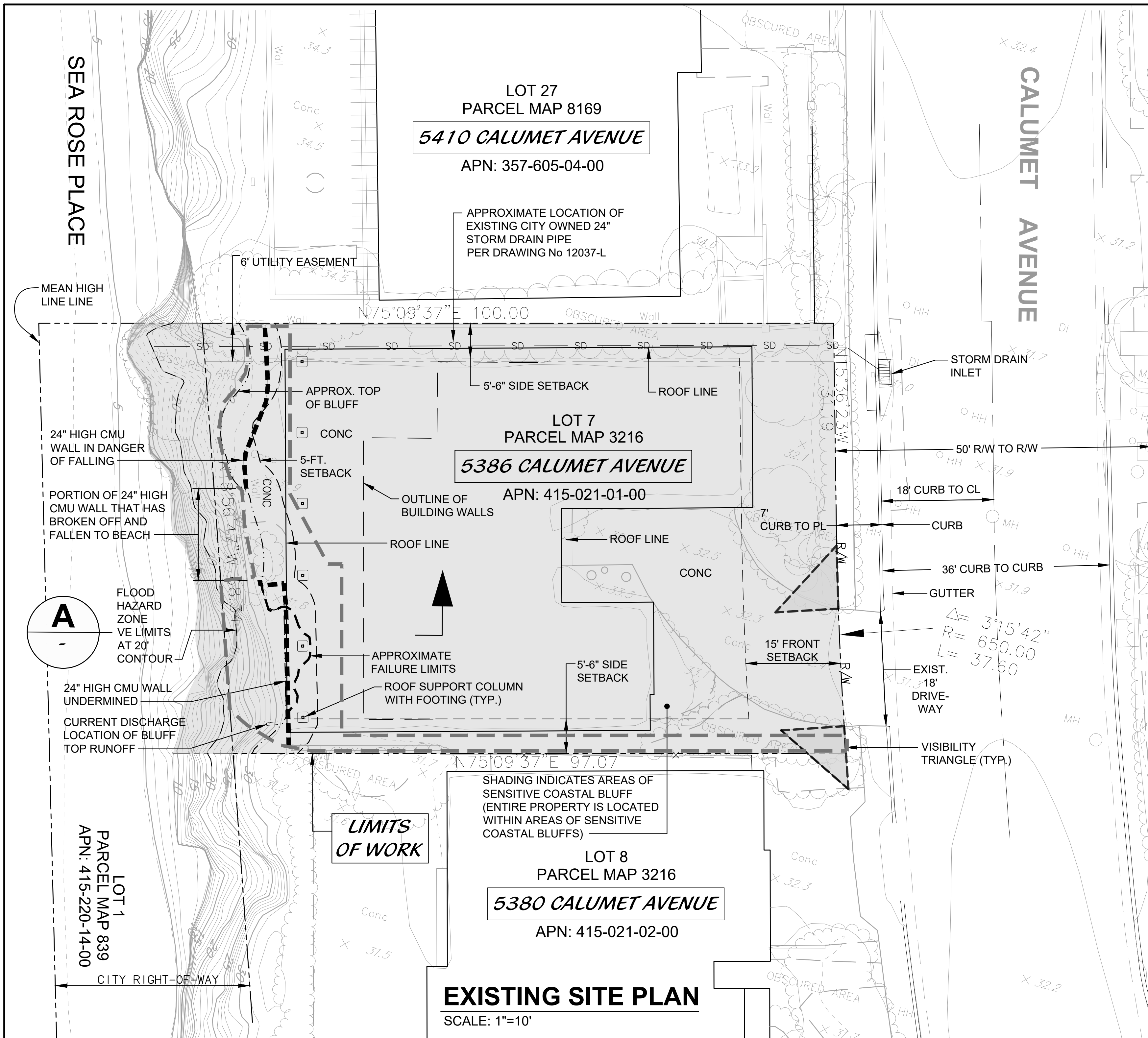
SHEET 1 OF 7 SHEETS

REV	DESCRIPTION
1	CONSOLIDATED REVIEW COASTAL PLAN

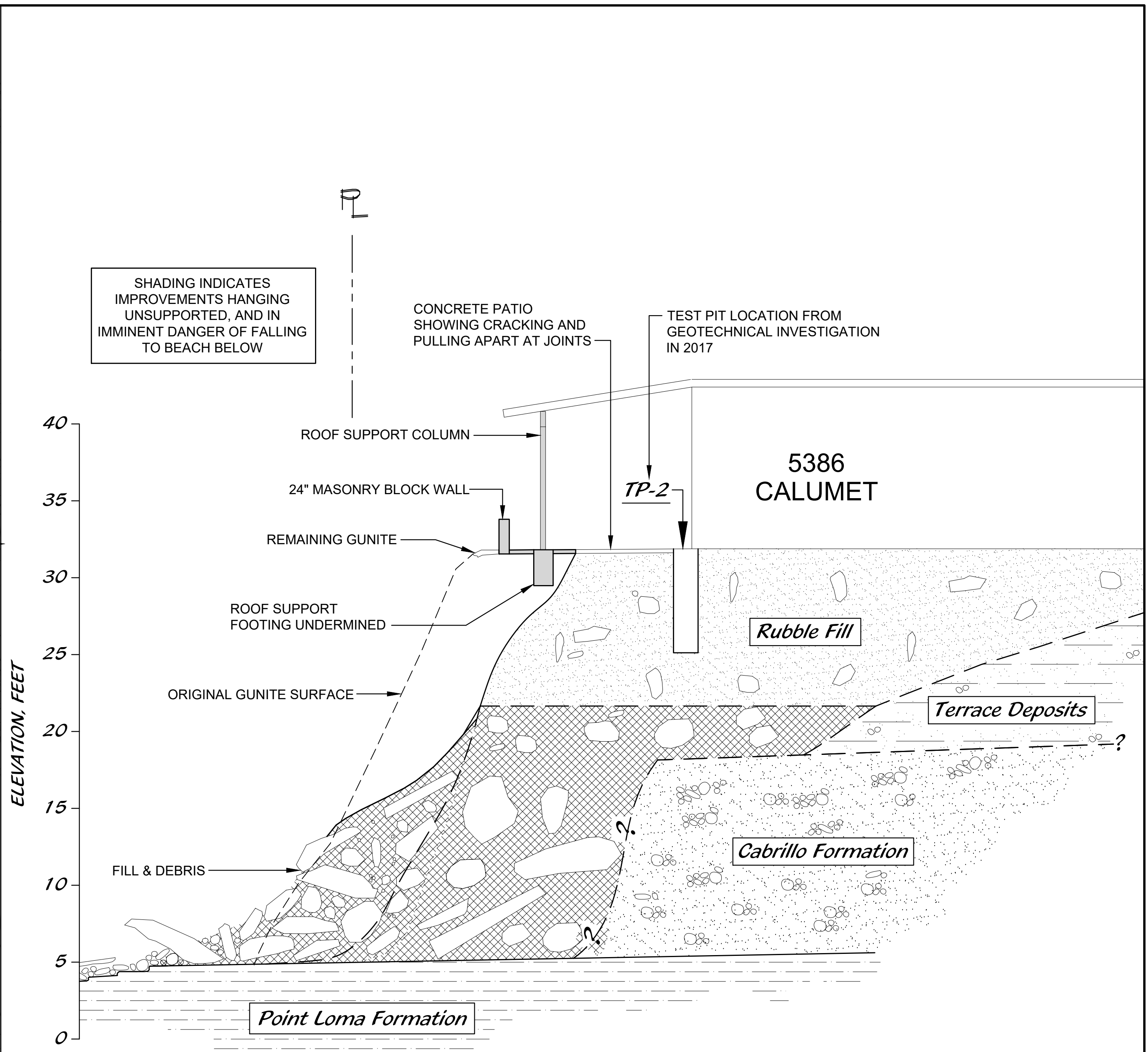
EXHIBIT NO. 4

APPLICATION NO.
6-23-0186

Project Plans



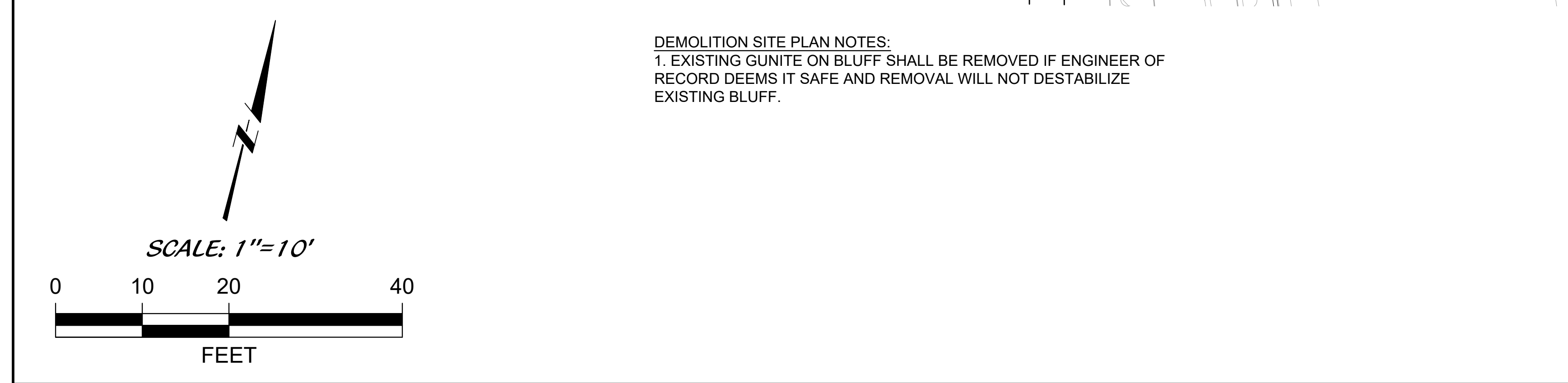
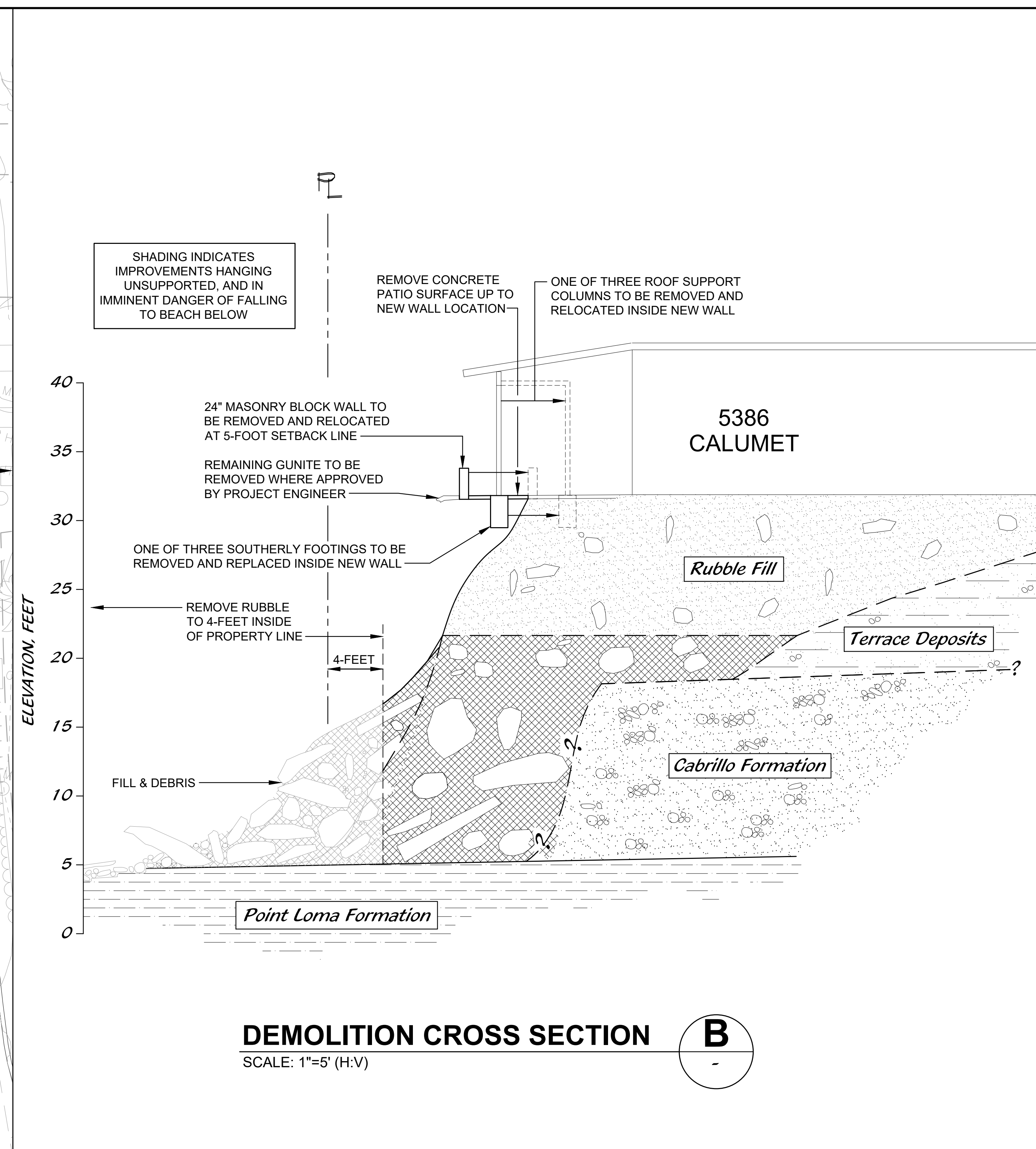
- SITE PLAN NOTES:**
1. THE GEOLOGIC HAZARD CATEGORIES FOR THIS SITE ARE 47 AND 53.
 2. A 6-FOOT WIDE UTILITY EASEMENT EXISTS AT THE NORTHERN PROPERTY LINE.
 3. NO TRANSIT STOPS ARE LOCATED NEARBY PROJECT LOCATION AND NONE ARE PROPOSED.
 4. BUILDING ADDRESS NUMBERS ARE VISIBLE FROM THE STREET FRONTING THE PROJECT PROPERTY.
 5. SEE SHEET TS01 OF PLANS FOR FIRE HYDRANT LOCATIONS WITHIN 600 FEET OF PROJECT.
 6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

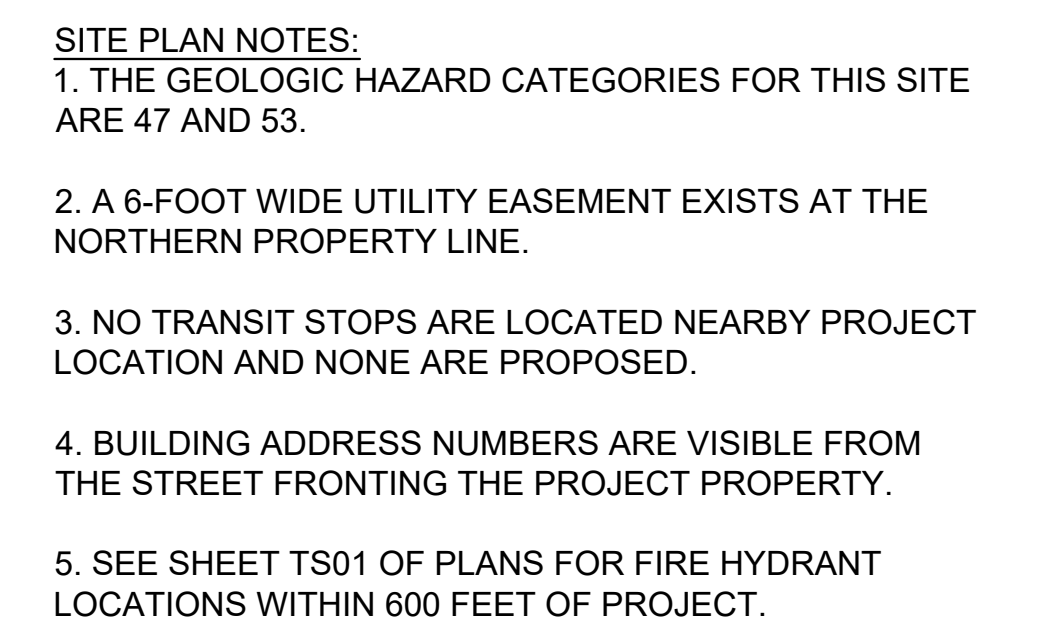


EXISTING CROSS SECTION A
SCALE: 1"=5' (H:V)

PRIVATE CONTRACT		
COASTAL DEVELOPMENT PLANS FOR:		
BLUFF STABILIZATION 5386 CALUMET AVENUE		
SHEET TITLE:		
EXISTING SITE PLAN & SECTION		
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT		PROJECT NO. 696586
SHEET 2 OF 7 SHEETS		1875-6249 NAD 83 COORDINATES 235-1688 LAMBERT COORDINATES
REV	DESCRIPTION	DATE
Δ	CONSOLIDATED REVIEW COASTAL PLANS	03/03/2023

C01





CALIFORNIA COASTAL COMMISSION
WILL PROCESS THE CONSOLIDATED
COASTAL DEVELOPMENT PERMIT

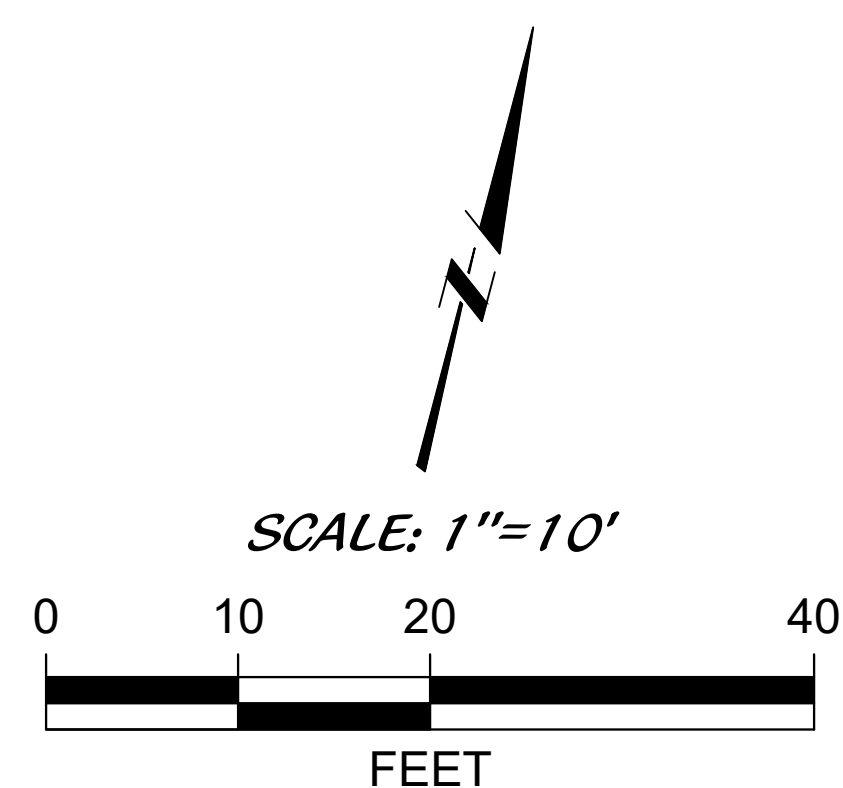
BLUFF STABILIZATION
5386 CALUMET AVENUE

PROPOSED SITE PLAN

PROJECT NO. 696586
1875-6249
 NAD 83 COORDINATES
235-1688
 LAMBERT COORDINATES

REV	DESCRIPTION	DATE
1	CONSOLIDATED REVIEW COASTAL PLANS	03/03/2023

C03



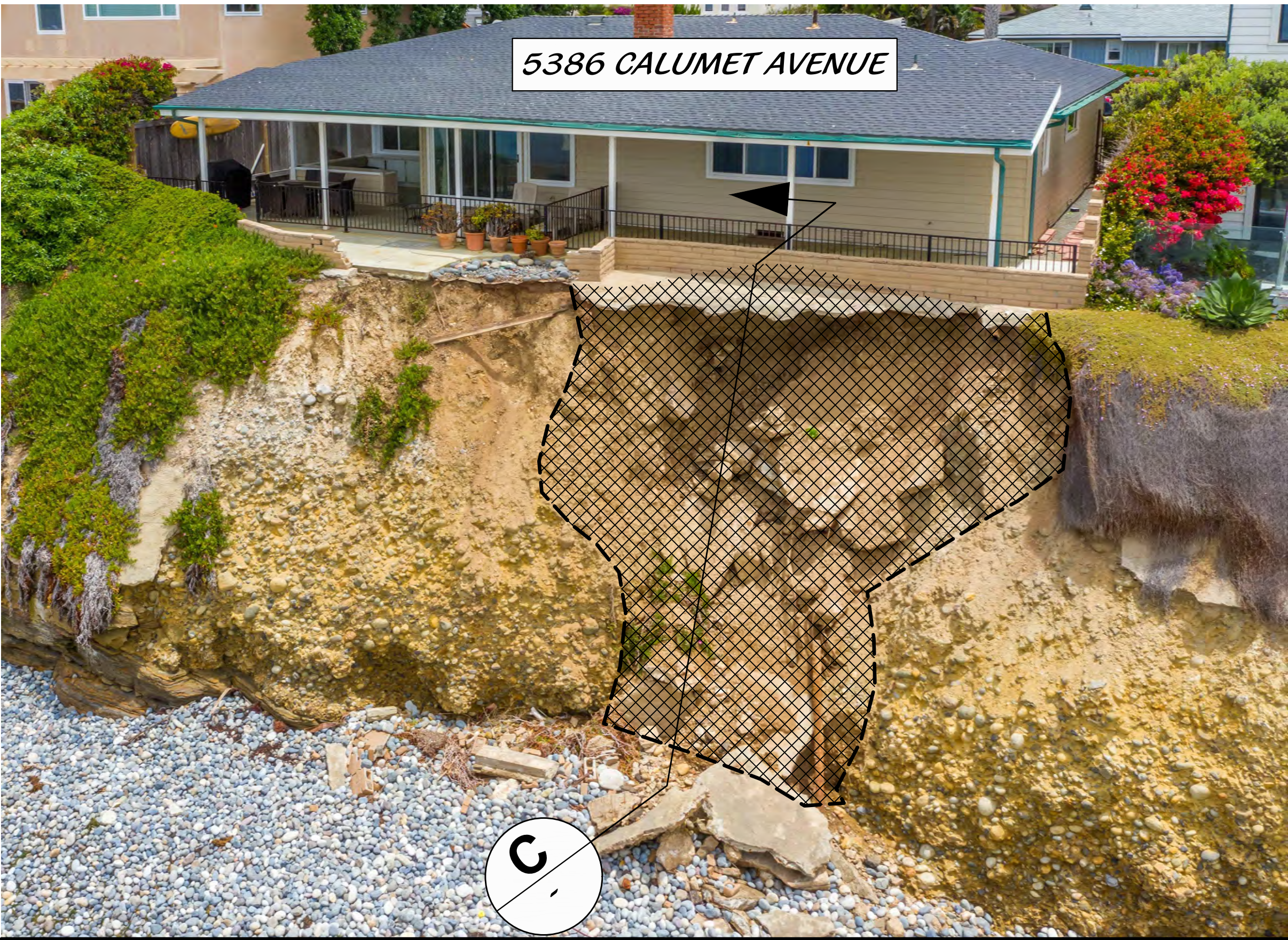
SCALE: 1"=10'



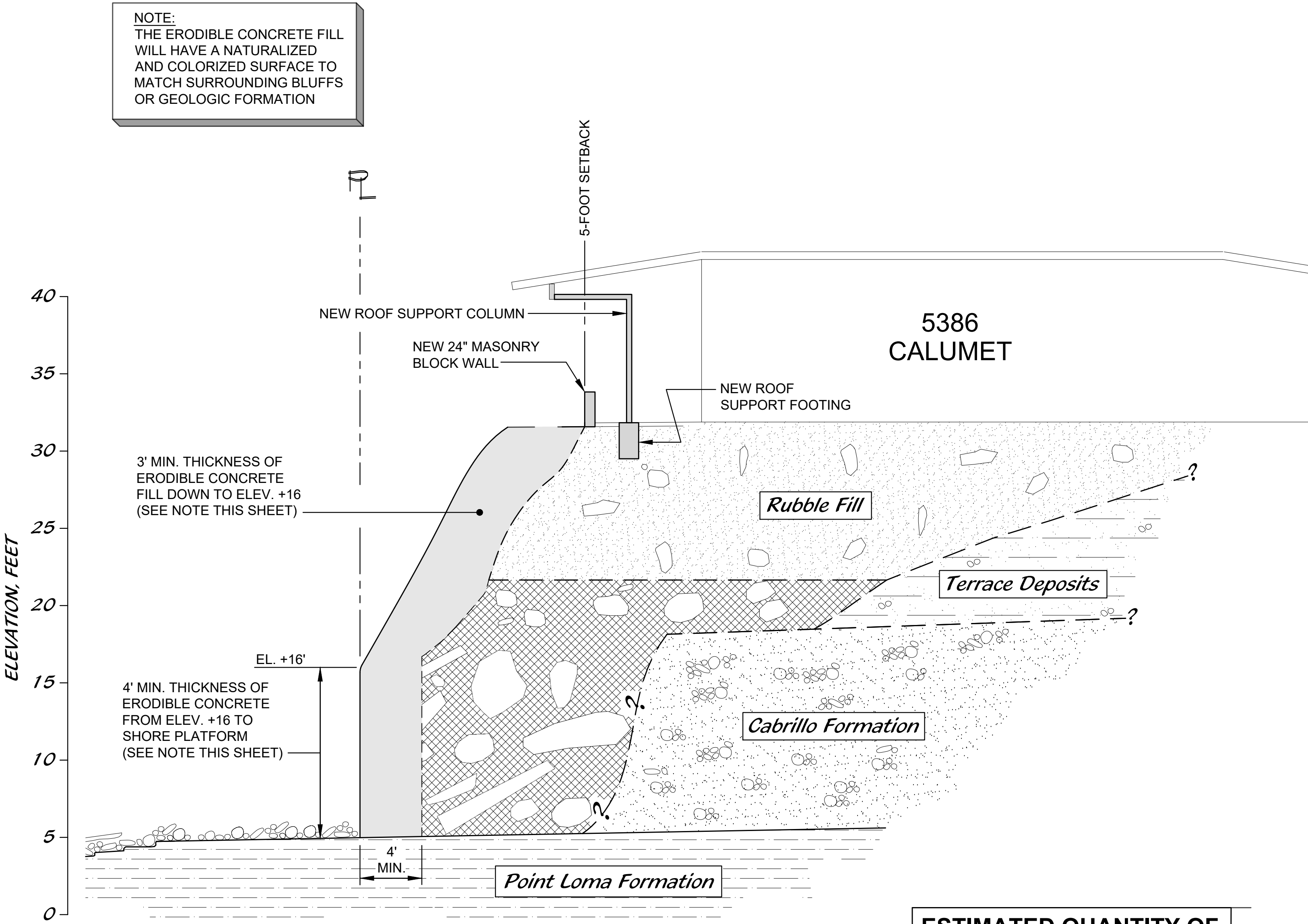
ENGEO
— Expect Excellence —
3890 MURPHY CANYON ROAD, SUITE 200
SAN DIEGO, CALIFORNIA 92123
(858) 573-6900



DRONE PHOTO - EXISTING CONDITION

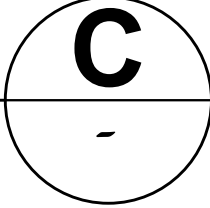


PROPOSED REPAIR



PROPOSED REPAIR
CROSS SECTION

SCALE: 1"=5' (H:V)



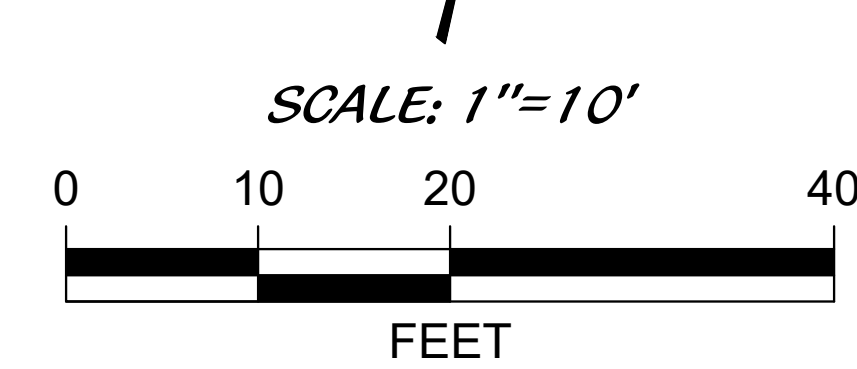
ESTIMATED QUANTITY OF
ERODIBLE CONCRETE
FILL: 150 C.Y.



ENGEO
Expect Excellence
3890 MURPHY CANYON ROAD, SUITE 200
SAN DIEGO, CALIFORNIA 92123
(858) 573-6900

CALIFORNIA COASTAL COMMISSION
WILL PROCESS THE CONSOLIDATED
COASTAL DEVELOPMENT PERMIT

PRIVATE CONTRACT			
COASTAL DEVELOPMENT PLANS FOR:			
BLUFF STABILIZATION 5386 CALUMET AVENUE			
SHEET TITLE:			
PROPOSED GRADING PLAN			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT			PROJECT NO. 696586
SHEET 6 OF 7 SHEETS			1875-6249 NAD 83 COORDINATES 235-1688 LAMBERT COORDINATES
REV	DESCRIPTION	DATE	C05
Δ	CONSOLIDATED REVIEW COASTAL PLANS	03/03/2023	



SCALE: 1"=10'

1. NO CONSTRUCTION EQUIPMENT SHALL BE ALLOWED OUTSIDE THE PROPOSED AREA OF WORK UNLESS DIRECTED/APPROVED IN WRITING BY THE PROJECT ENGINEER OR THE CITY MANAGER AND THE PROPERTY OWNERS.
2. CONTRACTOR SHALL EXAMINE THE CONDITIONS AND CONSTRAINTS OF THE SITE PRIOR TO CONSTRUCTION AND COORDINATE WITH THE PROJECT ENGINEER OF RECORD THE PROPOSED LOCATION AND EXTENT OF ANY EXCAVATED ON-SITE MATERIAL STOCKPILES.
3. CONTRACTOR MAY USE ON-STREET PARKING ON CALUMET AVENUE FOR PERSONAL VEHICLES ONLY. NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL OCCUR ON PUBLIC STREETS OR RIGHT-OF-WAYS.
4. PRIOR TO SITE CLEARING AND GRUBBING, A TEMPORARY ORANGE ENVIRONMENTAL FENCE AND A 24" HIGH SILT FENCE SHALL BE INSTALLED AROUND THE PROPOSED WORK AREA. THE EXACT LOCATION AND ALIGNMENT SHALL BE DEFINED IN THE FIELD BY THE PROJECT ENGINEER.
5. INTERIM BINDER NOTE: GRADING, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL, WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL BMPs	
WM-1	MATERIAL DELIVERY AND STORAGE
WM-2	MATERIAL USE
WM-5	SOLID WASTE MANAGEMENT
WM-8	CONCRETE WASTE MANAGEMENT
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT

WE-1 WIND EROSION CONTROL

EC-4 HYDROSEEDING SEE NOTE #5 & CITY NOTES BELOW.

NS-1 WATER CONSERVATION PRACTICES

SE-7	STREET SWEEPING & VACUUMING
SE-10	STORM DRAIN INLET PROTECTION

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

HYDROSEED MIX						
ABBR.	SCIENTIFIC NAME	COMMON NAME	LBS/ACRE	PLS*	SEED COUNT	PLS-LBS/ACRE*
ESC. CAL.	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	4	74	270,000	1.5
ESC. MIC.	FESTUCA MICROSTACHYS	THREE WEEK FESCUE	12	72	420,000	4
LUP. BIC.	LUPINUS BICOLOR	PIGMY-LEAFED LUPINE	4	78	115,000	3
PLA. ERE.	PLANTAGO ERECTA	DWARF PLANTAIN	20	72	250,000	12
	SARVON™				6 GAL/ACRE	
	MULCH	VIRGIN WOOD FIBER			2000 LBS/ACRE	
	SUPERTHRIVE™				4.25 QTS. (2 OZ/100 GALS)	
	FERTILIZER	TRI - C™ (6-2-4, S)			450 LBS/ACRE	
	BINDER	GUAR GUM			225 LBS/ACRE	
	COMPOST TEA - PER HYDROSEED CONTRACTOR RECOMMENDATIONS					
* PLS = % PURITY X % GERMINATION. HOWEVER, CONTRACTOR SHALL PROVIDE THE SPECIFIED PLS-LBS/ACRE						

4.4 HYDROSEEDING PROCEDURES (FROM CITY OF SAN DIEGO LANDSCAPE STANDARDS)

4.4-1 SEED MIXES SHALL BE SPECIFIED BY THE PURE LIVE SEED OF EACH SPECIES.

1.4-2 FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 POUNDS PER ACRE EXCEPT WHEN USED IN CONJUNCTION WITH STRAW MULCH, WHEN IT SHALL BE APPLIED AT A MINIMUM RATE OF 400 POUNDS PER ACRE.

4-3 A WETTING AGENT CONSISTING OF 95 PERCENT ALKYL POLYETHYLENE GLYCOL ETHER SHALL BE APPLIED AS PER MANUFACTURERS' RECOMMENDATIONS.

4.4.4 EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT-IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE SLURRY MIX SHALL BE DYED GREEN. THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY.

4.5 MAINTENANCE REQUIREMENTS

1.5-1 PERMANENTLY IRRIGATED SLOPES SHALL BE MAINTAINED FOR A PERIOD NO LESS THAN 90 DAYS.

4.5-2 NONPERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A PERIOD NOT LESS THAN 25 MONTHS.

5.3 ALL REVEGETATED AREAS SHALL BE MAINTAINED BY THE PERMITTEE UNTIL FINAL APPROVAL BY THE CITY MANAGER. THE MAINTENANCE PERIOD BEGINS ON THE FIRST DAY FOLLOWING ACCEPTANCE AND MAY BE EXTENDED AT THE DETERMINATION OF THE CITY MANAGER.

5-4 PRIOR TO FINAL APPROVAL, THE CITY MANAGER MAY REQUIRE CORRECTIVE ACTION INCLUDING BUT NOT LIMITED TO, REPLANTING, THE PROVISION OR MODIFICATION OF IRRIGATION SYSTEMS, AND THE REPAIR OF ANY SOIL EROSION OR SLOPE SLIPPAGE.



ENGEO
—Expect Excellence—
MURPHY CANYON ROAD, SUITE 200
SAN DIEGO, CALIFORNIA 92123
(858) 573-6900

PRIVATE CONTRACT		
COASTAL DEVELOPMENT PLANS FOR:		
BLUFF STABILIZATION 5386 CALUMET AVENUE		
SHEET TITLE:		
EROSION CONTROL & LANDSCAPE PLAN		
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT		PROJECT NO. <u>696586</u>
SHEET 7 OF 7 SHEETS		1875-6249 NAD 83 COORDINATES 235-1688
REV	DESCRIPTION	DATE
	CONSOLIDATED REVIEW COASTAL PLANS	03/03/2023
		C06

