CALIFORNIA COASTAL COMMISSION

South Coast District Office 301 E Ocean Blvd., Suite 300 Long Beach, CA 90802-4830 (562) 590-5071



W21a

5-19-1064-A1 (US 216 Pico Owner LLC) DECEMBER 1, 2023

EXHIBITS

Exhibit 1 - Vicinity Map and Project Site

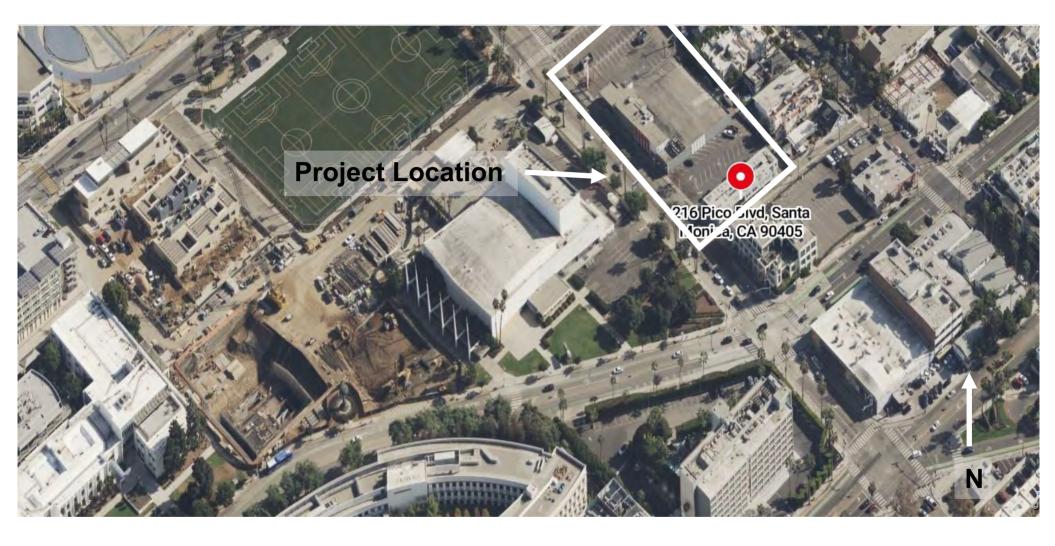
Exhibit 2 – Project Plans

Exhibit 3 – Parking Demand Study by Linscott, Law & Greenspan, Engineers (LLG) Dated December 13, 2022

Exhibit 4 – CoSMoS Maps



California Coastal Commission 5-19-1064-A1 Exhibit 1 Page 1 of 2



California Coastal Commission 5-19-1064-A1 Exhibit 1 Page 2 of 2





04.18.2022

COVER SHEET

California Coastal Commission

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Exhibit 2

SHEET NUMBER:



APPROVAL IN CONCEPT

Case: 23ENT-0073(234 Pico BI)

Date: April 27, 2023

Planner: Ana Fernandez

Notes: Approval in Concept only.

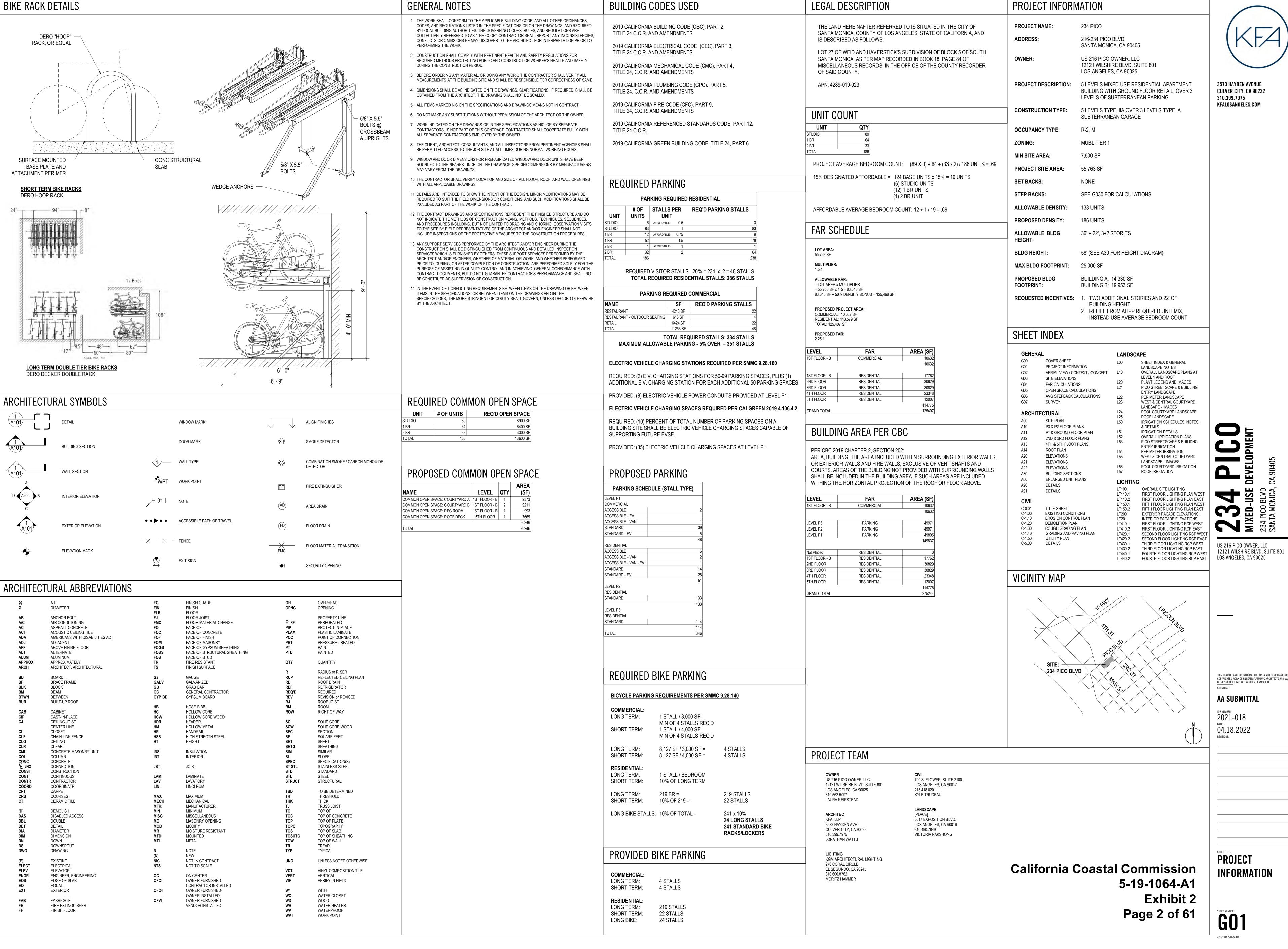
Project approval shall be based on Administrative

Approval 22ENT-0034
Permit from the California Coastal Commission is required.

234 PICO BOULEVARD

234 PICO BOULEVARD, SANTA MONICA, CA 90401

AA SUBMITTAL 04.18.2022



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VELO

LOS ANGELES, CA 90025

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PROJECT

CONCEPT - Under the Pier



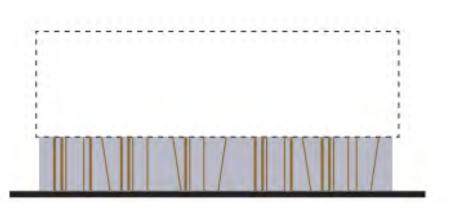




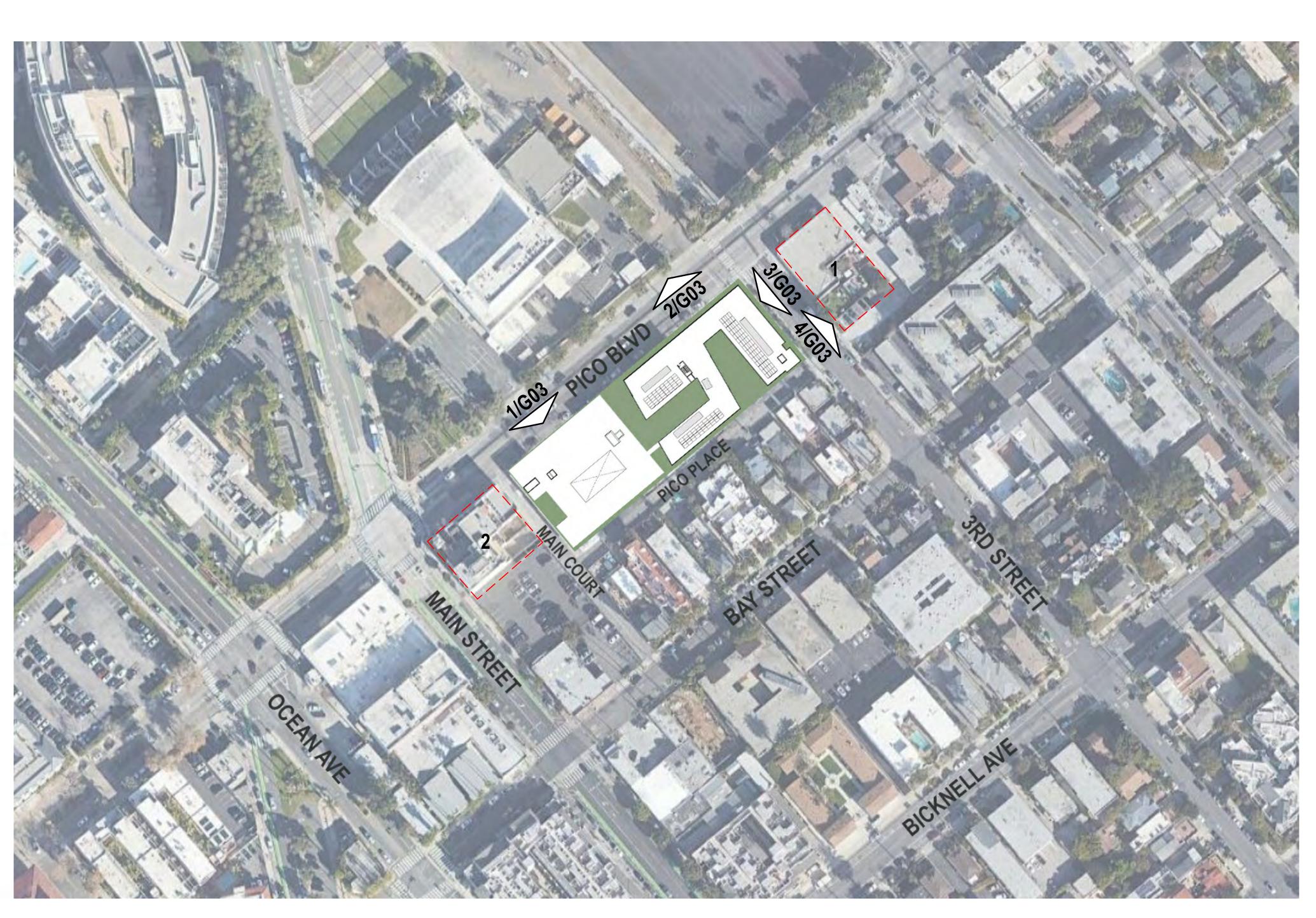
CONCEPT - Under the Pier



- Iconic Santa Monica landmark
- "floating" volume on pilasters
- vertical / angled elements
- wood columns
- strong directional quality leading out to the ocean

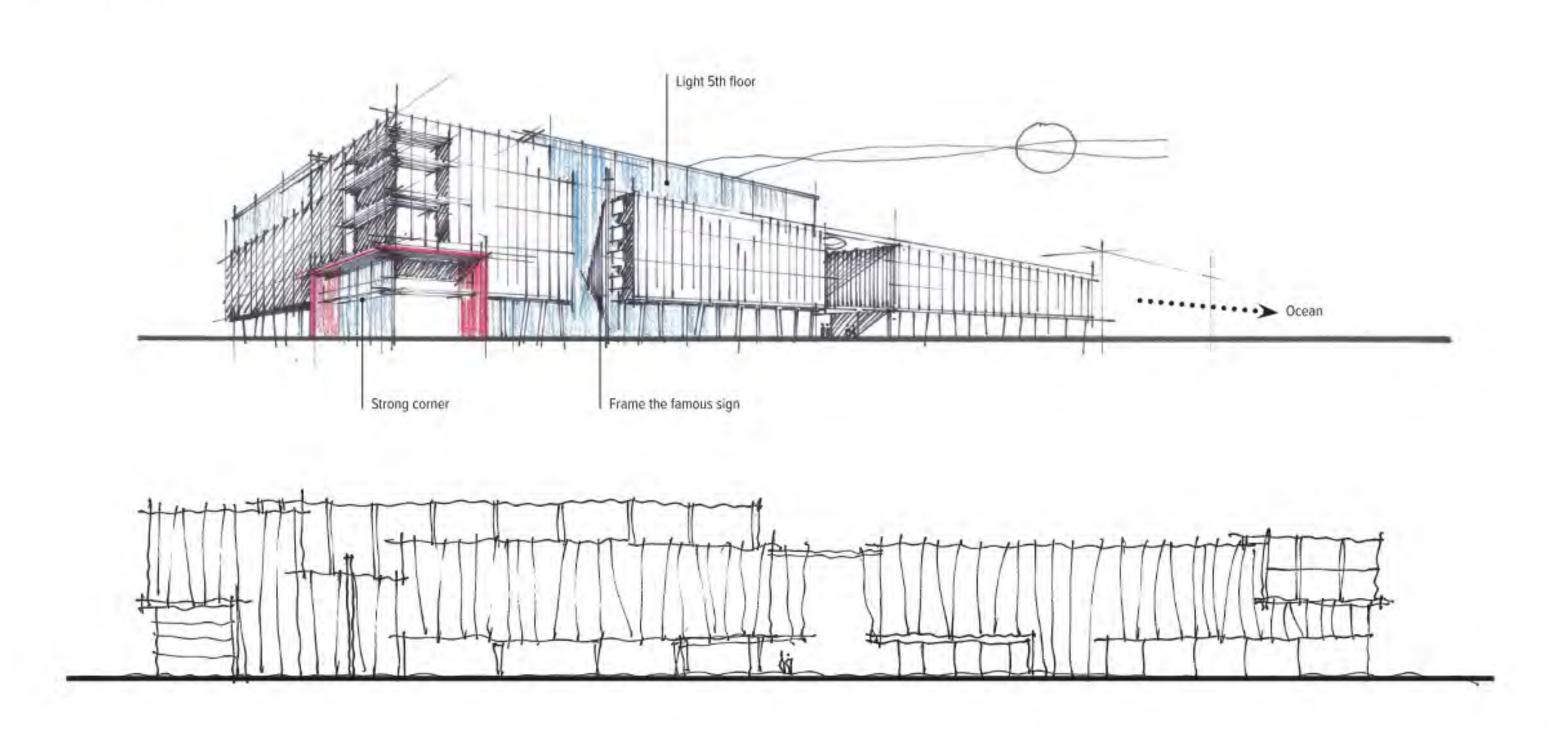


- multiple wood columns
- continuous glazing behind columns
- asymmetrical patterns



AERIAL IMAGE

CONCEPT





CONTEXT IMAGE 1



California Coastal Commission
5-19-1064-A1
Exhibit 2
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(KFA)

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MIXED-USE DEVELOPMENT

234 PICO BLVD

SANTA MONICA, CA 90405

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JOB NUMBER: 2021-018
DATE: 00000

DATE: 04.18.2022
REVISIONS:

AERIAL VIEW /
CONTEXT /
CONCEPT

SHEET NUMBER: **GO** 2



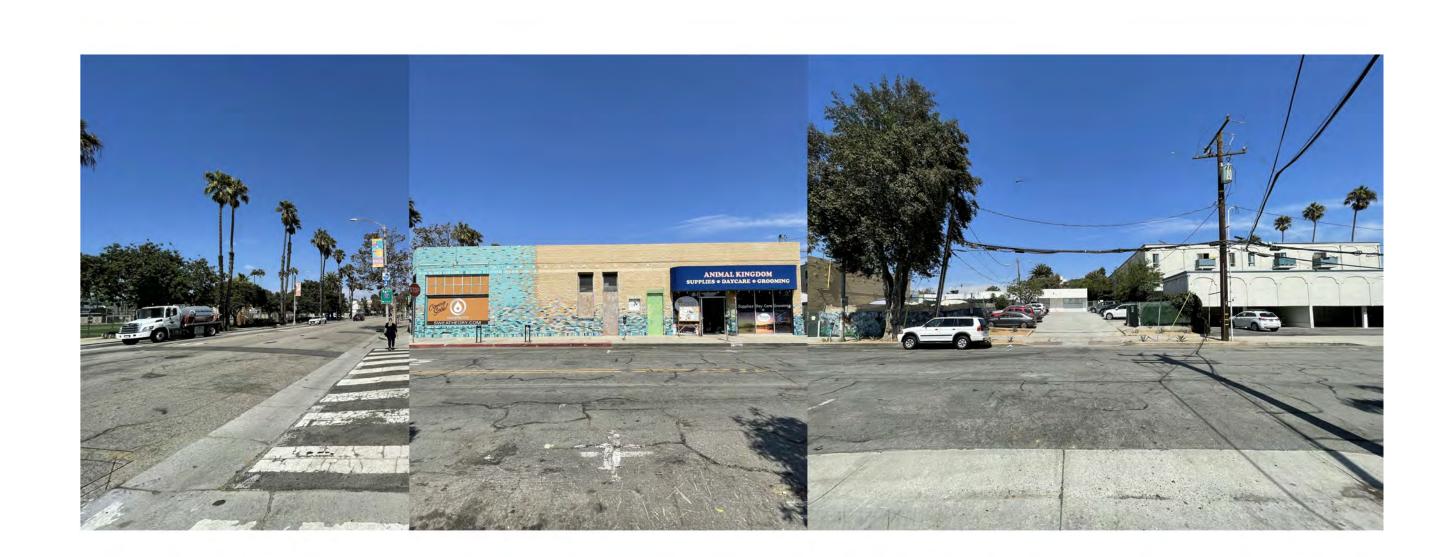
PICO ELEVATION - SOUTH SIDE





PICO ELEVATION - NORTH SIDE









THIRD STREET ELEVATION - WEST SIDE 3

California Coastal Commission

SHEET TITLE:

SITE ELEVATIONS

5-19-1064-A1 Exhibit 2 Page 4 of 61

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2021-018
DATE:
04.18.2022
REVISIONS:

SHEET NUMBER:







AVERAGE STEPBACKS

MINIMUM AVERAGE UPPER-STORY STEPBACKS 5' - 0" AVERAGE REQUIRED ABOVE MAXIMUM FIRST STORY STREET WALL HEIGHT ON STREET FACING

PROPOSED STEPBACKS:

(6'-0" + 6'-0" + 6'-0" + 5'-6") / 4 = 5'-10"

(6'-0" + 6'-0" + 6'-0" + 6'-0") / 4 = 6'-0"

US 216 PICO OWNER, LLC 12121 WILSHIRE BLVD, SUITE 801 LOS ANGELES, CA 90025

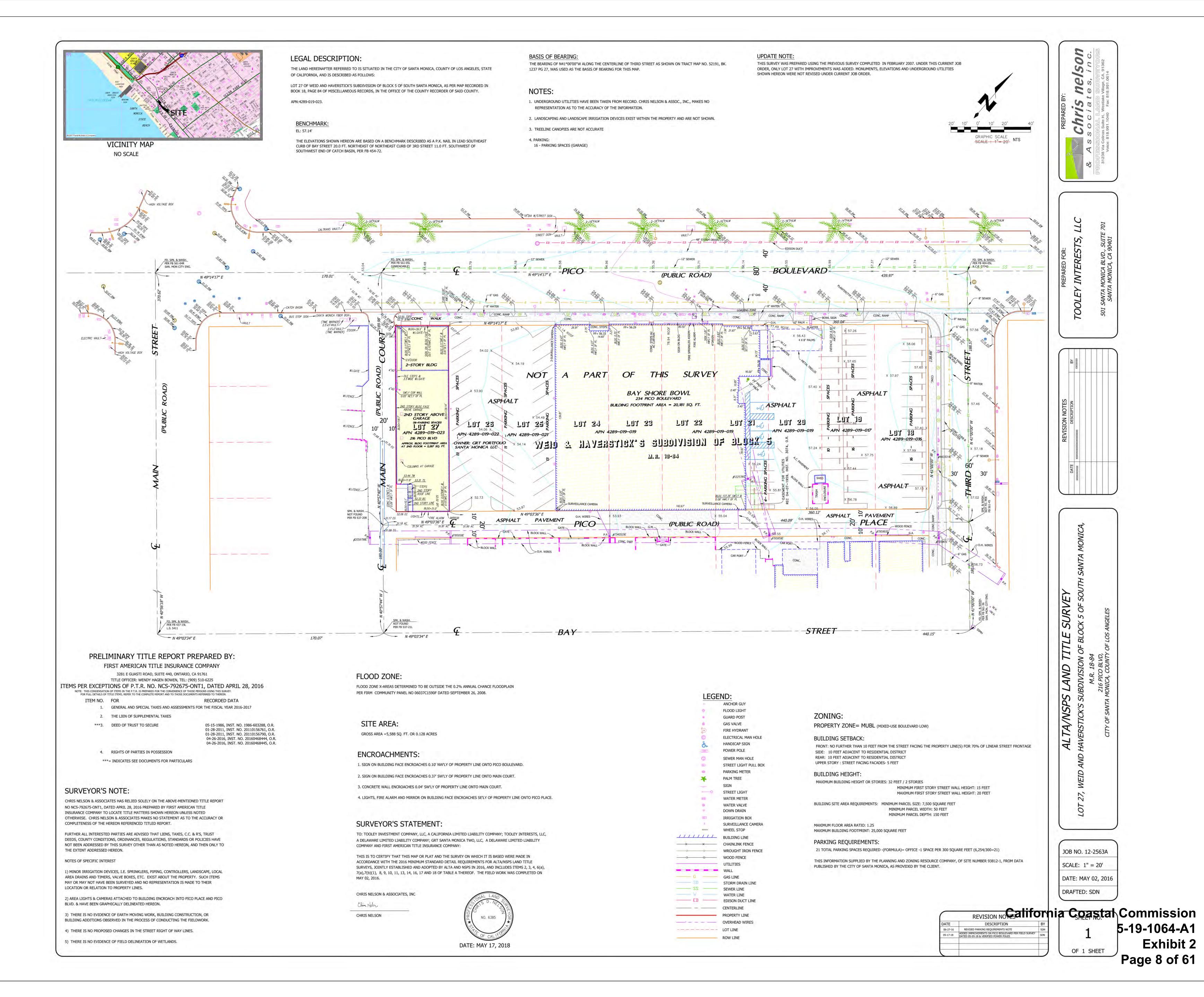
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AVG STEPBACK CALCULATIONS





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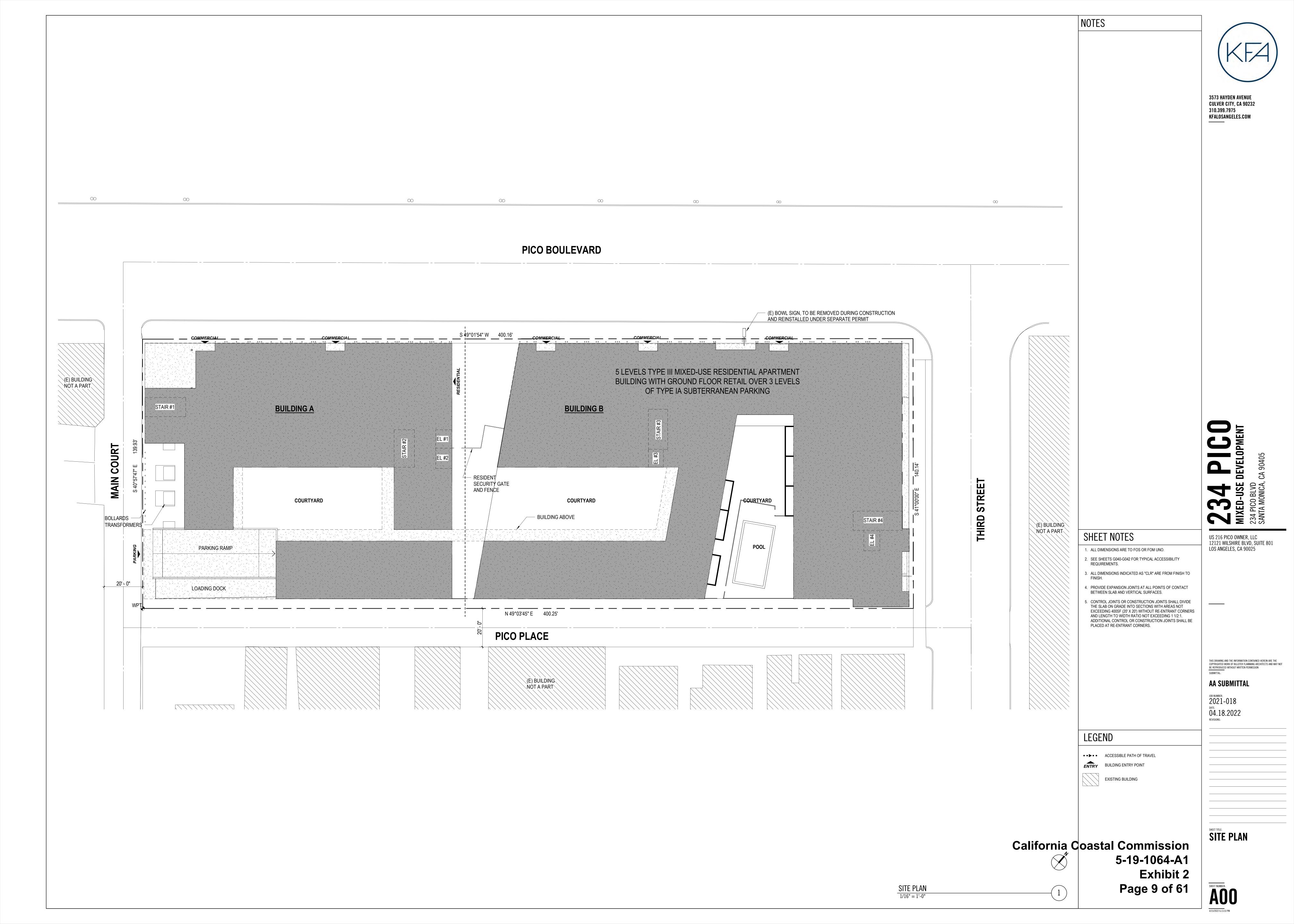
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SURVEY



134 STANDARD RESIDENTIAL PARKING STALLS

STORAGE P330

34' - 0"

127' - 10"

A30 -



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ZS4 PICO BLVDSANTA MONICA, CA 90405

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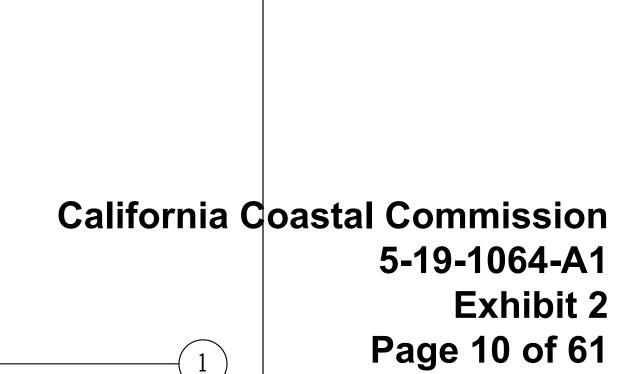
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AA SUBMITTAL

10B NUMBER: 2021-018 DATE: 04.18.2022

P3 & P2 FLOOR PLANS

SHEET NUMBER: **A 1 O** 4/15/2022 6:13:54 PM



UTILITY P380

LEVEL P3 PLAN

1/16" = 1'-0"



A20

STORAGE P140

LOCKERS

(4) LONG-TERM DOUBLE TIER COMMERCIAL BIKE RACKS

(9) SHORT-TERM BIKE RACKS

100 SF BIKE REPAIR AREA

MECHANICAL

ELECTRICAL

10' - 0" 5' - 0" TYP

A30

45 STANDARD AND ACCESSIBLE COMMERCIAL PARKING STALLS

55 STANDARD AND ACCESSIBLE RESIDENTIAL PARKING STALLS

1 A21



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MIXED-USE DEVELOPMENT
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DATE: 04.18.2022

P1 & GROUND FLOOR PLAN

SHEET NUMBER:

4/15/2022 6:13:56 PM

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5-19-1064-A1
Exhibit 2
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UTILITY P160

LEVEL P1 PLAN

1/16" = 1'-0"

MIXED-USE DEVELOPMENT
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2021-018 04.18.2022 REVISIONS:

2ND & 3RD FLOOR PLANS

SHEET NUMBER: **A 1 2 4**/15/2022 6:13:59 PM

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2ND FLOOR PLAN

1/16" = 1'-0"

Exhibit 2





2 BR B403

01 TYP

STUDIO A419

STUDIO STUDIO A417

A410

25% MAX STAIRWELL SHAFT AREA = 10,321 SF ACTUAL STAIRWELL SHAFT AREA = 1,200 SF

30% MAX MECHANICAL SCREENED AREA = 12,386 SF ACTUAL MECHANICAL SCREENED AREA = 6,300 SF

SHEET NOTES

1. ROOF SLOPES CONTINUOUS TO DOWNSPOUT OR ROOF

DRAIN. SLOPES TO BE A MINIMUM OF 1/4" PER FOOT.

2. OVERFLOW DRAINS SHALL BE THE SAME SIZE AS THE ROOF DRAIN WITH INLET 2" ABOVE THE LOW POINT OF THE ROOF AND SHALL NOT BE CONNECTED TO THE ROOF DRAIN LINES.

3. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.

4. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO

Page 13 of 61

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4TH & 5TH FLOOR **PLANS**

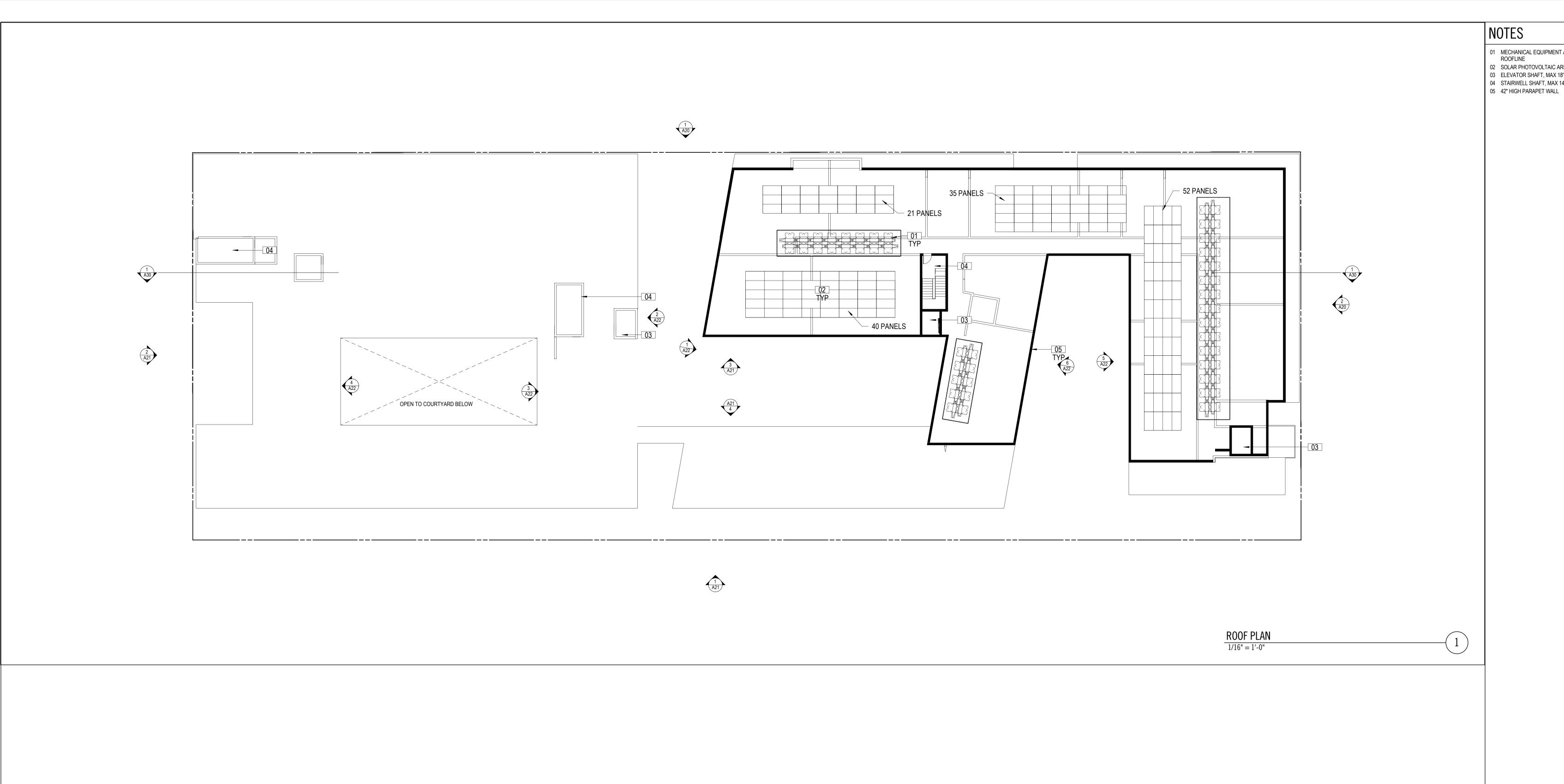
California Coastal Commission 5-19-1064-A1 Exhibit 2

4TH FLOOR

1/16" = 1'-0"

B424

B426



01 MECHANICAL EQUIPMENT AND SCREENS, MAX 12' ABOVE

02 SOLAR PHOTOVOLTAIC ARRAY, MAX 5' ABOVE ROOFLINE 03 ELEVATOR SHAFT, MAX 18' ABOVE ROOFLINE 04 STAIRWELL SHAFT, MAX 14' ABOVE ROOFLINE



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ROOF PLAN

California Coastal Commission

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(13A)

MATERIAL SAMPLES
12" = 1'-0"

DARK GREY + CLEAR GLASS (13B)

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SHEET TITLE: **ELEVATIONS**

California Coastal Commission 5-19-1064-A1 Exhibit 2 Page 15 of 61

3RD STREET ELEVATION
1/16" = 1'-0"

14 3A 6 13B 3B 11 5



AIXED-USE DEVELOPMENT

234 PICO BLVD

SANTA MONICA, CA 90405

LOS ANGELES, CA 90025

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2021-018 DATE: 04.18.2022

SHEET TITLE:

ELEVATIONS

SHEET NUMBER: **A 2 1**4/15/2022 6:15:12 PM



AIXED-USE DEVELOPMENT
234 PICO BLVD
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SHEET TITLE:
ELEVATIONS

California Coastal Commission

5-19-1064-A1

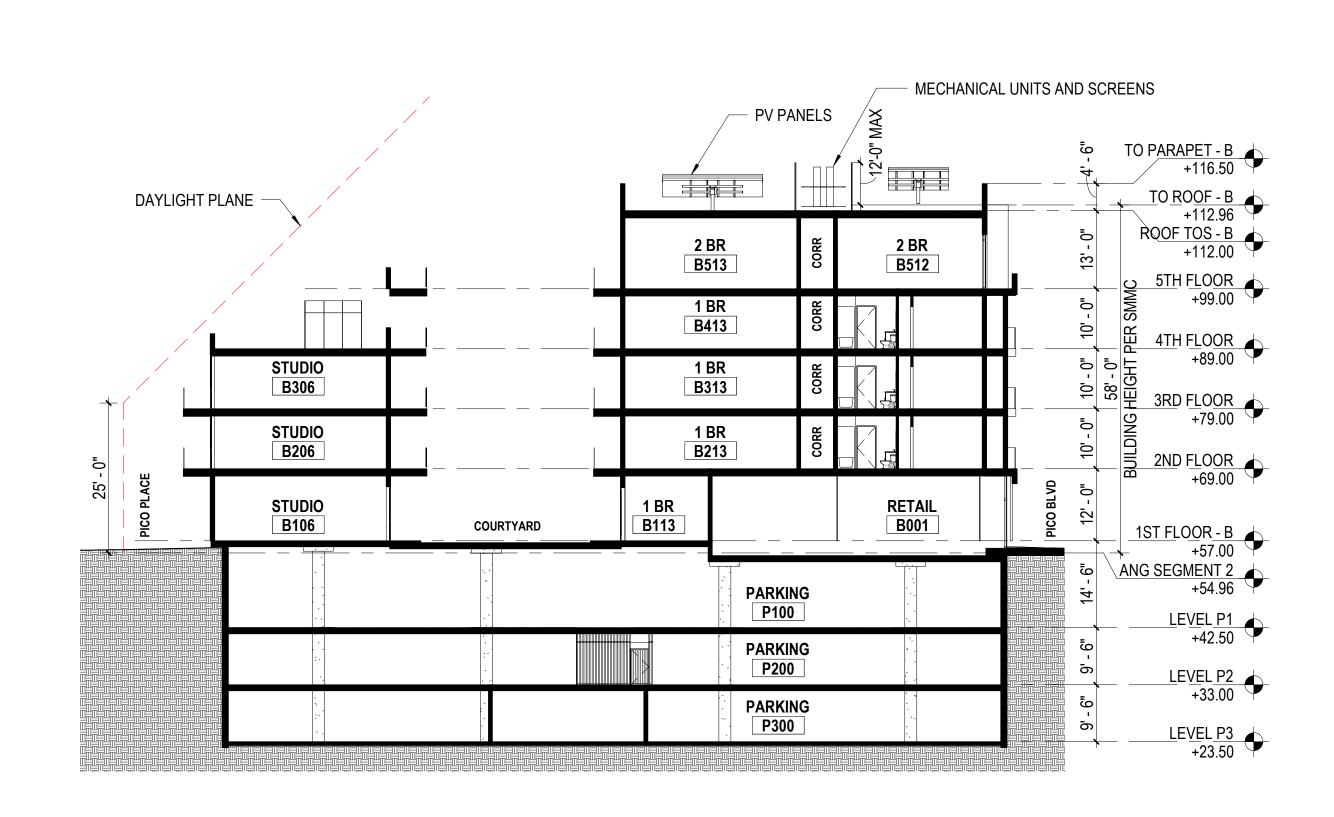
Page 17 of 61

Exhibit 2

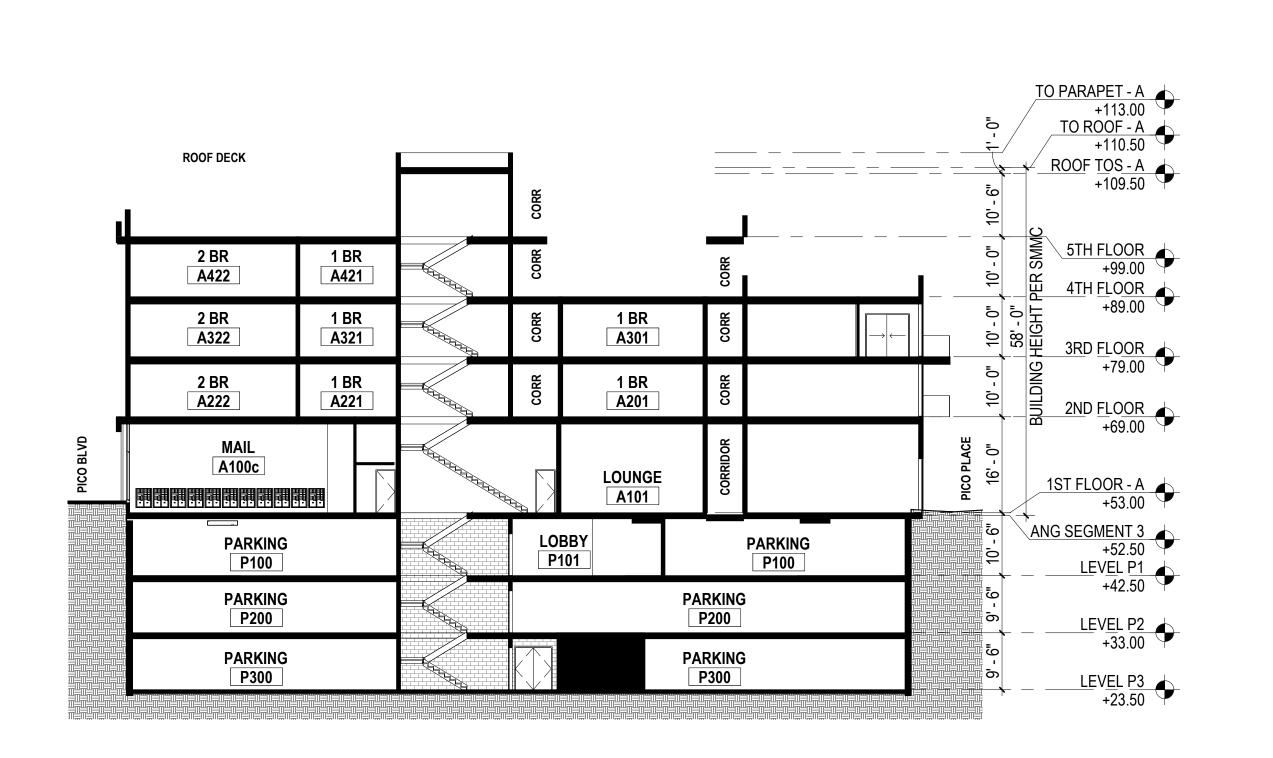
SHEET NUMBER: **A22**4/15/2022 6:15:26 PM



LONGINTUDINAL SECTION AT TRASH ROOMS



CROSS SECTION AT BLDG B



5-19-1064-A1 Exhibit 2

CROSS SECTION AT BLDG A Page 18 of 61

SHEET TITLE:

BUILDING

SECTIONS

US 216 PICO OWNER, LLC

LOS ANGELES, CA 90025

12121 WILSHIRE BLVD, SUITE 801

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UNIT TYPE B1 - ONE BEDROOM - 659 SF

UNIT TYPE B3 - ONE BEDROOM

1/4" = 1'-0"

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DATE: 04.18.2022 REVISIONS:

SHEET TITLE:
ENLARGED UNIT **PLANS**

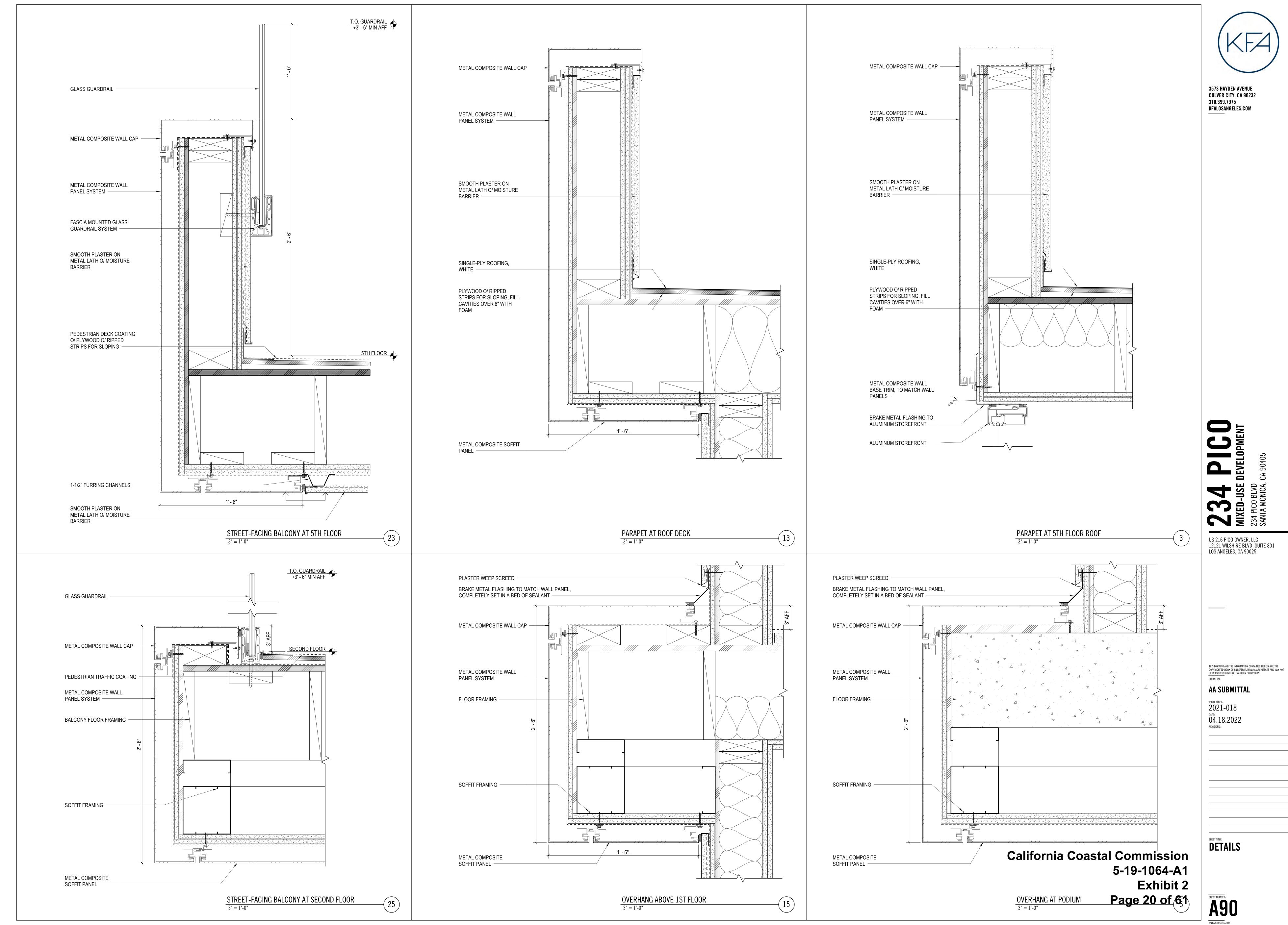
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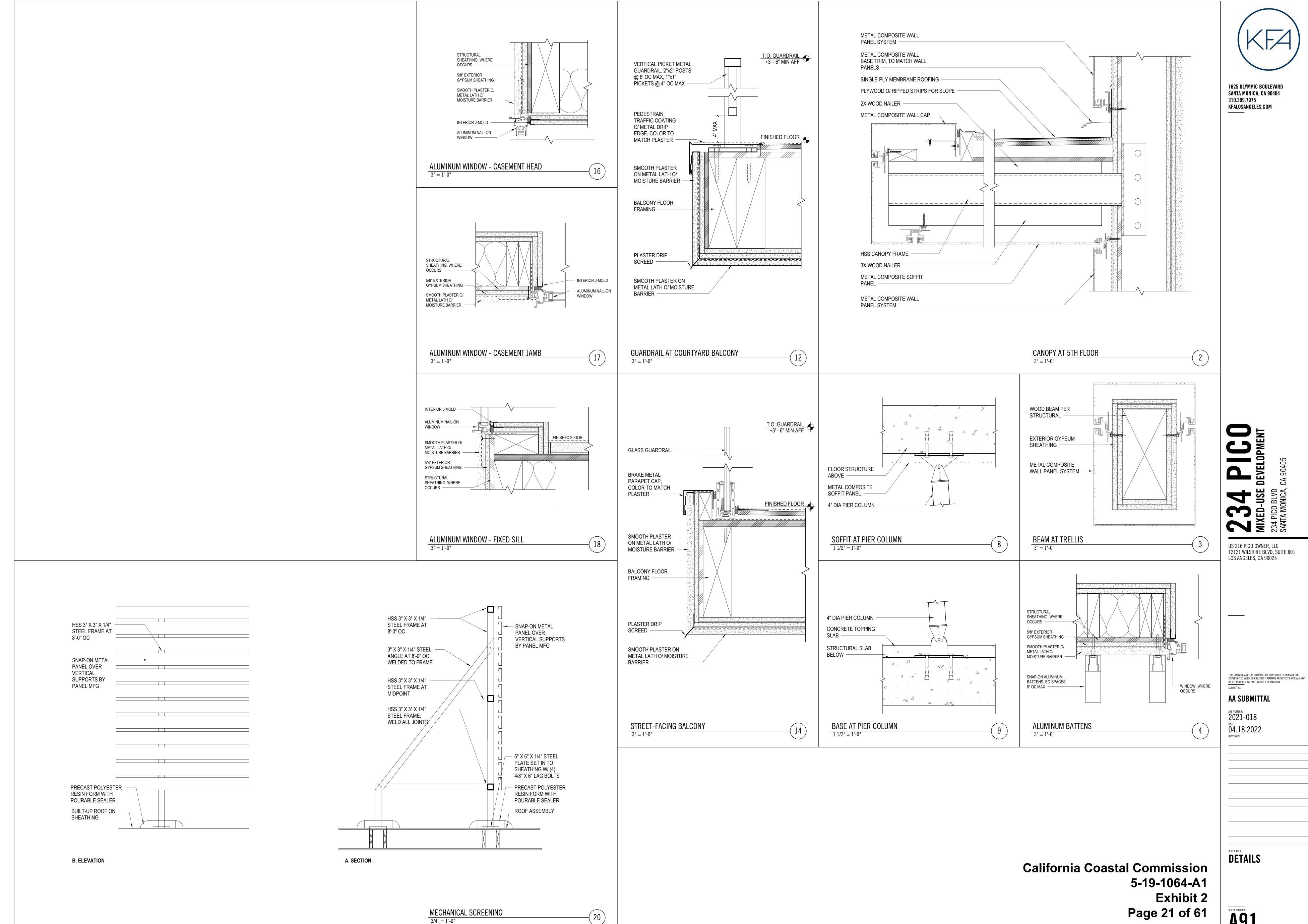
5-19-1064-A1

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UNIT TYPE A2 - STUDIO - 465 SF

Exhibit 2





SHEET NUMBER:

- 2. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT, "GEOTECHNICAL ENGINEERING INVESTIGATION PROPOSED MIXED-USE DEVELOPMENT 222 THROUGH 254 PICO BOULEVARD SANTA MONICA, CALIFORNIA", BY GEOTECHNOLOGIES, INC. DATED OCTOBER 31, 2019.
- 3. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM SURVEY DATED DECEMBER 31, 2019 BY KPFF CONSULTING ENGINEERS.
- 4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- 5. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING. DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- 6. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- 7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR. OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- 8. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- 9. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- 10. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED. GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- 11. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- 12. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- 13. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM
- 14. ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- 15. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- 16. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 17. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- 18. THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- 19. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
- 20. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH
- 21. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- 22. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- 23. ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
- 24. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- 25. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- 26. CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF SANTA MONICA FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- 27. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- 28. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

BENCHMARK

THE SITE.

CITY OF SM BM PER FB 454-72, P.K. NAIL IN LEAD SOUTHEAST CURB OF BAY STREET 20.0 FT. NORTHEAST OF NORTHEAST CURB OF 3RD STREET 11.0 FT. SOUTHWEST OF SOUTHWEST END OF CATCH BASIN.

ELEV.=57.140 FT

BASIS OF BEARINGS THE BEARING OF N41°00'00"W ALONG THE CENTERLINE OF THIRD STREET AS SHOWN ON THE MAP OF TRACT NO. 52191, AS RECORDED IN MAP BOOK

1232, PAGES 26 AND 27, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS

SITE ADDRESS

SURVEY.

216-234 PICO BOULEVARD SANTA MONICA, CA 90405

SITE AREA

GROSS <u>55,689</u> SQ. FT. <u>1.28</u> ACRES

1 - 800 - 227 - 2600CALL USA/SC FOR UNDERGROUND LOCATING 48 HOURS BEFORE YOU

LIMPORTANT NOTICE SECTION 4216/4217 OF THE GOVERNMENT COD REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIGALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-227-2600 TWO WORKING

DAYS BEFORE YOU DIG

CITY OF SANTA MONICA STANDARD NOTES

CAUSED BY CONSTRUCTION. CALL PUBLIC WORKS INSPECTOR AT (310) 458-2240 FOR INSPECTION OF OFFSITE IMPROVEMENTS AT SUBSTANTIAL COMPLETION OF ONSITE

1. OWNER IS RESPONSIBLE FOR REPAIR OF ALL DAMAGE TO OFFSITE IMPROVEMENTS

2. ALL LABOR, EQUIPMENT, AND MATERIAL REQUIRED FOR OFFSITE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE DEVELOPER.

3.NO WORK SHALL BE DONE WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL AND PERMIT FROM THE PUBLIC WORKS DEPARTMENT.

4. ALL OFFSITE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS/DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AS AMENDED BY THE CITY OF SANTA MONICA, AND CITY OF SANTA MONICA STANDARDS.

5. ALL SURVEY POINTS SHALL BE PROTECTED OR REESTABLISHED IF THEY ARE REMOVED, DAMAGED, OR DESTROYED DURING CONSTRUCTION.

6.NO CONSTRUCTION MATERIAL WILL BE STORED IN THE PUBLIC RIGHT-OF WAY. 7.NEW PROPOSED IMPROVEMENTS SHALL NOT OBSTRUCT DRAINAGE OR DRAIN INTO NEIGHBORING PRIVATE PROPERTIES.

8. WATER SHALL BE DRAINED AWAY FROM THE FOUNDATION AND SHALL BE MITIGATED FROM PERMEATING INTO FOUNDATION WALL AND FOOTING OF THE NEW PROPOSED IMPROVEMENTS.

9. ANY SEDIMENT OR OTHER MATERIALS THAT ARE TRACKED OFF THE PARCEL BY VEHICLES AND EQUIPMENT SHALL BE REMOVED THE SAME DAY AS THEY ARE TRACKED OFF THE PARCEL.

10. NO WASHING OF CONSTRUCTION OR OTHER VEHICLES SHALL BE ALLOWED ADJACENT TO A CONSTRUCTION PARCEL.

11. IN ACCORDANCE WITH CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD MS4 a. FOR CONSTRUCTION SITES LESS THAN 1 ACRE, DEVELOPER SHALL IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL BMPS FROM TABLE 12 TO PREVENT EROSION AND SEDIMENT LOSS AND THE DISCHARGE OF CONSTRUCTION WASTES.

TABLE 12. APPLICABLE SET OF BMPs FOR ALL CONSTRUCTION SITES

EDOCIONI CONTROLO	SCHEDULING
EROSION CONTROLS	PRESERVATION OF EXISTING VEGETATION
	SILT FENCE & PLASTIC SHEET COVERINGS
SEDIMENT CONTROLS	SAND BAG BARRIER
	STABILIZED CONSTRUCTION SITE ENTRANCE/EXIT
NON-STORM WATER MANAGEMENT	WATER CONSERVATION PRACTICES
	DEWATERING OPERATIONS
	MATERIAL DELIVERY AND STORAGE
	STOCKPILE MANAGEMENT
WASTE MANAGEMENT	SPILL PREVENTION AND CONTROL
	SOLID WASTE MANAGEMENT
	CONCRETE WASTE MANAGEMENT
	SANITARY/SEPTIC WASTE MANAGEMENT

- b. CONSTRUCTION SITES SHALL BE INSPECTED AND EVALUATED BASED ON THE FOLLOWING FACTORS: SOIL EROSION POTENTIAL, SITE SLOPE, PROJECT SIZE AND TYPE, POLLUTION RUNOFF POTENTIAL, SENSITIVITY AND PROXIMITY OF RECEIVING WATER BODIES, NON-STORM WATER DISCHARGES, PAST RECORD OF NON-COMPLIANCE, AND ANY WATER QUALITY ISSUES RELEVANT TO THE PARTICULAR MS4 REQUIREMENTS.
- c. CITY SHALL EMPLOY A PROGRESSIVE ENFORCEMENT POLICY TO ENSURE THAT CONSTRUCTION SITES ARE BROUGHT INTO COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL REQUIREMENTS WITHIN A REASONABLE TIME PERIOD.
- 12. PAINT REMOVAL AND PREPARATION WILL RESULT IN PARTICLES ENTERING THE AIR OR LANDING ON THE GROUND AND REQUIRES THAT BMP STEPS BE IMPLEMENTED TO PREVENT OR MINIMIZE TO THE MAXIMUM EXTENT PRACTICABLE SUCH PARTICLE RELEASES INTO THE ENVIRONMENT. IF EXTERIOR SANDBLASTING IS REQUIRED. A SEPARATE PERMIT WILL BE REQUIRED FROM BUILDING AND SAFETY.
- 13. ALL SITE UTILITIES SHALL BE CONSTRUCTED UNDERGROUND TO THE NEAREST OFFSITE UTILITY POLE. CONTRACTOR/DEVELOPER HAS MADE ARRANGEMENTS WITH THE UTILITY COMPANIES TO PLACE ALL OVERHEAD UTILITIES UNDERGROUND.

14. PRIOR TO COMMENCING UNDERGROUND UTILITY WORK, OBTAIN SEPARATE UTILITY EXCAVATION PERMIT FROM PUBLIC WORKS DEPARTMENT, CITY HALL ROOM 113. UTILITY EXCAVATION PERMIT APPLICATIONS TAKE APPROXIMATELY FOUR (4) WEEKS FOR REVIEW AND ARE REQUIRED TO INCLUDE THE UNDERGROUNDING DESIGN WHICH MAY TAKE UP TO SIX (6) MONTHS TO OBTAIN FROM SOUTHERN CALIFORNIA EDISON. ALL TRAFFIC CONTROL REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

15. SOUTHERN CALIFORNIA GAS EQUIPMENT INCLUDING METERS, AND ALL SOUTHERN CALIFORNIA EDISON EQUIPMENT AND INFRASTRUCTURE, INCLUDING TRANSFORMERS, POLES, AND VAULTS SHALL BE SHOWN ON THE PLANS, LOCATED ENTIRELY ON PRIVATE PROPERTY, AND DESIGNED PER SCG/SCE REQUIREMENTS. NO EQUIPMENT OR INFRASTRUCTURE SERVING THIS PROPERTY WILL BE PERMITTED IN THE PUBLIC RIGHT-OF-WAY.

16. OBTAIN A SEPARATE WATER METER PERMIT FROM THE PUBLIC WORKS DEPARTMENT, CITY HALL ROOM 113, FOR ALL INSTALLATIONS OR ENLARGEMENTS OF YOUR WATER / FIRE SERVICE(S). THERE MAY BE UP TO A 90-WORKING DAY WAITING PERIOD FOR THE INSTALLATION OR ENLARGEMENT / RELOCATION. ALL TRAFFIC CONTROL REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

17. THE CITY STRONGLY URGES THE APPLICANT TO INSPECT THE EXISTING SEWER CONNECTION. IF THE CONNECTION IS DAMAGED OR OVER 30 YEARS OLD. THE CITY RECOMMENDS THAT THE APPLICANT SHOW ON THE PLANS THE CONSTRUCTION OF A NEW SANITARY SEWER CONNECTION FROM PROPERTY LINE TO SANITARY SEWER MAIN IN ACCORDANCE WITH CITY OF SANTA MONICA STANDARDS.

18. OBTAIN A SEPARATE SEWER PERMIT FROM THE PUBLIC WORKS DEPARTMENT, CITY HALL ROOM 113, FOR ALL PROPOSED SEWER CONNECTIONS AND/OR WORK INSIDE THE PUBLIC RIGHT OF WAY PERFORMED ON THE EXISTING SEWER LATERAL. ALL TRAFFIC CONTROL REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

19. PRIOR TO INSTALLATION OF ANY CROSS-CONNECTION DEVICE, CONTACT THE WATER DIVISION AT (310) 458-8531. OWNER/CONTRACTOR SHALL COMPLY WITH WATER DIVISION CROSS-CONNECTION GUIDELINES. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, CROSS-CONNECTION CONTROL INSPECTION MUST BE COMPLETED AS WELL (CONTACT WATER DIVISION AT PHONE NUMBER NOTED ABOVE).

20. THE SITE MUST COMPLY WITH THE SMMC CHAPTER 7.10.100 URBAN RUNOFF POLLUTION ORDINANCE FOR CONSTRUCTION ACTIVITIES AND TEMPORARY BMPS.

21. PRIOR TO BACKFILLING ANY URBAN RUNOFF MITIGATION FEATURES, CONTACT THE CITY URBAN RUNOFF COORDINATOR AT (310) 458-8223 FOR INSPECTION.

22. NO PERMANENT STRUCTURES SHALL BE INSTALLED OR TREES PLANTED OVER ANY UTILITY EASEMENTS. A MINIMUM 5-FT CLEARANCE SHALL BE PROVIDED FROM THE OUTSIDE EDGE OF AN EXISTING UTILITY TO ANY PERMANENT STRUCTURE OR TREE. ANY DAMAGE TO EXISTING CITY OR PRIVATELY OWNED UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY OR PRIVATE AGENCY AT THE SOLE EXPENSE OF THE PROPERTY OWNER.

23. TREES WITHIN THE PUBLIC RIGHT-OF-WAY CANNOT BE REMOVED OR TRIMMED BY THE PROPERTY OWNER FOR ANY REASON WITHOUT THE WRITTEN APPROVAL OF THE CITY ARBORIST.

24. CONTRACTOR SHALL INSTALL A DOUBLE CHECK DETECTOR ASSEMBLY ON SITE AND ABOVE GROUND PER CITY STANDARDS. THE LOCATION OF WHICH SHALL BE READIL' ACCESSIBLE TO ALL CITY AGENCIES. PROTECTION FROM VEHICULAR IMPACT SHALL BE PROVIDED ON PRIVATE PROPERTY AND NOT IN THE PUBLIC RIGHT-OF-WAY. THE DCDA REQUIRES 3' X 8' CLEAR SPACE.

LEGEND:

<u>GENERAL</u> CIVIL LIMITS OF WORK BASEMENT WALL BELOW **ANNOTATION** 100.00 XX SURFACE ELEVATION/UTILITY ELEVATION <u>(100.00)X</u> EXISTING SURFACE ELEVATION/UTILITY ELEVATION __(XX) CONSTRUCTION NOTE FLOW (DIRECTION AND GRADE) SLOPE (DIRECTION AND RUN:RISE) HORIZONTAL CONTROL POINT LABEL /CX CURVE DATA LABEL PAD/FINISHED FLOOR ELEVATION FF=100.00

CURB/BACK OF CURB/GUTTER PROPERTY LINE/RIGHT OF WAY

EROSION CONTROL · 000000

SANDBAGS

SANITARY SEWER

EXISTING DRAINAGE DIRECTION OF FLOW

<u>GRADING</u> PROPOSED MINOR CONTOUR

FLOW LINE GRADE BREAK LINE RIDGE LINE _____R

DOMESTIC WATER FIRE WATER

EXISTING COMMUNICATION LINE PERFORATED PIPE

COORDINATION POINT CAP OR PLUG THRUST BLOCK

POINT OF CONNECTION

FIRE DEPARTMENT CONNECTION (FDC) POST INDICATOR VALVE (PIV) WATER VALVE

BACKFLOW ASSEMBLY UTILITY METER VAULT PLANTER DRAIN

PATTERN LEGEND:

ABBREVIATIONS:

BCR

CONC

FDC

HDPE

ASPHALTIC CONCRETE

BACK OF WALK

BENCH MARK

CATCH BASIN

CAST IRON

CLEANOUT

CURB FACE

EAS₁

EX. OR EXIST. EXISTING

ELEVATION

DOMESTIC WATER

END CURVE RETURN

ELECTRIC, ELECTRICAL

FIRE DEPARTMENT CONNECTION

FINISHED GRADE (LANDSCAPE)

FINISHED SURFACE (HARDSCAPE)

EDGE OF GUTTER

FINISHED FLOOR

FIRE HYDRANT

FOOT OR FEET

FIXTURE UNITS

GALLONS PER MINUTE

HIGH DENSITY POLYETHYLENE

FIRE WATER

GATE VALVE

HIGH POINT

LOW POINT

MAXIMUM

INVERT

FLOW LINE

CENTER LINE

BOTTOM OF STAIRS

BEST MANAGEMENT PRACTICES

CONCRETE MASONRY UNIT

PORTLAND CEMENT CONCRETE

BUILDING

BEGIN CURVE RETURN

PROPOSED BUILDING (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

OFFSITE IMPROVEMENTS. ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER

SEPERATE PUBLIC WORKS PERMIT ON-STRUCTURE SCOPE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

MANHOLE

NOT TO SCALE

PLANTER AREA

POINT OF CONNECTION

POST INDICATOR VALVE

POINT OF COMPOUND CURVE

POINT OF REVERSE CURVE

PRESSURE REDUCING VALVE

RECTANGULAR CAST IRON PIPE

POLYVINYL CHLORIDE

ROOF DRAIN

SOUTH

RIGHT-OF-WAY

SLOPE EQUALS

SANITARY SEWER

SANITARY SEWER MANHOLE

STORM DRAIN MANHOLE

STORM DRAIN

STANDARD

TOP OF CURB

TOP OF GRATE

TOP OF STAIRS

TOP OF WALL

TYPICAL

VAULT

WEST

WATER

WATER METER

WATER VALVE

TELEVISION

VERIFY IN FIELD

VITRIFIED CLAY PIPE

TRAFFIC SIGNAL

TRAFFIC SIGNAL BOX

TELEPHONE

NORTH

МН

NTS

POC

PRC

RCIP

SSMH

STD

SDMH

TOS

TSB

TYP

VCP



PLANTER AREA/LANDSCAPE. REFER TO LANDSCAPE PLANS FOR DETAILS

CONCRETE PAVEMENT. REFER TO SHEET C5.00 FOR DETAILS.

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING/GEOLOGICAL REPORT BY [COMPANY NAME] DATED

DATE

STAMP

[MONTH DAY, YEAR].

SIGNATURE

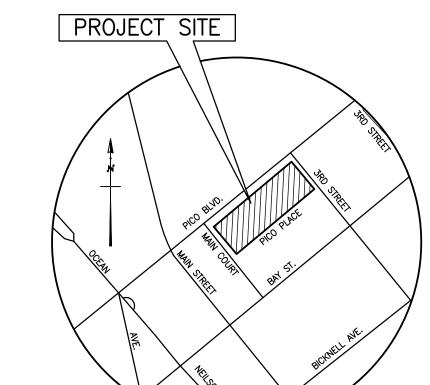
GRAVEL. REFER TO LANDSCAPE PLANS FOR DETAILS

CIVIL DRAWINGS TITLE SHEET C0.01 C1.00 EXISTING CONDITIONS PLAN (FOR REFERENCE ONLY) EROSION CONTROL PLAN (SWPPP)

SHEET INDEX:

C1.20 DEMOLITION PLAN C1.30 ROUGH GRADING PLAN C1.40 GRADING AND AND PAVING PLAN

C1.50 UTILITY PLAN C5.00 CIVIL DETAILS



California Coastal Commission VICINITY MAP NOT TO SCALE THOMAS GUIDE LOS ANGELES EDITION PAGE: 671 GRID: F3

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04.15.2022

TITLE SHEET

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LOS ANGELES, CA 90025

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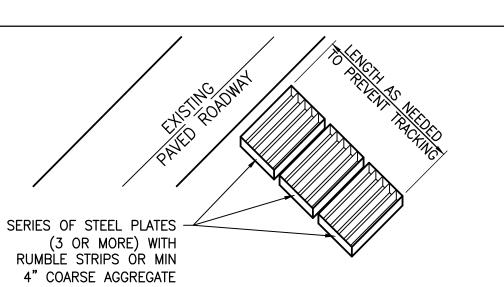
EXISTING

CONDITIONS

California Coastal Commission

FOR REFERENCE STATISTICS FOR REFERENCE ON Left 61

5-19-1064-A1



NOTES:

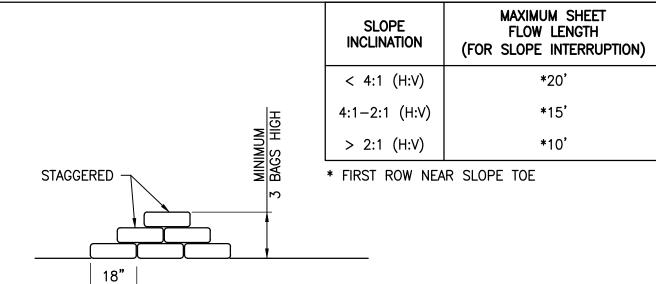
1. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.

- STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
- 3. IF A WASH RACK IS INCLUDED, A SEDIMENT TRAP OF SOME KIND MUST ALSO BE PROVIDED TO COLLECT WASH WATER RUNOFF.
- 4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION

STREET MAINTENANCE NOTES

- 1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- 2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.
- 3. PAVEMENT WASHING WITH WATER IS PROHIBITED IF IT RESULTS IN A DISCHARGE TO THE STORM DRAIN SYSTEM

3	STABILIZED CONSTRUCTION ENTRANCE N.T.S	. 2	GRAVEL BAG BARRIER



NOTES:

1. BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD², MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION

- 2. BAG SIZE: EACH GRAVEL—FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
- 3. FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN—GRADED,
- CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN—GRADED, NON—COHESIVE, POROUS GRAVEL.

 4. TURN THE ENDS OF GRAVEL BAG BARRIER UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND
- BARRIER.

 5. USE PYRAMID APPROACH WHEN STACKING BAGS.

	3" TO 3" GRAVEL (12" MIN. DEPTH) WIRE MESH (½" OPENINGS) WITH FILTER FABRIC ON TOP GRAVEL BAG
	SECTION FILTERED WATER
NOTES:	2 BAGS HIGH AND STAGGERED ROWS OF GRAVEL BAGS (12" MINIMUM WIDTH & 12" MINIMUM HEIGHT) DROP INLET W/ GRATE. SIZED PER PLAN GRAVEL OVER ENTIRE WIRE MESH WITH FILTER FABRIC
NOILS.	<u>PLAN</u>
<u> </u>	<u>PLAN</u>

- 1. PLACE WIRE MESH OVER AND 1' (MINIMUM) BEYOND THE INLET STRUCTURE. (MESH OPENINGS NOT TO EXCEED ½" x ½" WIRE)

 2. PLACE FILTER FABRIC OVER WIRE MESH.
- 3. PLACE \(\frac{3}{4}\)" TO 3" GRAVEL OVER THE WIRE MESH WITH FILTER FABRIC (12" MINIMUM DEPTH OVER THE ENTIRE INLET OPENING).

 4. BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4
- OUNCES/YD², MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.

 BAG SIZE: EACH GRAVEL—FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL. AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
- APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.

 6. FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN—GRADED, NON—COHESIVE, POROUS GRAVEL.
- 7. USE PYRAMID APPROACH WHEN STACKING BAGS.
- 8. LEAVE GAP OF ONE BAG ON TOP ROW TO SERVE AS SPILLWAY.

 N.T.S. 1 STORM DRAIN INLET PROTECTION

BMP NOTES:

THE FOLLOWING BMPS AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JULY 2012, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS):

WIND EROSION CONTROL

WE1-WIND EROSION CONTROL

NON-STORMWATER MANAGEMENT

NS2-DEWATERING OPERATIONS

NS5-CLEAR WATER DIVERSION

NS7-POTABLE WATER/IRRIGATION

NS11-PILE DRIVING OPERATIONS

NS16-TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIALS

WM3-STOCKPILE MANAGEMENT

WM5-SOLID WASTE MANAGEMENT

NS12-CONCRETE CURING NS13-CONCRETE FINISHING

POLLUTION CONTROL

WM2-MATERIAL USE

NS14-MATERIAL OVER WATER

NS1-WATER CONSERVATION PRACTICES

NS4-TEMPORARY STREAM CROSSING

NS6-ILLICIT CONNECTION/DISCHARGE

NS3-PAVING AND GRINDING OPERATIONS

NS8-VEHICLE AND EQUIPMENT CLEANING

NS9-VEHICLE AND EQUIPMENT FUELING

NS15-DEMOLITION ADJACENT TO WATER

WM1-MATERIAL DELIVERY AND STORAGE

WM4-SPILL PREVENTION AND CONTROL

WM6-HAZARDOUS WASTE MANAGEMENT

WM7-CONTAMINATED SOIL MANAGEMENT

WM9-SANITARY/SEPTIC WASTE MANAGEMENT

WM8-CONCRETE WASTE MANAGEMENT

WM10-LIQUID WASTE MANAGEMENT

NS10-VEHICLE AND EQUIPMENT MAINTENANCE

EROSION CONTROL

EC1-SCHEDULING
EC2-PRESERVATION OF EXISTING VEGETATION
EC3-HYDRAULIC MULCH
EC4-HYDROSEEDING

EC5-SOIL BINDERS
EC6-STRAW MULCH
EC7-GEOTEXTILES AND MATS
EC8-WOOD MULCHING
EC9-EARTH DIKES AND DRAINAGE SWALES
EC10-VELOCITY DISSIPATION DEVICES
EC11-SLOPE DRAINS
EC12-STREAMBANK STABILIZATION

EC11-SLOPE DRAINS
EC12-STREAMBANK STABILIZATION
EC13-RESERVED
EC14-COMPOST BLANKET
EC15-SOIL PREPARATION/ROUGHENING
EC16-NON-VEGETATIVE STABILIZATION

TEMPORARY SEDIMENT CONTROL

SE1-SILT FENCE

SE2-SEDIMENT BASIN
SE3-SEDIMENT TRAP
SE4-CHECK DAM
SE5-FIBER ROLLS
SE6-GRAVEL BAG BERM
SE7-STREET SWEEPING AND VACUUMING
SE8-SANDBAG BARRIER
SE9-STRAW BALE BARRIER
SE10-STORM DRAIN INLET PROTECTION
SE11-ACTIVE TREATMENT SYSTEMS

SE10-STORM DRAIN INLET PROTECTION
SE11-ACTIVE TREATMENT SYSTEMS
SE12-MANUFACTURED LINEAR SEDIMENT CONTROLS
SE13-COMPOST SOCKS AND BERMS
SE14-BIOFILTER BAGS

EQUIPMENT TRACKING CONTROL

TC1-STABILIZED CONSTRUCTION ENTR

TC1-STABILIZED CONSTRUCTION ENTRANCE/EXIT TC2-STABILIZED CONSTRUCTION ROADWAY TC3-ENTRANCE/OUTLET TIRE WASH

EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED' CONDITIONS.

ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS
 UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY
 THE INSPECTOR

3. WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.

4. STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS.
 5. EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL

BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).

6. SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION

7. A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS:

NAME: _______ (TO BE FILLED IN BY CONTRACTOR)

WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.

PHONE NUMBER: _____ DUST CONTROL NOTES:

DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE
THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS

OUT OF THE PROPERTY OF THE

DIRECTED BY THE ENGINEER.

2. WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL ENSURE A UNIFORM APPLICATION OF WATER.

3. UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR

4. ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.

5. PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.

6. PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.

7. LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

EROSION CONTROL NOTES:

E1) PROVIDE INLET PROTECTION PER DETAIL 1, HEREON.

E2 PLACE GRAVEL BAGS TRIPLE ROW PER DETAIL 2, HEREON.

E3 STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 3, HEREON.

PARCEL.

LIMIT LINE OF EROSION CONTROL

PROPERTY LINE

GRAVEL BAGS

DIRECTION OF F

DIRECTION OF FLOW

RUNOFF DISCHARGE SAMPLE LOCATION

NON-CONTAMINATED SAMPLE LOCATION

PROTECT TREE IN PLACE

×

CITY OF SANTA MONICA STANDARD BMP NOTES:

1.POLLUTED RUNOFF (INCLUDING RUNOFF CONTAINING SEDIMENTS AND/OR CONSTRUCTION WASTES) FROM A CONSTRUCTION PARCEL SHALL NOT LEAVE THE

2.ANY SEDIMENT OR OTHER MATERIALS THAT ARE TRACKED OFF THE PARCEL BY VEHICLES AND EQUIPMENT SHALL BE REMOVED THE SAME DAY AS THEY ARE TRACKED OFF THE PARCEL.

3.NO WASHING OF CONSTRUCTION OR OTHER VEHICLES SHALL BE ALLOWED ADJACENT TO A CONSTRUCTION PARCEL.

4.PLASTIC COVERING SHALL BE UTILIZED TO PREVENT EROSION OF AN OTHERWISE UNPROTECTED AREA, E.G. EXPOSED OR OPEN TO ELEMENTS, ALONG WITH TREATMENT CONTROL BMP'S TO INTERCEPT AND SAFELY CONVEY THE RUNOFF TO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM.

5.PRIOR TO THE INSTALLATION OF ANY GREASE INTERACTION PROGRAMS AT (310) 458-8235.

6.THE SITE MUST COMPLY WITH SMMC CHAPTER 7.10.060 URBAN RUNOFF POLLUTION

5-19-1064-A1

6.THE SITE MUST COMPLY WITH SMMC CHAPTER 7.10.060 URBAN RUNOFF POLLUTION ORDINANCE FOR CONSTRUCTION ACTIVITIES AND TEMPORARY BMPS

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EXITATE 2

5-19-1064-A1

Exhibit 2

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SCALE: 1"=20'

(KFA)

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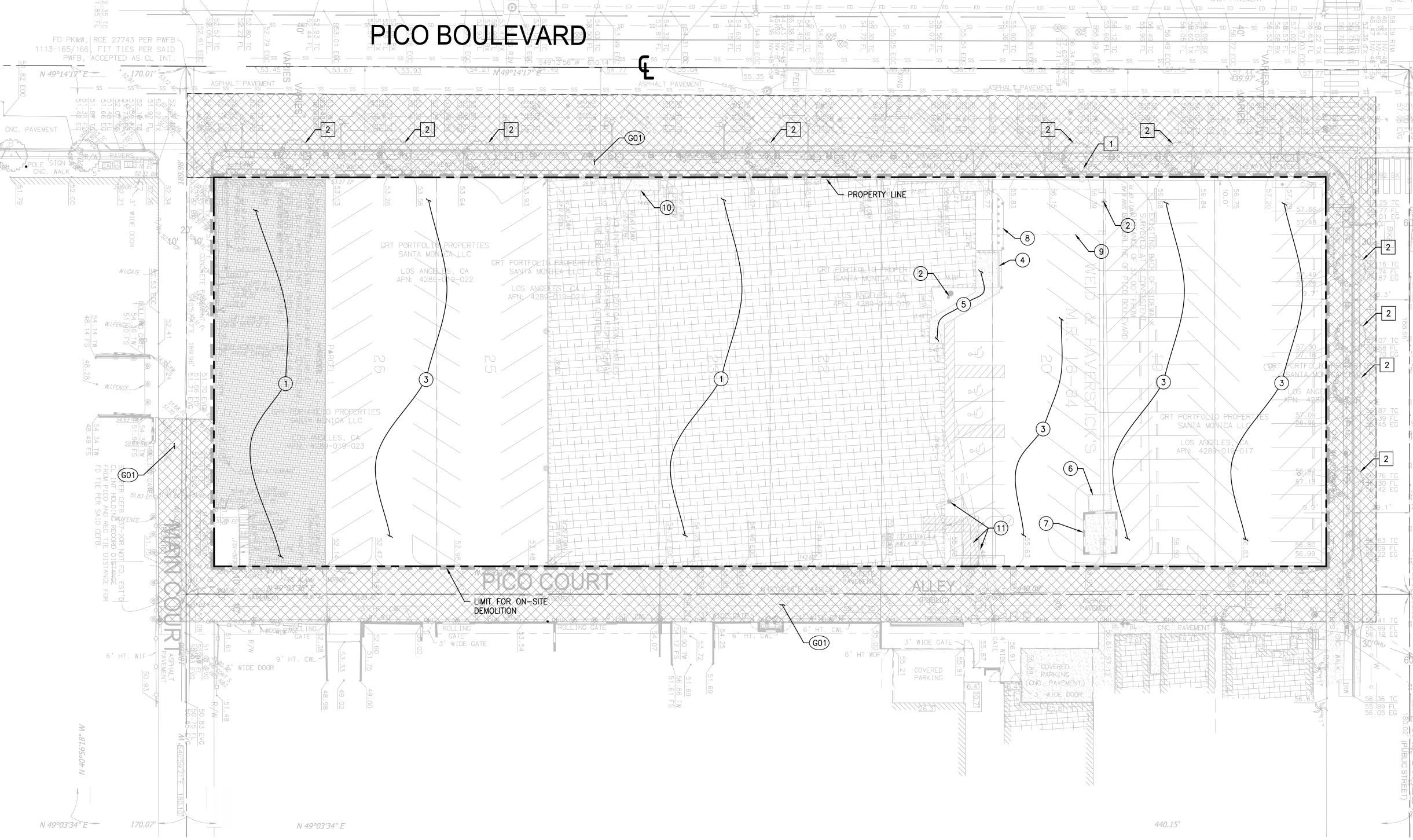
JOB NUMBER: 2021-018
DATE: 0.4.15, 2022

04.15.2022
REVISIONS:

SHEET TITLE:

EROSION CONTROL

SHEET NUMBER:



CONSTRUCTION NOTES:

(G01) ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES AN OFFSITE PERMIT FROM THE CITY OF SANTA MONICA DEPARTMENT OF PUBLIC WORKS. REFER TO SEPARATE OFFSITE PLANS FOR DETAILS.

GENERAL DEMOLITION NOTES:

- 1. CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON
- 2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- 5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
- 6. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- 7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
- 8. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
- 9. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED
- 10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED AND REMOVED WITHIN THE DEMOLITION LIMIT LINE, INCLUDING APPURTENANT FOUNDATIONS OR SUPPORTS.
- 11. DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

DUST CONTROL NOTES:

- 1. DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE. THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
- 2. WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL ENSURE A UNIFORM APPLICATION OF WATER.
- 3. UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
- 4. ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
- 5. PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.
- 6. PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
- 7. LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

DEMOLITION NOTES:

PROTECT-IN-PLACE

- 1 "BOWL" SIGN. CAREFULLY REMOVE SIGN FROM SIGN FOUNDATION DURING CONSTRUCTION, STORE OFFSITE AND REINSTALL. FOUNDATION TO REMAIN IN PLACE. CONTRACTOR TO COORDINATE WORK WITH THE
- 2 TREE

DEMOLISH & REMOVE

- 1) BUILDING AND APPURTENANCES.
- 2 TREE
- 3 ASPHALT PARKING LOT
- (4) TRENCH DRAIN (5) CONCRETE PAVEMENT
- 6 SHED
- 7) TRASH ENCLOSURE AND BLOCK WALL
- 8 PLANTER
- 9 METAL TRELLIS
- (10) CONCRETE STEPS
- (11) POWER LINES AND POWER POLE. CONTRACTOR TO COORDINATE SHUTDOWN AND DEMOLITION WITH SOUTHERN CALIFORNIA EDISON AND DRY UTILITY CONSULTANT.

LEGEND:

LIMIT LINE OF DEMOLITION



OFFSITE IMPROVEMENTS

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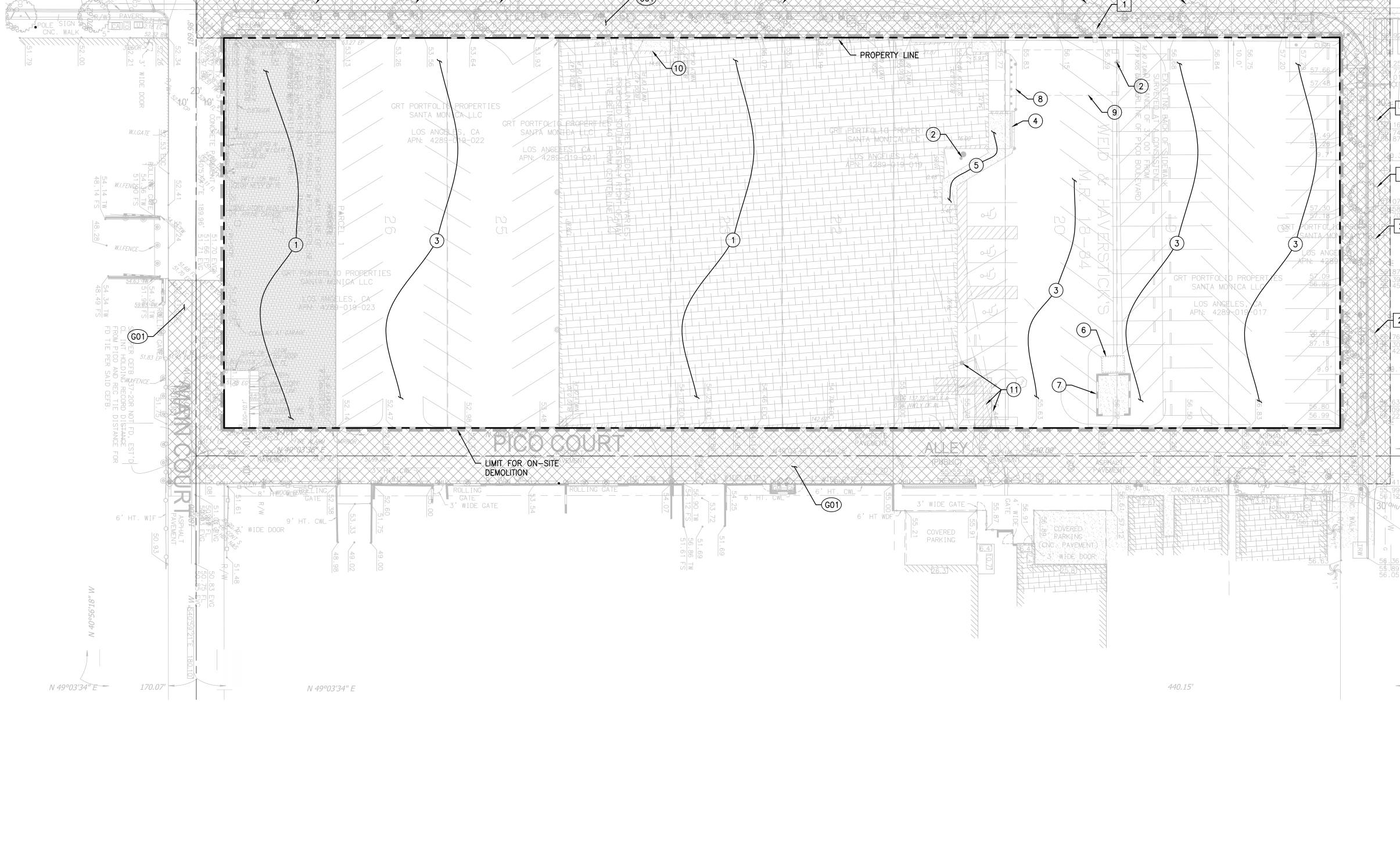
DEMOLITION PLAN

California Coastal Commission 5-19-1064-A1

Exhibit 2

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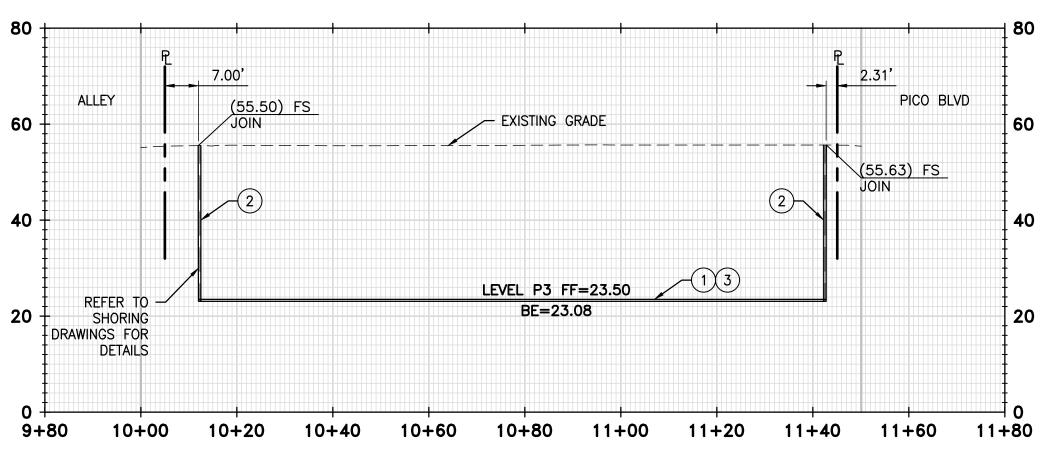
SCALE: 1"=20"



BE=23.08

10+00 10+20 10+40 10+60 10+80 11+00 11+20 11+40 11+60 11+80 12+00 12+20 12+40 12+60 12+80 13+00 13+20 13+40 13+60 13+80 14+00 14+20 14+40

SECTION A-A
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=20'



SECTION B-B
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=20'

EROSION CONTROL NOTES:

- BOTTOM OF EXCAVATION ELEVATION VALUES SHOWN ARE CALCULATED FROM THE ASSUMED P2 LEVEL FINISH FLOOR MINUS THE 5 INCH SLAB THICKNESS. ADDITIONAL EXCAVATION MAY BE REQUIRED FOR WATER PROOFING, SUBDRAINAGE, METHANE MITIGATION, ETC. CONTRACTOR TO CONFIRM THE BOTTOM OF EXCAVATION ELEVATIONS CORRESPOND TO THE PROPOSED STRUCTURAL AND SHORING PLANS AND DETAILS PRIOR TO EXCAVATION.
- 2 SHORING TO BE DESIGNED AND APPROVED UNDER SEPARATE PERMIT.
- 3 ADDITIONAL EXCAVATION AND SHORING MAY BE REQUIRED AT SUMP PITS, ELEVATOR PITS, FOOTINGS, AND SUBDRAINS.

LEGEND

LIMIT OF W
PROPERTY

BASEMENT

CUT: 61,277 CUBIC YARDS
FILL: 0 CUBIC YARDS

NET (CUT): 61,277 CUBIC YARDS

- NOTES:

 1. THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
- 2. ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- 4. THE CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES NECESSARY FOR THEIR BID AND WORK.
- 5. ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.



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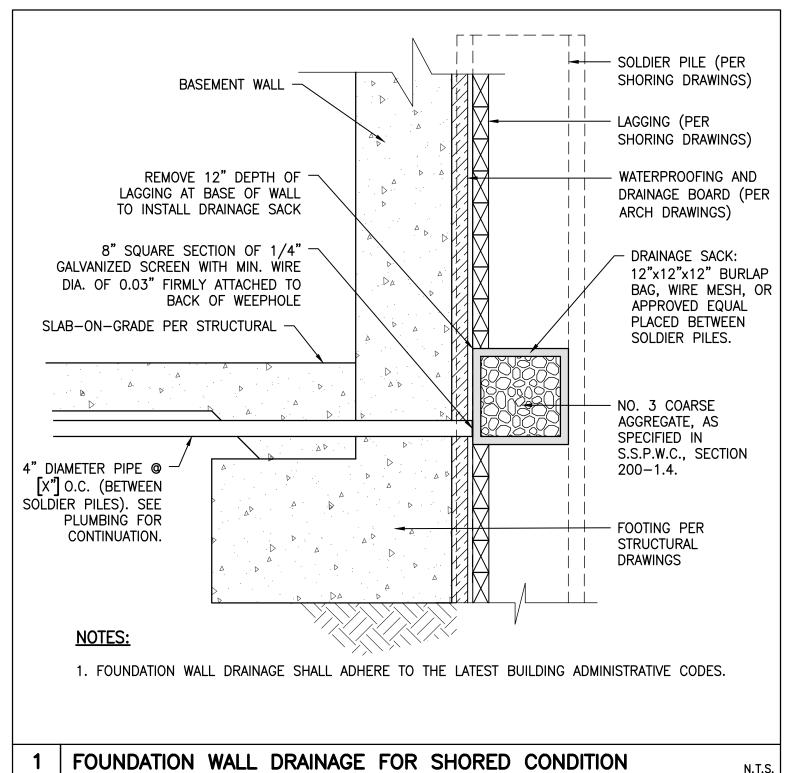
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JOB NUMBER: 2021-018
DATE: 04.15.2022

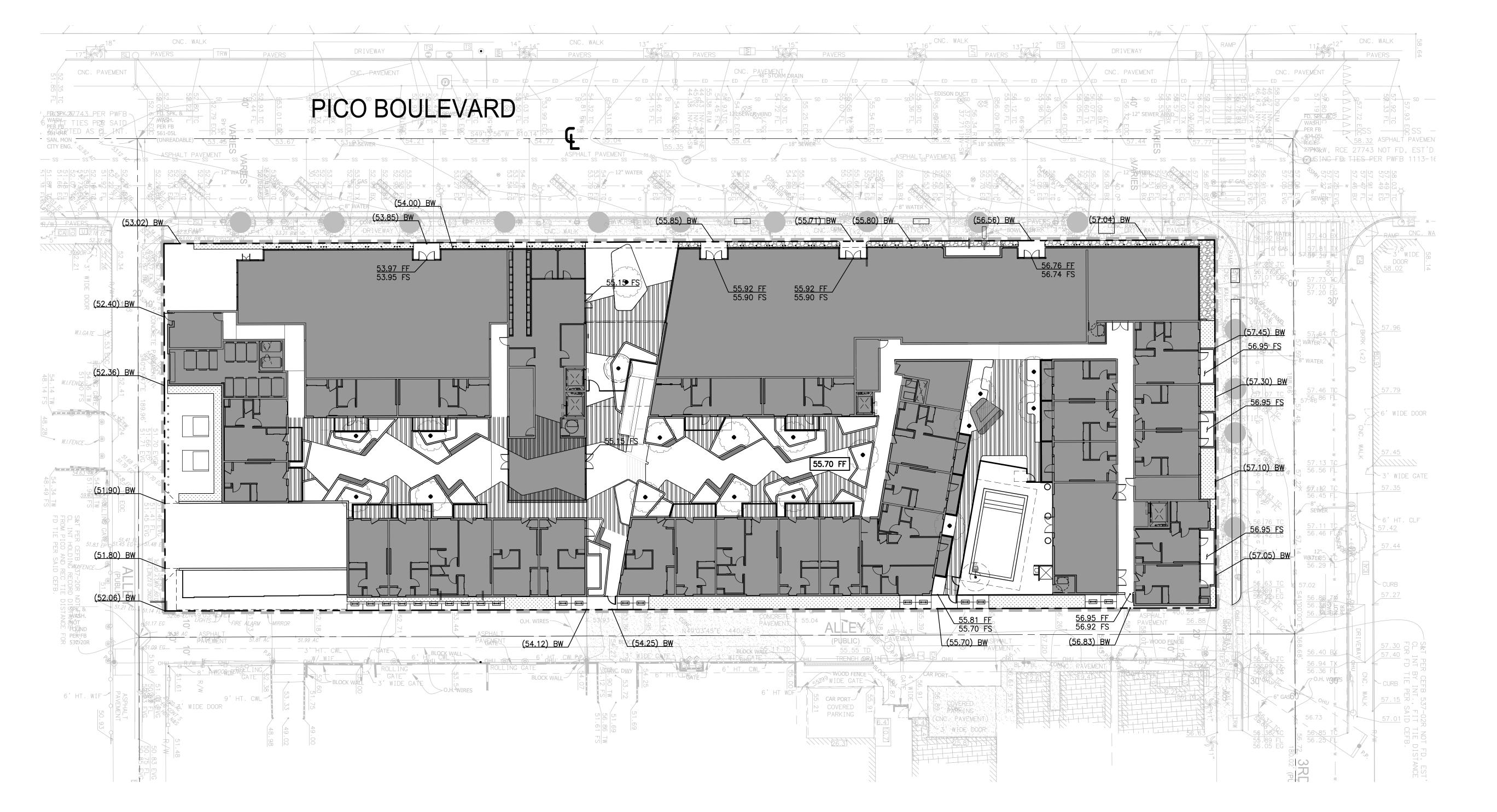
ROUGH GRADING

SHEET NUMBER: C-1.30



California Coastal Commission
5-19-1064-A1
Exhant 2
Page 26 of 61
SCALE: 1"=20'

DRAWINGS FOR DETAILS



CONSTRUCTION NOTES:

GO1 AREA DRAIN PER DETAIL [SD01], SHEET [____].
GO2 PCC PAVING PER DETAIL [P07], SHEET [____].

GO3 CONTROL JOINT PER DETAIL [P14], SHEET [___].

GO4) ASPHALT PAVING PER DETAIL [P06], SHEET [___].

G05 PCC CURB AND GUTTER PER DETAIL [P02], SHEET [___].
G06 PAINT PARKING STRIPING PER DETAIL [ST01], SHEET [___].

GO7) SITE FEATURE WALL PER [_____] PLANS.

GO8) ADA CURB RAMP PER APWA STANDARD PLAN 111-2, CASE TYPE 1.

G09 6" CURB PER DETAIL [P01], SHEET [___].

G10 VALLEY GUTTER PER DETAIL [P04], SHEET [___].
G11 DRIVE APPROACH PER APWA STANDARD PLAN 110-1, TYPE C.

LEGEN

LIMIT OF WORK

PROPERTY LINE

FLOW LINE

GB GRADE BREAK

RR R RIDGE LINE

EARTHEN SWALE

SAWCUT AND JOIN

TOP

TOE

GRADE SLOPE (HORIZONTAL:VERTICAL)

LIMITS OF GRADING

GRADING BENCH

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

CONCRETE PAVING
(REFER TO SHEET [CX.XX] FOR DETAILS)

ASPHALT
(REFER TO SHEET [CX.XX] FOR DETAILS)

GRAVEL
(REFER TO LANDSCAPE
(REFER TO LANDSCAPE)
(REFER TO LANDSCAPING PLANS FOR DETAILS)

SAND
(REFER TO ARCHITECTURAL PLANS FOR DETAILS)

PROPOSED BUILDING
(REFER TO ARCHITECTURAL PLANS FOR DETAILS)

PAVING CONSTRUCTION NOTES

P01 CONCRETE CURB. PER DETAIL [___] ON SHEET [___].

P02 CONCRETE CURB AND GUTTER. PER DETAIL [___] ON SHEET [___].

P03 CONCRETE VALLEY GUTTER. PER DETAIL [___] ON SHEET [___].

P04 ASPHALT CONCRETE PAVEMENT. PER DETAIL [___] ON SHEET [___].

P05 CONCRETE PAVEMENT. PER DETAIL [___] ON SHEET [___].

P06 CURB RAMP. PER DETAIL [___] ON SHEET [___].

LEGEND

LIMIT OF WORK

PROPERTY LINE

CONCRETE PAVING (REFER TO SHEET [CX.XX] FOR DETAILS)

ASPHALT (REFER TO SHEET [CX.XX] FOR DETAILS)

GRAVEL (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

PLANTER AREA/LANDSCAPE (REFER TO LANDSCAPING PLANS FOR DETAILS)

SAND (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

PROPOSED BUILDING

(REFER TO ARCHITECTURAL PLANS FOR DETAILS)

NOTE TO CONTRACTOR/CONSTRUCTION SURVEYOR:

CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.

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Exhant 2
Page 27 of 61
SCALE: 1"=20'



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2021-018
DATE:
04.15.2022

GRADING AND PAVING PLAN

C-1.40



UTILITY CONSTRUCTION NOTES:

STORM DRAIN

(SD1) RECTANGULAR CURB DRAIN WITH FACE PLATE BY CURB-O-LET OR APPROVED EQUIVALENT.

POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.

CIRCULAR TO RECTANGULAR PIPE ADAPTOR. REFER TO PLUMBING DRAWINGS FOR DETAIL.

SANITARY SEWER

(SS1) PVC, SDR-35 SANITARY SEWER PIPE PER DETAIL 1, SHEET C5.00. SIZE AND SLOPE PER PLAN.

(SS2) POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.

(SS3) CONNECT TO EXISTING SEWER MAIN PER CITY OF SANTA MONICA DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

(W1) PVC C-900 DOMESTIC WATER PIPE PER DETAIL 2, SHEET C5.00. SIZE

POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.

W3 CONNECT TO EXISTING WATER MAIN PER CITY OF SANTA MONICA DEPARTMENT OF PUBLIC WORKS STANDARD AND SPECIFICATIONS. FIRE WATER

F1 FIRE WATER SERVICE PER CITY OF SANTA MONICA DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

F2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.

F3 CONNECT TO EXISTING WATER MAIN PER CITY OF SANTA MONICA DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

F4 FIRE DEPARTMENT CONNECTION.

OTHER UTILITIES

(U1) ELECTRICAL CONDUIT. SEE ELECTRICAL DRAWINGS FOR DETAILS AND SPECIFICATIONS. SHOWN FOR COORDINATION PURPOSES ONLY.

U2) GAS LINE. SEE GAS COMPANY DRAWINGS FOR DETAILS AND SPECIFICATIONS. SHOWN FOR COORDINATION PURPOSES ONLY.

LEGEND:

DOMESTIC WATER

————— PERFORATED PIPE

POINT OF CONNECTION COORDINATION POINT CAP OR PLUG UTILITY MANHOLE

> UTILITY CLEANOUT STORM DRAIN INLET AREA DRAIN/PLANTER DRAIN

TRENCH DRAIN FIRE HYDRANT THRUST BLOCK

FIRE DEPARTMENT CONNECTION (FDC)

UTILITY METER VAULT

POST INDICATOR VALVE (PIV) WATER VALVE BACKFLOW ASSEMBLY

IRRIGATION WATER METER, LINES AND APPURTENANCES BY OTHERS.

ALL BMP'S PROPOSED AS A PART OF THIS PROJECT ARE TO BE INSPECTED BY THE ENGINEER OF RECORD AFTER INSTALLATION AND PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY.

PRIOR TO THE INSTALLATION OF ALL STORM DRAIN AND SEWER MAIN LINE CONNECTIONS, THE CONTRACTOR SHALL POTHOLE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE MAIN LINE. IF CONDITIONS DIFFER FROM THOSE ON THE PLAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT

BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED.

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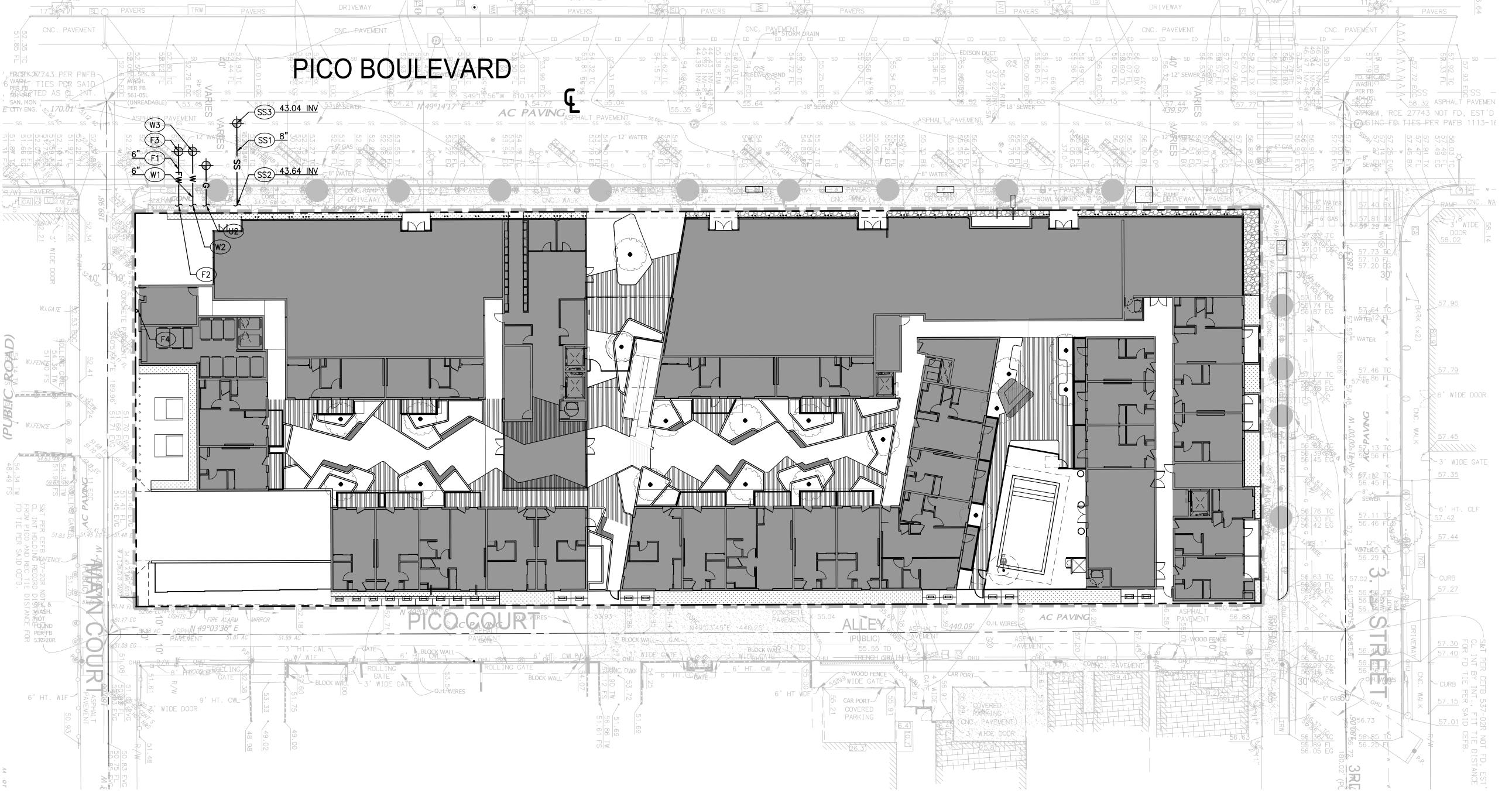
04.15.2022

REVISIONS:

UTILITY PLAN

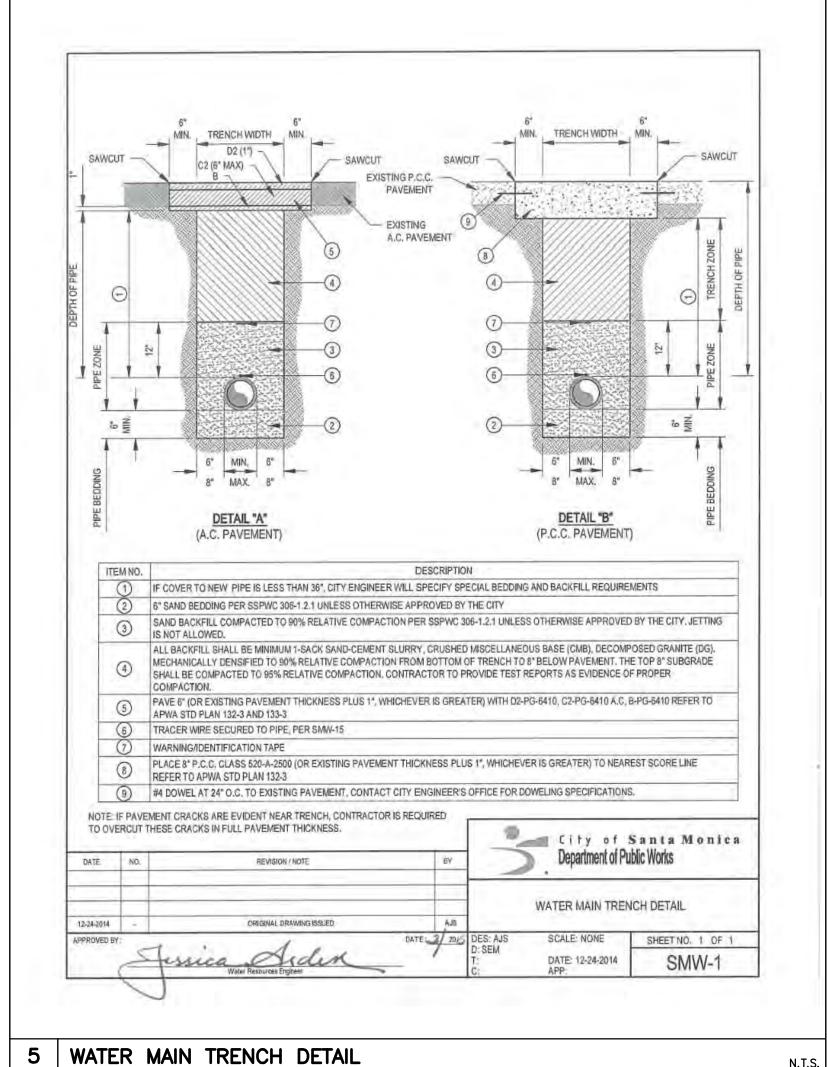
California Coastal Commission 5-19-106<u>4</u>-A1 Exhant 2
Page 28 of 6.1

SCALE: 1"="



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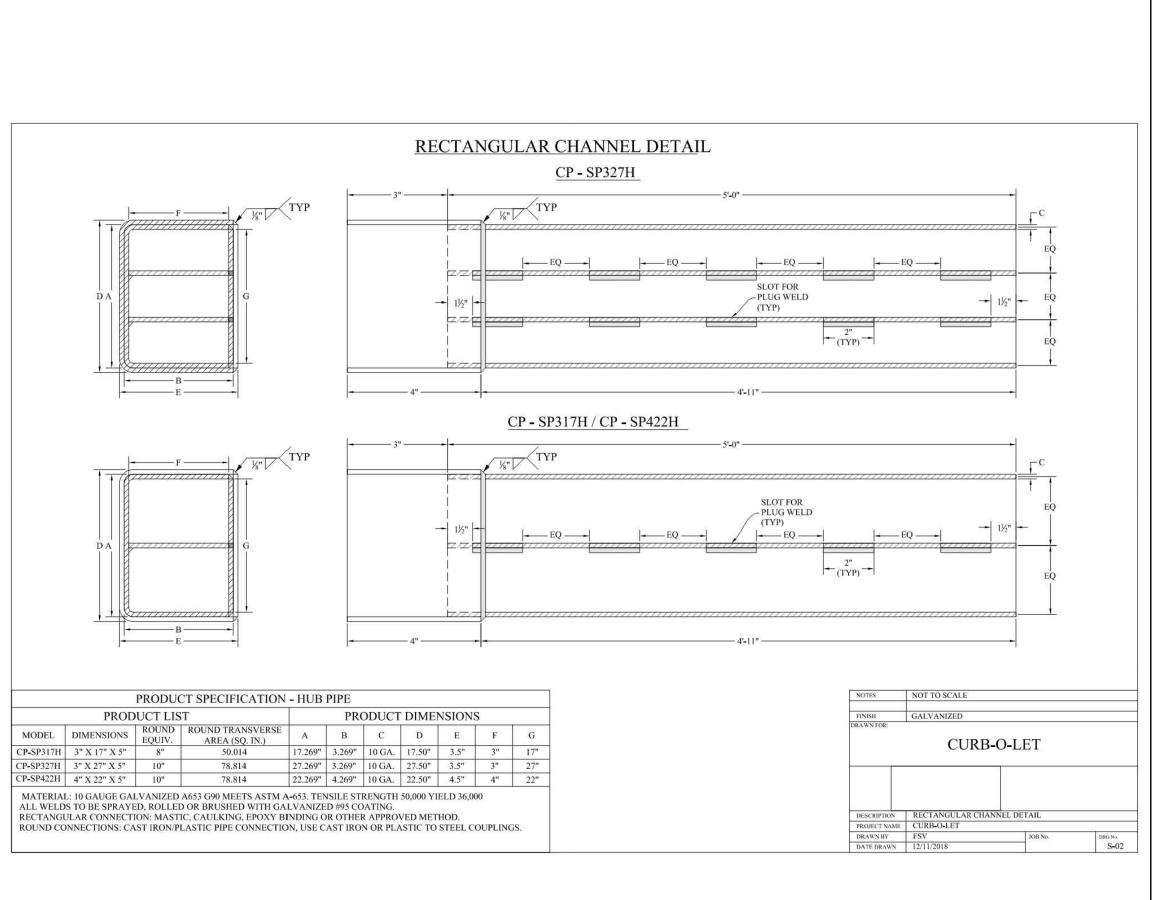


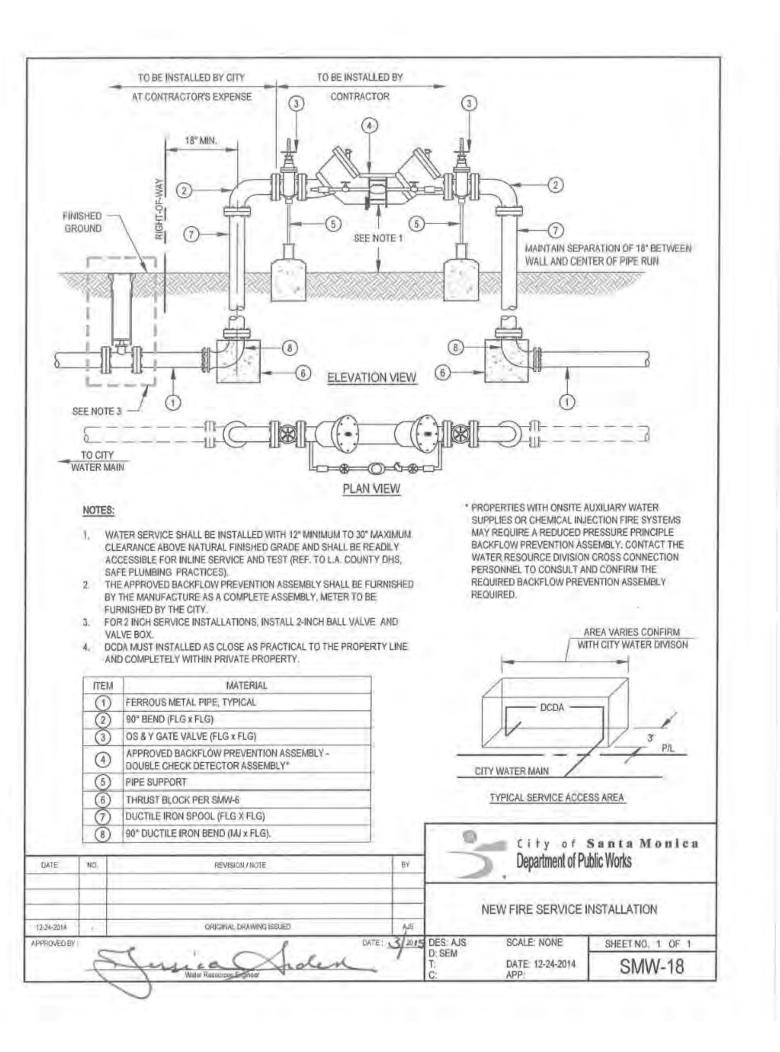
6" 10-Degrees

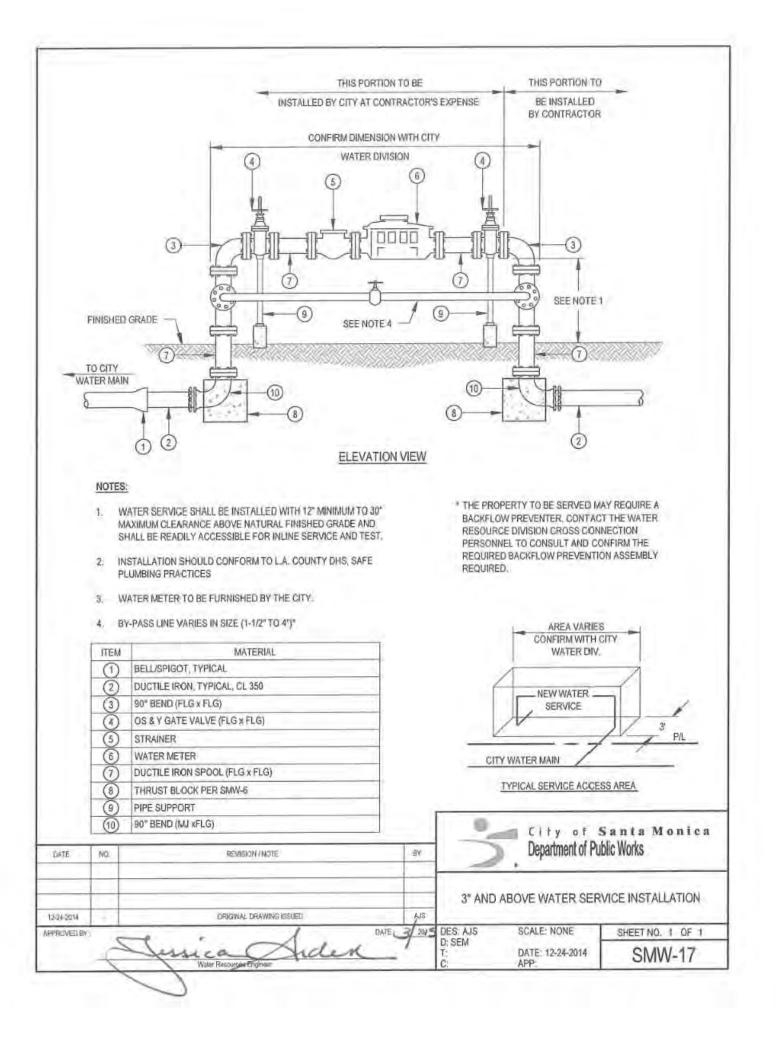
3/4 Radius -

9421 Monterey Ave. Bellflower, CA. 90706 - Office (714)903-2468

Insert #4 Rebar



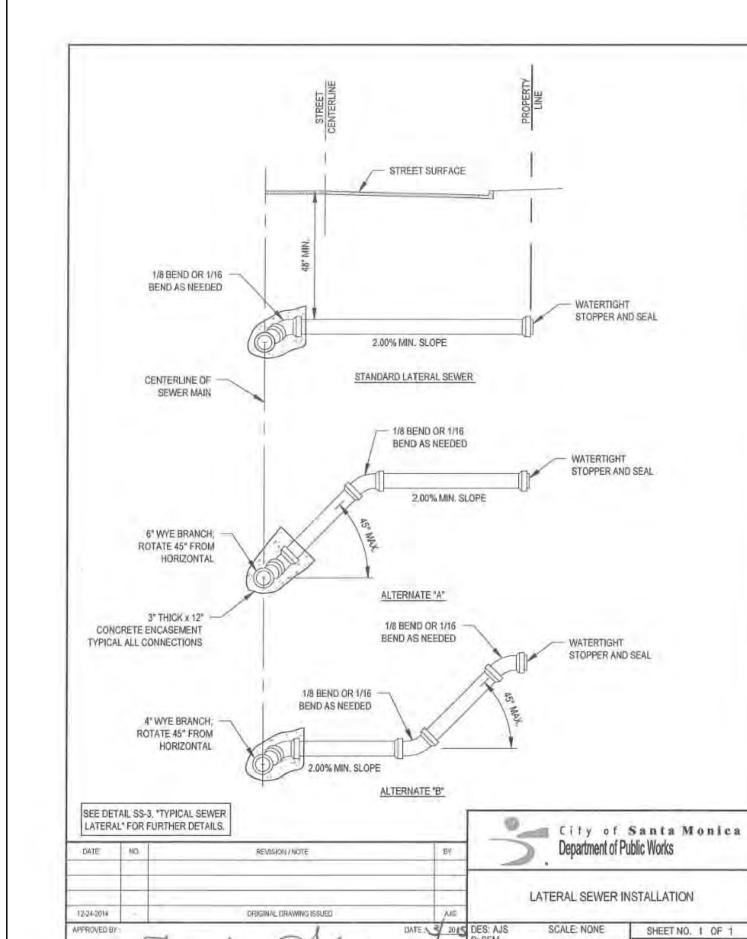


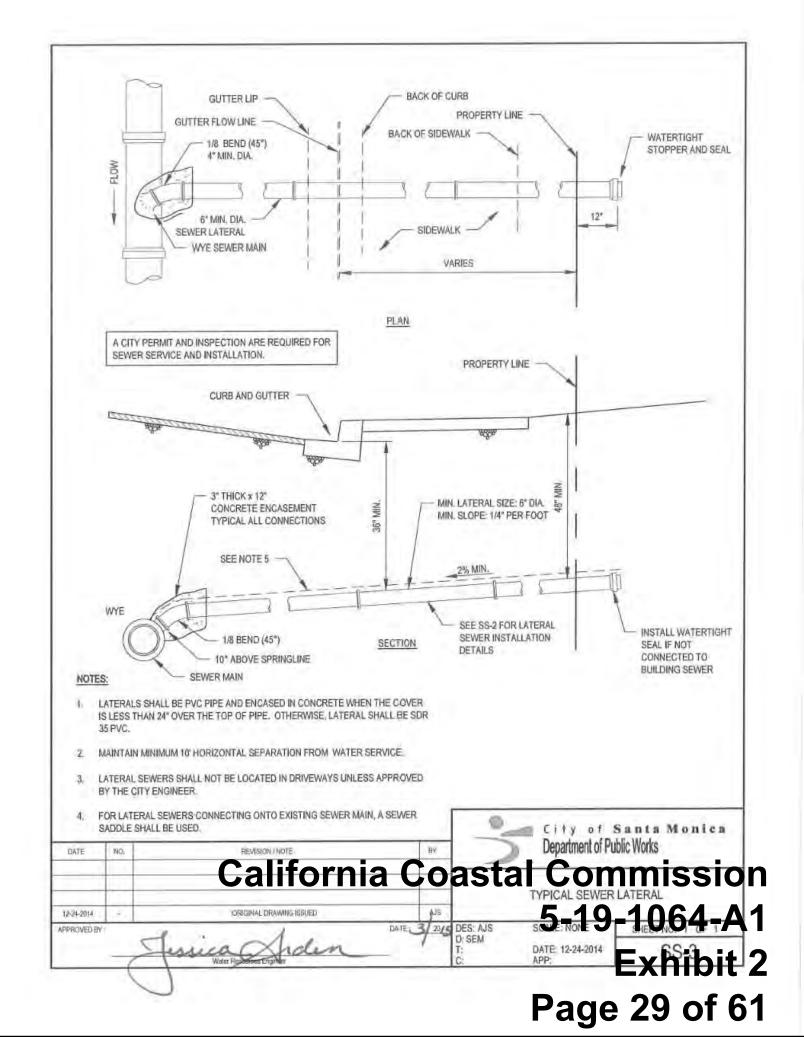


3 FIRE WATER SERVICE INSTALLATION DETAIL N.T.S. 2 WATER SERVICE INSTALLATION DETAIL

DATE: 12-24-2014

SS-2





SIDE VIEW Form attachment holes Form attachment hole Form attachment holes This dimension is available in two sizes FRONT VIEW **CURB-O-LET DETAIL** PRODUCT SPECIFICATION - CURB-O-LET PRODUCT LIST (OVERFLOW DRAIN) (ROOF DRAIN) SIZE MODEL REMARKS ABEL MODEL NUMBER LABEL MODEL NUMBER EQUIV. 3" 3" ROUND TCD-3RD TCD-3RD-RFD TCD-3RD-OFD 6"-8" CURB FACE 4" 4" ROUND TCD-4RD TCD-4RD-OFD 6"-8" CURB FACE TCD-4RD-RFD 6"-8" CURB FACE 4" 3"x5" TCD-35 TCD-35-RFD TCD-35-OFD 5" 3"x8" TCD-38 TCD-38-RFD TCD-38-OFD 6"-8" CURB FACE TCD-312-OFD 6" 3"x12" TCD-312 TCD-312-RFD 6"-8" CURB FACE 8" 4"x14" TCD-414 TCD-414-RFD TCD-414-OFD NOTE: 8" CURB FACE ONLY 8" 3"x17" TCD-317 TCD-317-RFD TCD-317-OFD 6"-8" CURB FACE 10" 3"x27" TCD-327 TCD-327-RFD TCD-327-OFD 6"-8" CURB FACE TCD-422-RFD NOTE: 8" CURB FACE ONLY 10" 4"x22" TCD-422 TCD-422-OFD ALL CURB-O-LET PRODUCTS ARE MANUFACTURED TO CLOSE TOLERANCES. VERY SLIGHT VARIATIONS IN SIZE ARE POSSIBLE. CURB-O-LET FITS STANDARD 6" AND 8" CURB FACE. EPOXY COATING FINISHES AVAILABLE ON REQUEST REVISION DESCRIPTION RECTANGULAR STEEL PIPE AND FITTINGS.

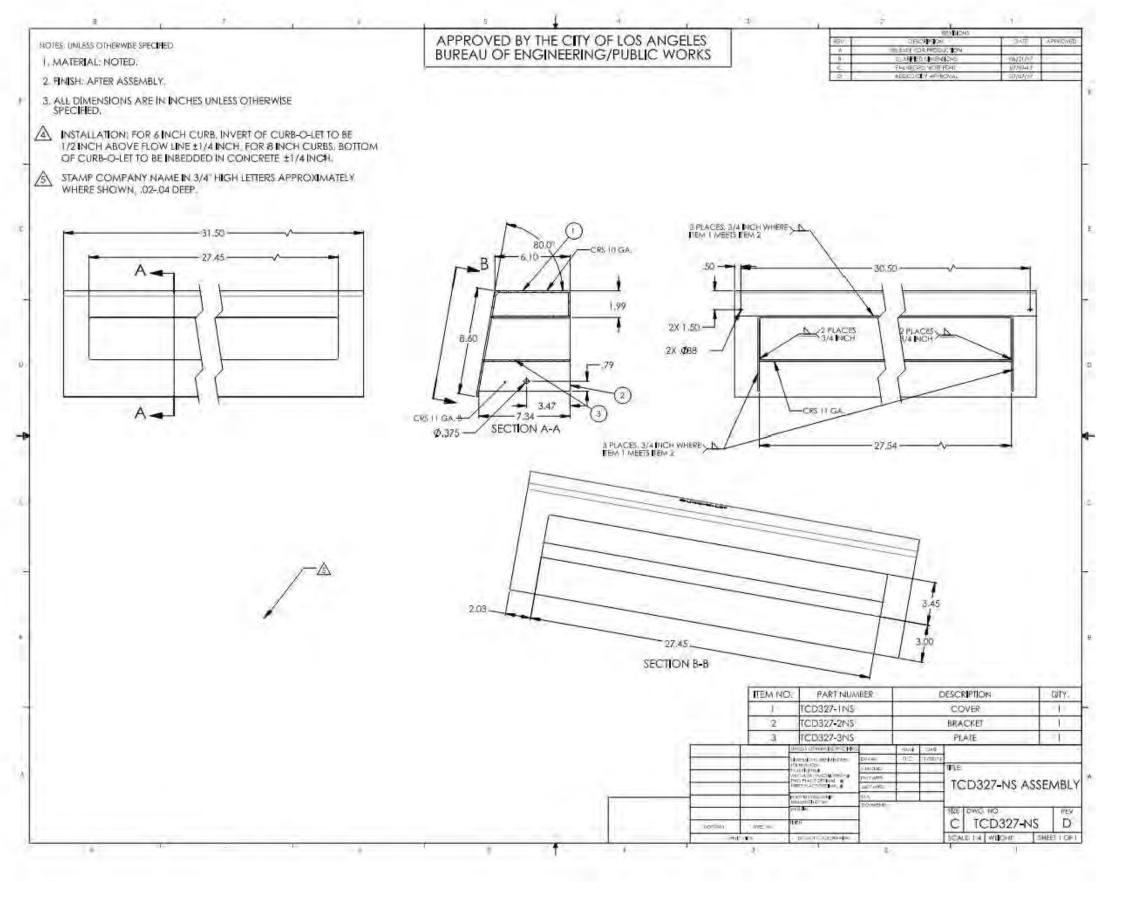
CURB-O-LET

2" 3/4 Radius,

3" ROUND - TCD -3RD

4" ROUND - TCD -4RD

AVAILABEL AS:



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DETAILS

SCALE: DRAWN BY DATE CHECKED BY APPROVED BY NONE JB 08/18/16 JB JB JB 4 CURB-O-LET DETAILS

N.T.S. 1 SEWER LATERAL DETAILS

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS AS WELL AS ALL APPLICABLE LOCAL CODES.

- THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK DESCRIBED HEREIN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER OF ANY DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING ANY CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL THE CONDITIONS OF THE SITE RELATIVE TO EXISTING WORK, MATERIALS TO BE MATCHED, AVAILABILITY OF WORKING SPACE, SITE ACCESS AND ANY/ALL OTHER ASPECTS OF THE SITE AFFECTING THE SCOPE OF WORK AND THE DEVELOPMENT OF AN INTELLIGENT BID. NO INCREASE IN COST OR EXTENSION IN PERFORMANCE TIME WILL BE CONSIDERED RESULTING FROM THE CONTRACTOR'S FAILURE TO KNOW THE SITE CONDITIONS.
- THE CONTRACTOR SHALL CARRY ALL WORKERS COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY THE
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE DESIGNER HARMLESS FROM ANY AND ALL LIABILITY. REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE DESIGNER.
- DAMAGE RESPONSIBILITY CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES PROOF PARTITIONS AS NEEDED FOR THE CLIENT'S PROTECTION AGAINST ACCIDENT. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, INTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, BUILDINGS, OR OTHER AMENITIES, DUE TO THE ACTIONS OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES, AND/OR CONTRACTOR'S SUBCONTRACTORS. CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING FROM THE CLIENT.
- THE CONTRACTOR SHALL APPLY FOR, OBTAIN, AND PAY FOR ALL REQUIRED PERMITS TO COMPLETE THE SCOPE OF WORK.
- TRADE COORDINATION CONSTRUCTION AND INSTALLATION OF ALL ITEMS WITHIN THESE DOCUMENTS SHALL REQUIRE CLOSE COORDINATION BETWEEN TRADES INVOLVED IN UNDERGROUND AND UTILITY INSTALLATION, AND TREE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE PROPER COORDINATION BETWEEN TRADES TO INSURE AND AVOID CONSTRUCTION DELAYS OR DAMAGE TO ANY IMPROVEMENTS OR UTILITIES.
- INSPECTIONS THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY REPRESENTATIVE AT LEAST 24 HOURS IN ADVANCE OF ANY REQUIRED CITY INSPECTION.
- THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF [PLACE] AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AUTHORIZATION FROM [PLACE].
- WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER PRIOR TO THE COMMENCEMENT OF WORK. IN NO EVENT ARE DIMENSIONS TO BE SCALED OFF THE DRAWINGS WITHOUT PRIOR APPROVAL OF THE LANDSCAPE DESIGNER.
- ALL QUANTITIES INDICATED ON THE PLANS ARE FOR BID PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES SHOWN BY CONDUCTING A QUANTITY TAKE-OFF.
- LANDSCAPE DESIGNER SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION(S) OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL OF HIS WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. ALL RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION OR CONSTRUCTION SHALL BE DISPOSED OF IN A LEGAL AND LAWFUL MANNER TO AN APPROVED DISPOSAL SITE.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER AT LEAST 48 HOURS IN ADVANCE OF ANY SITE OBSERVATIONS OR MEETINGS AT (310)
- SITE OBSERVATIONS AND MEETINGS SHALL INCLUDE:
- 1. PRE-CONSTRUCTION
- 2. LANDSCAPE GRADING AND SOIL AMENDING 3. LANDSCAPE CONSTRUCTION
- 4. SPOTTING OF SPECIMEN PLANTS
- 5. IRRIGATION PRESSURE AND COVERAGE TEST
- 6. PLANTING AND/OR HYDROSEEDING
- 7. PRE-MAINTENANCE
- 8. POST-MAINTENANCE
- NOTE: "LANDSCAPE" SHALL REFER TO ALL IMPROVEMENTS WITHIN THIS SET OF DOCUMENTS THAT HAVE BEEN DESIGNED BY THIS OFFICE.
- SITE OBSERVATIONS BY THE LANDSCAPE DESIGNER DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND GOVERNING CODES.
- THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT DIRECT THE CONTRACTOR'S OPERATIONS, AND IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PERSONNEL OTHER THAN OF [PLACE] ON THE SITE. THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.
- ALL CONSTRUCTION DOCUMENTS AND DETAILS SHALL BE COMPLETED IN FULL COMPLIANCE WITH APPLICABLE LOCAL CODES AND REQUIREMENTS.
- DETAILS ARE INTENDED TO SHOW FINAL EFFECT OF PARTS OF CONSTRUCTION. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT PARTICULAR JOBSITE DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED WITHIN THE SCOPE OF THE WORK AND CONSTRUCTION CONTRACT. ANY MODIFICATIONS REQUIRED IN DETAILS ARE TO BE FIRST REVIEWED AND CONFIRMED WITH THE LANDSCAPE DESIGNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REVIEW ALL ITEMS NOTED "VERIFY OR CONFIRM WITH LANDSCAPE DESIGNER", (OR NOTED TO THAT EFFECT), WHICH MIGHT AFFECT COSTS OR SCHEDULE, PRIOR TO FINALIZING CONSTRUCTION CONTRACT AND SUBCONTRACTS, AND SHALL CONFIRM ALL FINAL DECISIONS ON ALL ITEMS REGARDING SELECTION, MATERIALS, COLOR, FINISH OR OTHER SPECIFICATIONS NOT YET DECIDED UPON, WITH THE LANDSCAPE DESIGNER. CONTRACTOR SHALL INCLUDE THE COST OF THESE ITEMS WITHIN THE ORIGINAL CONTRACT PRICE.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CLIENT AND LANDSCAPE DESIGNER OF ANY EXTRA COSTS ARISING FORM THE EXECUTION OF THEIR CONTRACT OR SUBCONTRACTS AND SHALL RECEIVE THE CLIENT'S AND LANDSCAPE DESIGNER'S WRITTEN APPROVAL OF ANY ADDITIONAL COST PRIOR TO EXECUTION OF SAID WORK.

- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISING AND VERIFYING THAT ALL GENERAL AND SUBCONTRACT WORK IS ACCOMPLISHED ACCORDING TO THE MOST CURRENT CONSTRUCTION DOCUMENTS, INCLUDING REVISIONS.
- CONTRACTOR SHALL NOT USE ANY POTENTIALLY HAZARDOUS MATERIALS OR PRODUCTS THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL ADVISE CLIENT AND LANDSCAPE DESIGNER OF ANY POTENTIALLY HAZARDOUS MATERIALS OR PRODUCTS RECOMMENDED, SELECTED, OR SPECIFIED, PRIOR TO THE PURCHASE OR INSTALLATION OF SAID MATERIALS OR PRODUCTS.

SITEWORK NOTES

- PRIOR TO FORMING OR POURING CONCRETE, CONTRACTOR SHALL STAKE OUT ALL PERIMETER LINES AS SHOWN ON PLANS FOR LANDSCAPE DESIGNER'S REVIEW, CONFIRM EXISTING STRUCTURE AND PROPERTY LINE LOCATIONS AND ELEVATIONS, AND VERIFY PROPER SETBACKS AND CLEARANCES BY LOCAL CODES.
- THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND. IF REQUIRED, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM LOCAL/STATE BUILDING AND SAFETY DEPARTMENTS.
- CONTRACTOR SHALL NOTIFY CLIENT AND LANDSCAPE DESIGNER OF ANY UNSTABLE OR QUESTIONABLE SOIL OR GEOLOGICAL CONDITIONS **ENCOUNTERED DURING EXCAVATION**
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF ALL FINISHED GRADE SURFACES AND WALKWAYS AWAY FROM STRUCTURES AND VERIFY THAT ALL AREAS AFFECTED BY CONSTRUCTION ARE PROPERLY DRAINED, WITH NO PONDING.
- CONTRACTOR SHALL REMOVE ALL EXCESS SOIL, DEBRIS, AND MATERIALS NOT REQUIRED BY CONSTRUCTION. CONFIRM ANY ITEMS TO REMAIN WITH LANDSCAPE DESIGNER, PRIOR TO START OF CONSTRUCTION.

PLANTING NOTES

GENERAL

- ALL WORK SHALL BE IN ACCORDANCE WITH THESE PLANS, NOTES DETAILS, AND ALL APPROPRIATE LOCAL CODES.
- PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL VERIFY SITE CONDITIONS. IF ANY CONDITION CONFLICTS WITH PLANS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER PRIOR TO ANY PLANTING INSTALLATION.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED COMPLETE AND OPERABLE PRIOR TO ANY PLANTING INSTALLATION EXCEPT AS NOTED IN THESE SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY QUANTITIES BY PLAN CHECK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES SHOWN ON THE PLAN. SHRUB AND GROUND COVER QUANTITIES SPECIFIED MAY NOT
- REFLECT QUANTITIES DRAWN. • PLANT SUBSTITUTIONS WILL BE ALLOWED ONLY WITH WRITTEN APPROVAL
- FROM THE LANDSCAPE DESIGNER. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY COORDINATION OF
- ALL MATERIALS REQUIRED BY THESE PLANS, NOTES, AND DETAILS.

SCOPE OF WORK

 THE CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, TRANSPORTATION, EQUIPMENT, AND PROPERTY IN ORDER TO COMPLETE THE LANDSCAPING OF ALL PLANTING AREAS INDICATED, OR REASONABLY IMPLIED, ON THE DRAWINGS AND/OR NOTES.

INCLUDED AS A PART OF THE PLANTING INSTALLATION, BUT NOT LIMITED, ARE THE FOLLOWING ITEMS: CLEAR AND GRUB ALL PROPOSED LANDSCAPE AREAS; IMPORT SOIL, FINE GRADING OF ALL PLANTING AREAS; PREPARATION OF ALL PLANTING HOLES; FURNISHING AND INSTALLATION OF ALL REQUIRED PLANTING BACKFILL AND SOIL AMENDMENT MATERIALS, AND MULCH, AND MISCELLANEOUS MATERIALS; FURNISHING AND INSTALLING ALL PLANT MATERIALS; PROVIDING MAINTENANCE THROUGHOUT THE SPECIFIED PERIOD; CLEAN-UP AND WEEDING OF ALL LANDSCAPE AREAS; GUARANTEE OF ALL PLANT MATERIALS AND WORKMANSHIP FOR A PERIOD AS SPECIFIED BELOW.

MATERIALS

- ALL PLANT MATERIALS SHALL BE OF SELECT "A-1" QUALITY AND HAVE A GROWTH HABIT NORMAL TO THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM PESTS, PLANT DISEASES, SUN SCALDS, FRESH BARK ABRASIONS, EXCESSIVE ABRASIONS, OR OTHER OBJECTIONABLE DISFIGUREMENTS. ALL PLANTS SHALL HAVE NORMAL WELL-DEVELOPED BRANCH SYSTEMS, AND VIGOROUS AND FIBROUS ROOT SYSTEMS WHICH ARE NEITHER ROOT NOR POT-BOUND AND ARE FREE OF KINKED OR GIRDLING ROOTS. ALL PLANTS SHALL BE TRUE TO SPECIES AND VARIETY. ALL MATERIALS SHALL BE PROVIDED BY A CERTIFIED NURSERY AND SHALL BE FREE OF ANY PEST OR DISEASE. THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT ANY UNSUITABLE OR OBJECTIONABLE PLANT MATERIAL.
- TREES, SHRUBS, AND VINES ALL PLANT MATERIALS SHALL BE OF THE SPECIFIED TYPE AND SIZE, SELECTED FROM HIGH QUALITY, WELL-SHAPED NURSERY STOCK.
- FLATTED PLANTS ALL GROUND COVER PLANTS AND OTHER FLATTED PLANTS SHALL BE GROWN AND REMAIN IN THE FLATS UNTIL TRANSPLANTED AT THE SITE. THE SOIL AND SPACING OF THE PLANTS IN THE FLAT SHALL INSURE THE MINIMUM DISTURBANCE OF THE ROOT SYSTEM AT THE TIME OF TRANSPLANTING.

- THE CONTRACTOR SHALL KEEP ALL PLANT MATERIAL DELIVERED TO THE SITE IN A HEALTHY CONDITION FOR PLANTING. PLANTS SHALL NOT BE ALLOWED TO DRY OUT.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLING PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF ALL PLANTS, PLANTED OR OTHERWISE, UNTIL ACCEPTANCE.
- TOPSOIL TOP SOIL SHALL BE CLASS 'A' WITH THE SAME RELATIVE COMPOSITION AND STRUCTURE, A FRIABLE SANDY LOAM CHARACTER, AND BE FREE OF ROOTS, CLODS, AND STONES LARGER THAN 1 INCH IN GREATEST DIMENSION, POCKETS OF COURSE SAND, NOXIOUS WEEDS, STICKS, SLAG, BRUSH, AND OTHER LITTER. IT SHALL NOT BE INFESTED WITH NEMATODES OR OTHER UNDESIRABLE INSECTS AND PLANT DISEASE ORGANISMS. TOPSOIL PH RANGE SHALL BE 5.3 TO 6.0.
- AGRONOMIC SOILS TEST CONTRACTOR SHALL OBTAIN AND SUBMIT FOR APPROVAL, A WRITTEN AGRONOMIC SOILS TEXT REPORT FROM A STATE REGISTERED TESTING AGENCY FOR ALL IMPORTED AND SITE TOPSOIL TO BE USED ON THE SITE. TEST REPORT SHALL LIST RECOMMENDED SOIL AMENDMENTS AND PREPARATION TO INSURE ADEQUATE PLANT GROWTH. CONTRACTOR SHALL ADJUST HIS BID ACCORDING TO THE RECOMMENDATIONS LISTED IN THE SOILS TEST REPORT.
- FERTILIZERS ALL FERTILIZING MATERIALS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE STATE AGRICULTURAL CODE. ALL FERTILIZING MATERIALS SHALL BE PACKAGED, FIRST GRADE, COMMERCIAL QUALITY PRODUCTS IDENTIFIED AS TO SOURCE, TYPE OF MATERIAL, WEIGHT AND MANUFACTURER'S GUARANTEED ANALYSIS. FERTILIZING MATERIAL SHALL NOT CONTAIN TOXIC INGREDIENTS OR FILLERS IN QUANTITIES HARMFUL TO HUMAN LIFE, ANIMALS, OR PLANT LIFE.
- COMMERCIAL FERTILIZERS COMMERCIAL FERTILIZER SHALL BE A PALLETIZED OR GRANULAR PRODUCT HAVING A CHEMICAL ANALYSIS AS SPECIFIED ON THE PLANS OR IN THESE SPECIFICATIONS.
- ORGANIC SOIL AMENDMENT ORGANIC SOIL AMENDMENT SHALL BE A WELL COMPOSTED ORGANIC BASE, CLASS I OR CLASS II. WOOD BASED PRODUCTS ARE CONDITIONALLY ACCEPTABLE (STABLE HUMUS MUST BE PRESENT). WOOD BASED PRODUCTS ARE NOT ACCEPTABLE WHICH ARE BASED ON RED WOOD OR CEDAR. SLUDGE-BASED MATERIALS ARE NOT ACCEPTABLE.

INSTALLATION

- INSTALL ALL PLANT MATERIALS AS PER PLANS, NOTES, AND DETAILS. PLANTING AREAS SHALL BE FREE OF WEEDS AND OTHER EXTRANEOUS
- MATERIALS TO A DEPTH OF 12 INCHES BELOW FINISH GRADE BEFORE TOPSOIL WORK. • CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE, INCLUDING AND IMPORT SOIL ADJUSTMENTS TO EARTH BERMS AND SLOPE SHAPES.
- PROVIDE FINISH GRADE IN PLANTING AREAS AT A MINIMUM 2% MINIMUM GRADIENT. FINISH GRADES SHALL BE 2" BELOW ADJACENT WALKS, CURBS, DRIVEWAYS, ETC. IN GROUND COVER AREAS.
- FINISH GRADE THE FINISH GRADE SHALL BE SMOOTH, UNIFORM, AND FREE OF ABRUPT GRADE CHANGES AND DEPRESSIONS TO INSURE SURFACE DRAINAGE. ALL PLANTED AREAS SHALL BE RAKED AND SMOOTHED TO THE REQUIRED GRADES AND CONTOURS PRIOR TO INSTALLATION. FINISH SURFACES SHALL BE CLEAN AND SUITABLE FOR PLANTING.
- ALLOW THE LANDSCAPE DESIGNER TO ADJUST PLANT LOCATIONS PRIOR TO ANY PLANTING.
- ALL LANDSCAPED AREAS SHALL BE PLANTED WITH GROUND COVER AS SHOWN ON THE PLANS. GROUND COVER SHALL BE ROOTED TIP CUTTINGS FROM FLATS AND SHALL BE PLANTED IN STAGGERED ROWS CONTINUOUSLY UNDER ALL TREES AND SHRUBS IN THE AREAS DESIGNATED ON THE PLANS AND AT THE SPACING INDICATED IN THE PLANT LEGEND.
- AMEND ALL PLANT AREAS AS FOLLOWS:

THOROUGHLY:

- *SOIL SPECIFICATIONS PROVIDED FOR BID PURPOSES ONLY. CONTRACTOR SHALL ADJUST AMENDMENTS AND BID BASED UPON LAB SOIL TEST PROVIDED BY THE CONTRACTOR. TEST AND REPORT SHALL BE FROM A CERTIFIED SOILS LABORATORY AND SHALL PROVIDE A COMPLETE REGULAR ANALYSIS, ORGANIC MATTER CONTENT, AND TEXTURAL CHARACTERISTICS. A MINIMUM OF ONE SAMPLE AT EACH OF THE FOLLOWING DEPTHS: 0"-12", 12"-24", AND 24"-36". PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A COPY OF THE FINAL SOILS REPORT TO THE LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL
- 1. SOIL IMPROVEMENT FOR ALL PLANTER AREAS: ROTOTILL THE FOLLOWING AMENDMENTS 6-8" DEEP AND IRRIGATE
- 2 CU YDS WELL COMPOSTED CLASS I OR CLASS II ORGANIC MATTER PER
- 1,000 SQ FT • 100 LBS OF TURF-PLUS [AVAILABLE AT AGUINAGA FERTILIZER COMPANY,
- (909) 899-1203] 25 LBS AGRICULTURAL GYPSUM PER 1,000 SQ FT
- 2. BACKFILL MIX FOR TREES, SHRUBS, AND VINES SHALL BE AS FOLLOWS:
- 80% BY VOLUME NATIVE ON-SITE SOIL 20% BY VOLUME WELL COMPOSTED CLASS I OR CLASS II ORGANIC MATTER
- SOIL AMENDMENT APPLICATION RATES

7. PLANT TABLET

GENERAL SOIL PREPARATION: APPLY 70 LBS. PER 1,000 SQ. FT. PROBLEM OR COMPACTED SOILS: APPLY 90-100 LBS. PER 1,000 SQ. FT

- PLANT INSTALLATION PLANTING HOLES SHALL BE APPROXIMATELY SOUARE WITH THE VERTICAL SIDES TWICE THE DEPTH AND WIDTH OF THE PLANT CONTAINER OR BALL, AND SHALL BE LARGER IF NECESSARY TO PERMIT HANDLING AND PLANTING WITHOUT INJURY OR BREAKAGE OF THE ROOT BALL OR ROOT SYSTEM. ANY PLANT WITH A BROKEN OR CRACKED ROOT BALL BEFORE OR DURING PLANTING SHALL NOT BE PLANTED. • THE NATIVE SOIL AT THE BOTTOM OF THE PLANTING HOLES SHALL BE
- AFTER PLANTING, THE PLANT SHALL BE PLUMB WITH THE ROOT CROWN AT ITS NATURAL GROWING DEPTH WITH RESPECT TO FINISH GRADE. BACKFILL SHALL BE THOROUGHLY WATER-SETTLED AND ADDITIONAL PREPARED SOIL MIX ADDED TO FILL ANY REMAINING VOID BELOW FINISH GRADE. A CIRCULAR WATERING BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE SHALL BE LEFT AROUND THE PLANT. THE BOTTOM OF THE BASIN SHALL BE AT APPROXIMATELY FINISH GRADE OR SLIGHTLY LOWER. MULCH SHALL BE SPREAD AT LEAST 1 INCH THICK IN THE BASIN. THE AREA AROUND PLANTS SHALL BE REGRADED TO FINISH GRADE. THE EXCESS SOIL SHALL BE DISPOSED OF BY THE CONTRACTOR. ALL TREES
- MULCH ALL LANDSCAPED AREAS SHALL BE MULCHED WITH SPECIFIED MULCH. BARK SHALL BE OF A RELATIVE UNIFORM PARTICLE SIZE WITH A MEDIAN SIZE NO GREATER THAN 1 1/2" IN DIAMETER. CONTRACTOR SHALL PROVIDE A SAMPLE OF BARK MULCH TO THE LANDSCAPE DESIGNER FOR APPROVAL. MULCH SHALL BE INSTALLED TO A MIN. DEPTH OF 3".

MAINTENANCE AND WARRANTIES

SCARIFIED TO A DEPTH OF 6 INCHES.

SHALL BE STAKED AND GUYED PER DETAILS.

- THE MAINTENANCE PERIOD SHALL COMMENCE UPON THE OWNER'S AND THE LANDSCAPE DESIGNER'S WRITTEN APPROVAL OF ALL PHASES OF PLANTING INSTALLATION AND SHALL BE:
 - 1. WARRANTY PERIOD FOR TREES, SHRUBS AND PLANT MATERIAL OVER 15 GALLONS:
- ONE YEAR FROM DATE OF FINAL INSPECTION AND ACCEPTANCE.
- 2. WARRANTY PERIOD FOR 15 GALLON PLANTS: SIX MONTHS FROM DATE OF FINAL
- INSPECTION AND ACCEPTANCE
- 3. WARRANTY PERIOD FOR 5 GALLON PLANTS: SIX MONTHS FROM DATE OF FINAL INSPECTION AND ACCEPTANCE

FOR BID PURPOSES ONLY: MAINTENANCE WORK SHALL INCLUDE A MINIMUM TWO (2) FERTILIZER APPLICATIONS TO ALL PLANTING AREAS DURING THE MAINTENANCE PERIOD. AT THE FIRST SIGN OF A DEFICIENCY UP TO THIRTY (30) DAYS, THE CONTRACTOR SHALL TEST A MINIMUM OF ONE SOIL SAMPLE FROM GROUND COVER AREAS TO DETERMINE FERTILIZER NEEDS FOR APPLICATION.

- MAINTENANCE PROCEDURES THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, CLEAN-UP, AND AS FOLLOWS:
- 1. CULTIVATE AND WEED AT NOT LESS THAN TEN (10) WORKING DAY INTERVALS.
- 2. APPROXIMATELY THIRTY (30) DAYS AFTER INITIAL PLANTING, APPLY (2) 5 LBS 16-6-8 FERTILIZER PER 1,000 SQ FT. APPLY AND THOROUGHLY IRRIGATE. THE SECOND APPLICATION USING THE ABOVE SPECIFIED FERTILIZER AT THE SAME RATE SHALL BE APPLIED IN ANOTHER SIXTY (60) DAYS OR JUST BEFORE MAINTENANCE PERIOD ENDS.
- 3. CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN A LIKE NEW, OPERATING CONDITION, ADJUSTING HEAD HEIGHTS, THROW AND SPRAY ARCS AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER WATERING OF ALL PLANTING AREAS, AND SHALL REPLACE ANY PLANT MATERIALS DAMAGED DUE TO IMPROPER
- 4. ANY CONCENTRATED DEVELOPMENT OF WEED GROWTH THAT MAY APPEAR IN PLANTING AREAS DURING MAINTENANCE PERIOD SHALL BE REMOVED AT THIRTY (30) DAY INTERVALS. THE CONTRACTOR MAY ELECT TO REMOVE SUCH CONCENTRATIONS OF WEEDS MANUALLY OR BY AN APPROVED HERBICIDE PROGRAM. THE CONTRACTOR SHALL CONSULT THE LANDSCAPE DESIGNER PRIOR TO USING ANY HERBICIDE
- 5. DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.
- 6. DURING THE MAINTENANCE PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE PROTECTION FOR ALL PLANTING AREAS. ANY DAMAGE TO AREAS SHALL BE IMMEDIATELY REPAIRED AT THE CONTRACTOR'S EXPENSE.

TREE PRESERVATION GUIDELINES DURING CONSTRUCTION

BEFORE CONSTRUCTION WORK BEGINS, WHICH WILL IMPACT A TREE, AN ARBORIST SHALL ASSESS THE IMPACT OF CONSTRUCTION BASED ON THE CONDITION OF THE TREE. MITIGATING MEASURES NECESSARY TO PROTECT THE TREE WILL BE STATED AND REVIEWED BY THE TEAM.

- THE FOLLOWING GUIDELINES HAVE BEEN DEVELOPED TO PROTECT TREES **DURING CONSTRUCTION PROJECTS:**
- A ROOT PROTECTION ZONE SHALL BE DEFINED BY A FOUR-FOOT HIGH TWO-BY-FOUR BARRIER CONSTRUCTED AROUND ANY POTENTIALLY IMPACTED TREE. THIS BARRIER SHALL BE AT THE DRIP LINE OR AT A DISTANCE FROM THE TRUNK EQUAL TO 6 INCHES FOR EACH INCH OF TRUNK DIAMETER 4 ½ FEET ABOVE THE GROUND IF THIS METHOD DEFINES A LARGER AREA.
- B. SHOULD IT BE NECESSARY TO TRENCH WITHIN THIS AREA, TRENCHES SHALL BE HAND DUG. NO ROOTS LARGER THAN TWO INCHES SHALL BE CUT UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. ALL ROOTS GREATER THAN TWO (2) INCHES IN DIAMETER MUST BE CLEANLY CUT TO ENCOURAGE GOOD CALLUS TISSUE. IT IS RECOMMENDED THAT ROOTS BE PRUNED BACK TO THE NEXT ROOT NODE.
- ALL SMALLER ROOTS THAT MUST BE CUT SHALL BE SAW CUT (NO TRENCHERS) FLUSH WITH THE SIDE OF THE TRENCH. IF AT ANY TIME 25 PERCENT OF THE AREA WITHIN THE ROOT PROTECTION ZONE IS BEING SEPARATED FROM THE TREE BY A TRENCH, THE LINE SHALL BE LOCATED BY BORING OR AN ALTERNATE LOCATION FOR THE TRENCH ESTABLISHED.
- D. THE MINIMUM CLEARANCE BETWEEN AN OPEN TRENCH AND A STREET TREE SHALL BE ONE (1) FOOT, OR SIX (6) INCHES FOR EACH INCH OF TRUNK DIAMETER MEASURED AT 4.5 FEET ABOVE EXISTING GRADE IF THIS METHOD DEFINES A LARGER DISTANCE. THE MAXIMUM CLEARANCE SHALL BE TEN (10) FEET. THE CONTRACTOR SHALL CONFORM TO THESE PROVISIONS UNLESS OTHERWISE DIRECTED BY AN ARBORIST
- E. AT NO TIME SHALL ANY EQUIPMENT, MATERIALS, SUPPLIES OR FILL BE ALLOWED WITHIN THE PRESCRIBED ROOT PROTECTION ZONE UNLESS OTHERWISE DIRECTED BY THE CITY. THE ROOT PROTECTION ZONE IS DEFINED AS THE LARGER OF THE DRIP LINE OF THE TREE OR THE DISTANCE FROM THE TRUNK EQUAL TO SIX (6) INCHES FOR EACH INCH OF TRUNK DIAMETER MEASURED AT 4.5 FEET ABOVE EXISTING GRADE.
- F. REPAIR OR REPLACE TREES AND VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY ARCHITECT.
 - 1. EMPLOY A QUALIFIED ARBORIST, LICENSED IN JURISDICTION WHERE PROJECT IS LOCATED, TO SUBMIT DETAILS OF PROPOSED REPAIRS AND TO REPAIR DAMAGE TO TREES AND SHRUBS.
 - 2. REPLACE TREES THAT CANNOT BE REPAIRED AND RESTORED TO FULL-GROWTH STATUS, AS DETERMINED BY THE QUALIFIED ARBORIST.

SELECTIVE NOTES

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL

USE OF CLASS I OR CLASS II COMPOST AS A SOIL AMENDEMENT IN ALL LANDSCAPE AREAS.

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

- CORDED RUBBER

WOOD STAKE

PLAN VIEW

2. TREE TIE(NO WIRE AROUND TREE)

BOLT, NUT & WASHER

LEGEND

1. WOOD STAKE.

3. NEW TREE

4. ROOT BALL

6. FIN. GRADE

7. PLANT TABLET

8. EXISTING SOIL

5. AMENDED BACKFILL

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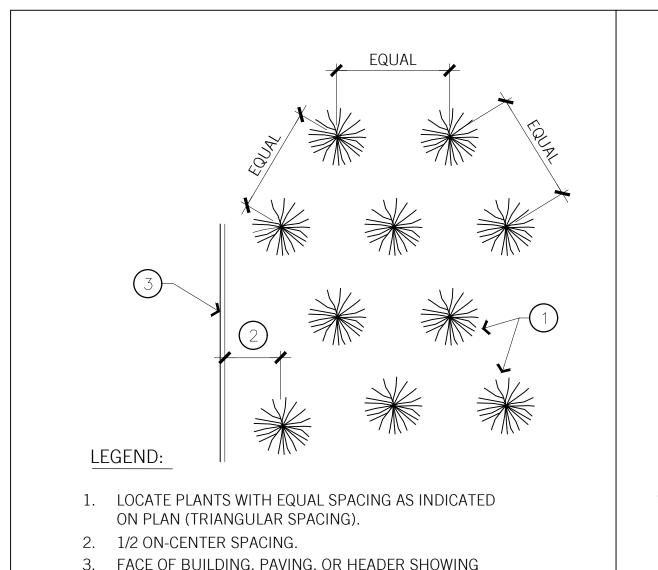
AA SUBMITTAL

2021-018 04.15.2022

GENERAL NOTES AND DETAILS

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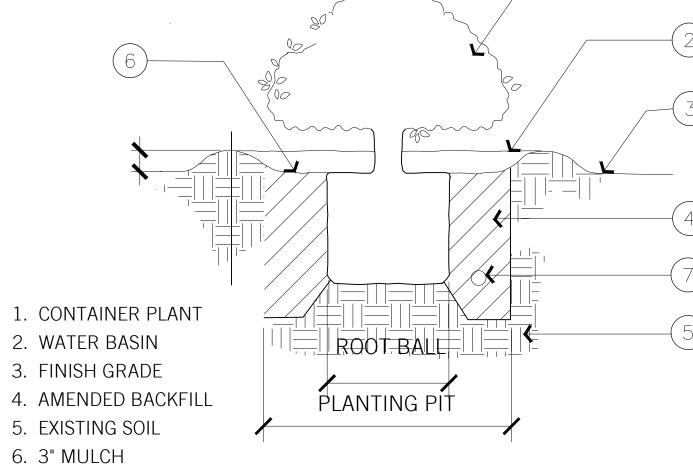
California Coastal Commission



G.C. / SHRUB PLANTING

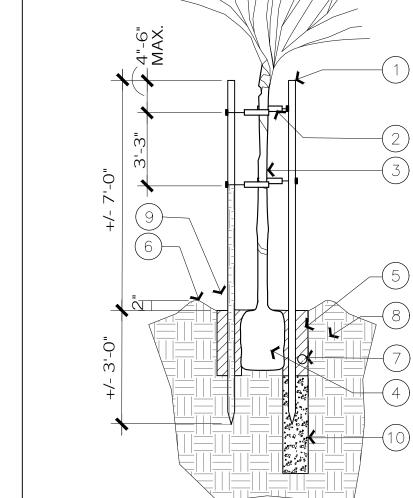
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AREA LIMIT.



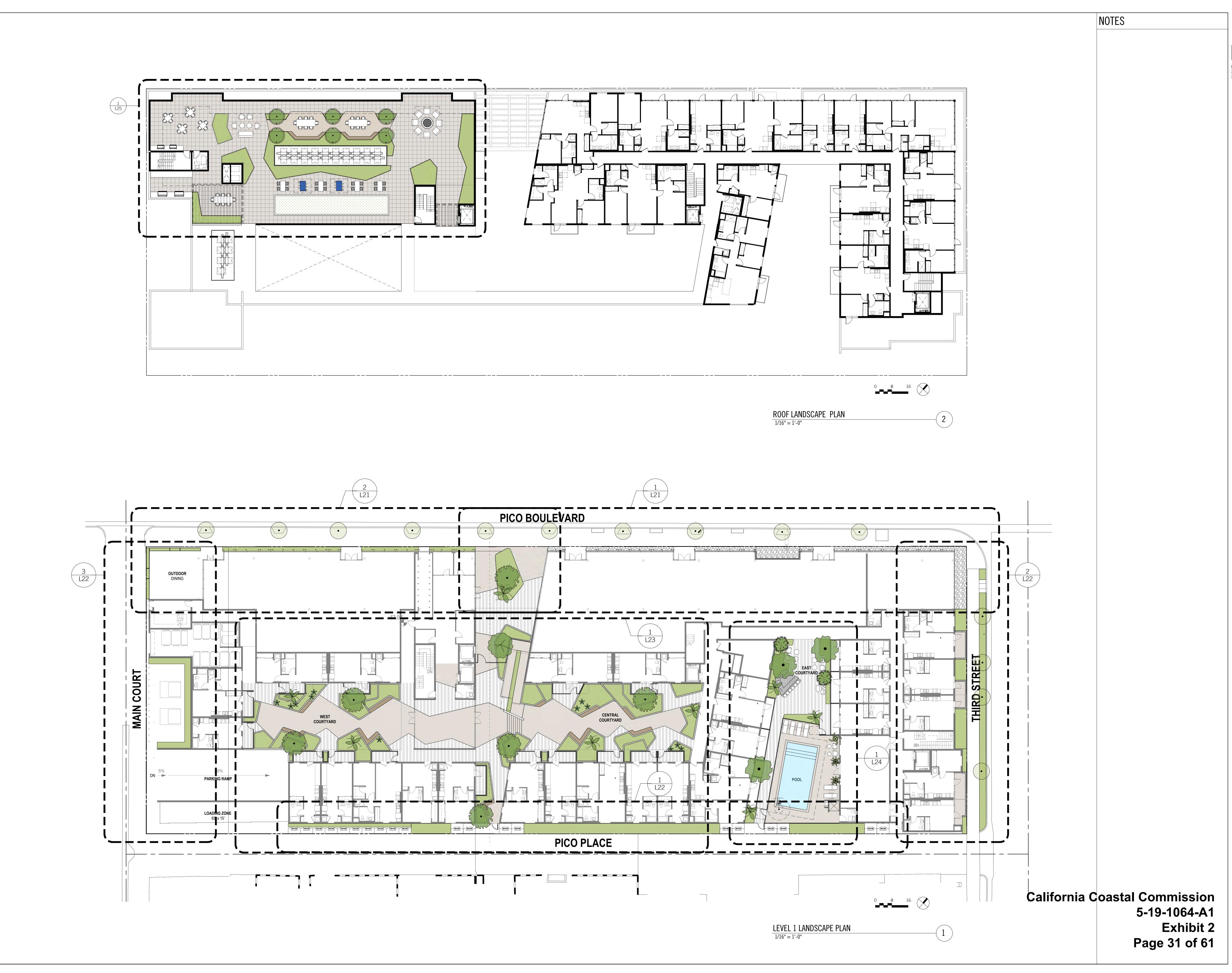
SHRUB PLANTING

SCALE: NTS



9. WATER BASIN 10. 6" DIA. X 48" DEEP AUGERED HOLE, BACK FILL W/ PEA GRAVEL

TREE PLANTING SCALE: NTS



[place]

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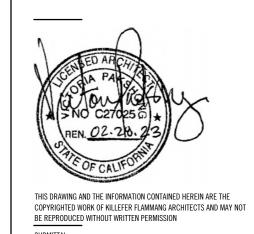
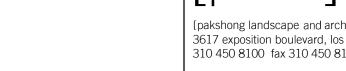


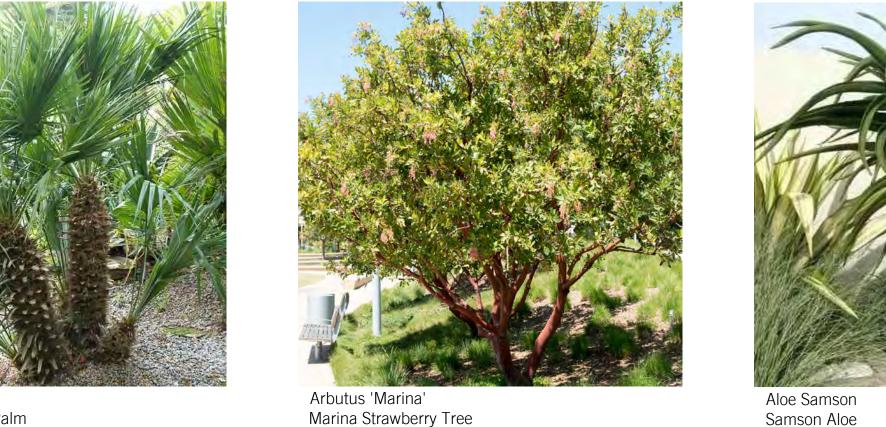


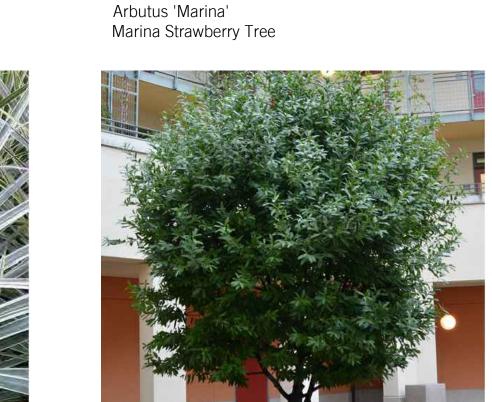
Exhibit 2

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Umbellularia californica

California Bay Tree





PLANT SCHEDULE

SYMBOL CODE BOTANICAL NAME

DRA DRA Chamaerops humilis

BEA CAR Beaucarnea recurvata

ACA STE Acacia stenophylla

ACH KEL Achillea x kellereri

Cordyline Australis 'Torbay

Adenanthos cuneatus 'Coral

Correa glabra 'Coliban River'

Grevillea X 'Superb'

Dodonaea viscosa

Carpenteria californica

Olea europaea 'Montra'

Westringia fruticosa

Mahonia eurybracteata "Soft

Pelargonium tomentosum

Sansevieria masoniana

Lomandra longifolia 'Lime Tuff'

Kalanchoe beharensis

Kalanchoe bracteata

Aeonium 'Jolly Green'

Agave attenuata 'Nova'

PAC MAR Pachycereus marginatus

Tree/ Vine/ Shrub/ Groundcover

Desert Adapted

Herbacious Perennial

Crassula arborescens ssp.

'Low-Horizon'

Umbellularia californica

ARB MAR Arbutus 'Marina'

ALO SAM Aloe 'Samson'

BUT CAP Butia capitata

UMB CAL

ADE CUN

COR GLA

GRE SUP

DOD VIS

CAR CAL

WES LOW

CRA UND

SUCCULENTS

COMMON NAME

Mediterranean Fan Palm

Marina Strawberry Tree

Torbay Dazzler Grass Palm

Coliban River Rock Fuchsia

California Bay Tree

Shoestring Acacia

Keller's Yarrow

Flame Bush

Superb Grevillea

Bush Anemone

Coast Rosemary

Mahonia Soft Caress

Island Alum Root

Mason's Congo

Felt Plant

Silver Teaspoons

Jolly Green Aeonium

Blue Fox Tail Agave

Mexican Fence Post

BOU SAN Bougainvillea 'San Diego Red' San Diego Red Bougainvillea 5 GAL

Ripple Jade

Peppermint Scented

Platinum Beauty Mat Rush

Lime Tuff Dwarf Mat Rush

Groundcover Coast Rosemary

Little Olive

Green Hopseed Bush

Samson Aloe

Bottle Palm

Jelly Palm









SIZE QTY PLANT SIZE SPACING PLANT TYPE EXPOSURE NOTES

0.3

0.3

0.3

0.3

0.3

0.3

0.3

0.3

0.3

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0.3

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0.3

0.3

0.3

0.3

DA

DA

DA

Full Sun

Full Sun

Full Sun

Full Sun

Shade

Sun Or

Shade

Shade

Full Sun

Full Sun

Full Sun /

Part Shade

Shade

Full Sun

Shade

Cool Sun /

Light Shade

Part Sun

Sun or Shade

Sun or Shade

Sun Or Shade

Sun or Shade

Sun or

Light Shade Sun or

Shade

Full Sun

Lomandra longifolia 'Lime Tuff'

Lime Tuff Dwarf Mat Rush

Full Sun Vine

Shade Sun or

Light Shade/ needs

8-12'H x 10-15'W

12'H x 10'W

16' H X 5'W

15' H x 6'W

15-20'H x 10-15'W

15' x 4'W

15-40'W

20-30'H x 10-20'W

1-3'H x 1'-2'W

2-4'H x 3-5'W

2'-3'W

3'-5'W

10'-12' W

3-5'W

4-5'W

2'-3'W

3-4'W

3-5'H x 1'-2'W

2'-3'W

2'-3'H x 2'-3'W

6'-12'W

2'-3'W

3-4'W

15'-30'H x 15'-30'W

24" Box

24" Box

15 GAL

24" Box

24" Box

15 Gal

24" Box

60" Box

5 GAL

5 GAL

5 GAL

15 GAL

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15 GAL

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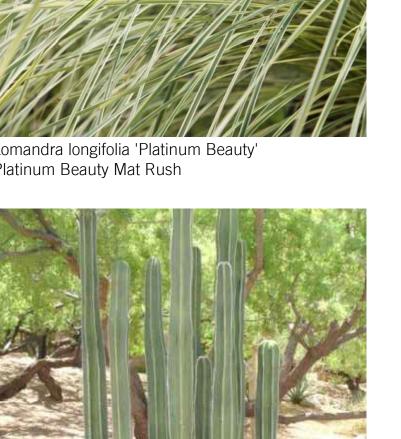
5 GAL

5 GAL

1 GAL

1 GAL

5 GAL 139











Pachycereus marginatus Mexican Fence Post

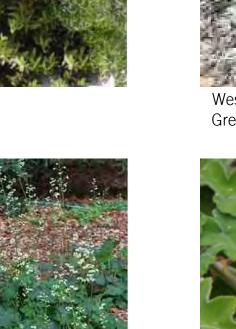
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			Market State
Agave at	tenuata 'Nova	a'	
Blue Fox	tail Agave		























Bougainvillea 'San Diego Red' San Diego Red Bougainvillea

Felt Plant

Westringia fruticosa 'Low-Horizon'

Ground Coast Rosemary

Butia capitata

Achillea Kellereri

Dodonaea viscosa green

Green Hopseed Bush

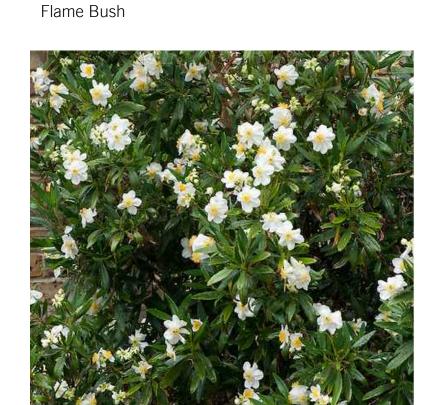
Keller's Yarrow

Chamaerops humilis Mediterranean Fan Palm

Torbay Dazzler Grass Palm



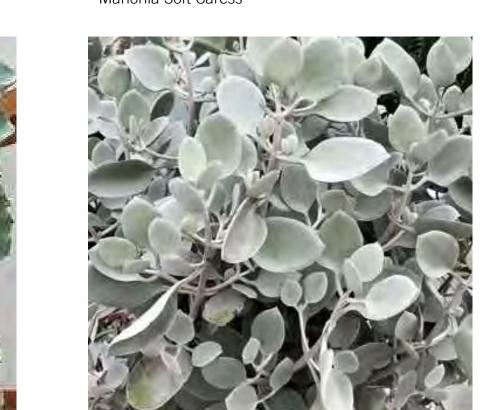
Adenanthos cuneatus 'Coral Drift'



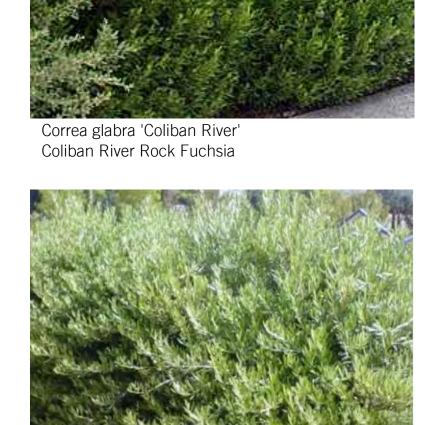
Carpenteria californica Bush Anemone



Mahonia eurybracteata 'Soft Caress' Mahonia Soft Caress

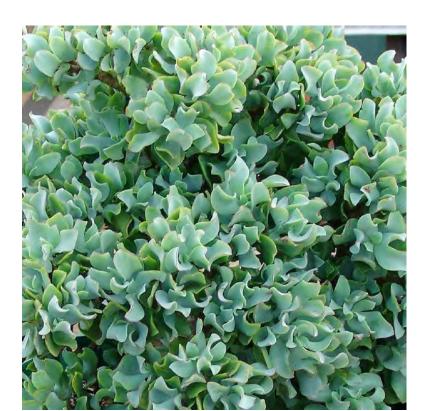


Kalanchoe bracteata Silver Teaspoons





Heuchera maxima Island Alum Root



Crassula arborescens undulatifolia Ripple Jade





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SUBMITTAL:

AA SUBMITTAL

JOB NUMBER:
2021-018
DATE:
04.15.2022
REVISIONS:

US 216 PICO OWNER, LLC 12121 WILSHIRE BLVD, SUITE 801

LOS ANGELES, CA 90025

[pakshong landscape and architectural collaborative] 3617 exposition boulevard, los angeles ca 90016 310 450 8100 fax 310 450 8144

PICO STREETSCAPE
& BUILDING ENTRY
LANDSCAPE

SHEET NUMBER: 12/2/21 3:55:55 PM

California Coastal Commission

5-19-1064-A1

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Exhibit 2

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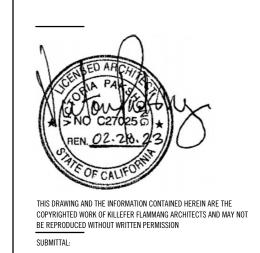
PICO PLANTING PLAN - EAST

1/8" = 1'-0"



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PERIMETER LANDSCAPE

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X	COR AUS	Dazzler'	Torbay Dazzler Grass Pa
E CONSTRUCTION OF THE PROPERTY	UMB CAL	Umbellularia californica	California Bay Tree
SHRUBS			
Thursday of the state of the st	ADE CUN	Adenanthos cuneatus 'Coral Drift'	Flame Bush
	COR GLA	Correa glabra 'Coliban River'	Coliban River Rock Fuc
\bigcirc	GRE SUP	Grevillea X 'Superb'	Superb Grevillea
	CAR CAL	Carpenteria californica	Bush Anemone
	WES GRB	Westringia fruticosa 'Grey Box'	Coast Rosemary
	WES LOW	Westringia fruticosa 'Low-Horizon'	Groundcover Coast Ros
V	MAH EUR	Mahonia eurybracteata "Soft Caress'	Mahonia Soft Caress
lacksquare	HEU MAX	Heuchera maxima	Island Alum Root
	PEL TOM	Pelargonium tomentosum	Peppermint Scented Geranium
GRASSES			
•	LOM PLA	Lomandra longifolia 'Platinum Beauty'	Platinum Beauty Mat Ri
	LOM LIM	Lomandra longifolia 'Lime Tuff'	Lime Tuff Dwarf Mat Ru
SUCCULEN	ITS		
	KAL BEH	Kalanchoe beharensis	Felt Plant
	KAL BRA	Kalanchoe bracteata	Silver Teaspoons
	CRA UND	Crassula arborescens ssp. undulatifolia	Ripple Jade
	AGA BOU	Agave attenuata 'Nova'	Blue Fox Tail Agave
	PAC MAR	Pachycereus marginatus	Mexican Fence Post

WEST AND CENTRAL COURTYARD

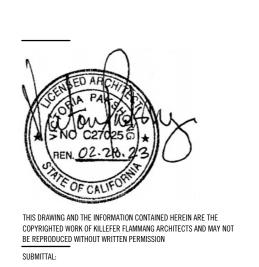
ST	AND CE	ENTRAL COURTY	'ARD	2	COLORED CONCRETE W/ SAWCUT
OL	CODE	BOTANICAL NAME	COMMON NAME		PATTERN
3				3	COLORED CONCRETE W/ SAND FINISH
	BUT CAP	Butia capitata	Jelly Palm		PLANTING IN RAISED PLANTERS
7	COR AUS	Cordyline Australis 'Torbay Dazzler'	Torbay Dazzler Grass Palm		IN-GRADE PLANTING
	UMB CAL	Umbellularia californica	California Bay Tree	9	IN-GRADE I LANTING
BS				6	PLANTING IN RECESSED PLANTER
The state of the s	ADE CUN	Adenanthos cuneatus 'Coral Drift'	Flame Bush	7	EX. STREET TREES TO REMAIN
	COR GLA	Correa glabra 'Coliban River'	Coliban River Rock Fuchsia	8	PARKWAY PLANTER
	GRE SUP	Grevillea X 'Superb'	Superb Grevillea	9	TRANSFORMER AREA - SEE
	CAR CAL	Carpenteria californica	Bush Anemone		ARCHITECTURAL
	WES GRB	Westringia fruticosa 'Grey Box'	Coast Rosemary	10	ACCESSIBLE RAMP TO UPPER LEVEL
	WES LOW	Westringia fruticosa 'Low-Horizon'	Groundcover Coast Rosemary	1	BIKE RACKS - SEE ARCHITECTURAL
	MAH EUR	Mahonia eurybracteata "Soft Caress'	Mahonia Soft Caress	12	RESIDENTIAL PATIO
\rangle	HEU MAX	Heuchera maxima	Island Alum Root	13	ENTRY GATE
	PEL TOM	Pelargonium tomentosum	Peppermint Scented Geranium	14	CABANA W/ TRELLIS
SES				15	POOL SHOWER
	LOM PLA	Lomandra longifolia 'Platinum Beauty'	Platinum Beauty Mat Rush	16	DRINKING FOUNTAIN
	LOM LIM	Lomandra longifolia 'Lime Tuff'	Lime Tuff Dwarf Mat Rush	17	POOL FENCE
ULEN	ITS				T OOL T LIVEL
P	KAL BEH	Kalanchoe beharensis	Felt Plant	18	ACCESSIBLE POOL LIFT
	KAL BRA	Kalanchoe bracteata	Silver Teaspoons	19	INTEGRATED BENCH
	CRA UND	Crassula arborescens ssp. undulatifolia	Ripple Jade	20	30" STEEL PLANTERS
}	AGA BOU	Agave attenuata 'Nova'	Blue Fox Tail Agave		

NOTES

NATURAL GRAY CONCRETE W/ BROOM

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WEST & CENTRAL COURTYARD LANDSCAPE

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VIEW A



VIEW B



VIEW C



POOL COURTYARD

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
TREES			
The state of the s	DRA DRA	Dracaena Draco	Dragon Tree
	ARB MAR	Arbutus 'Marina'	Marina Strawberry Tree
*	ALO SAM	Aloe 'Samson'	Samson Aloe
\$	BEA CAR	Beaucarnea recurvata	Bottle Palm
*	BUT CAP	Butia capitata	Jelly Palm
SHRUBS			
Thursday of the state of the st	ADE CUN	Adenanthos cuneatus 'Coral Drift'	Flame Bush
	COR GLA	Correa glabra 'Coliban River'	Coliban River Rock Fuchsia
\Diamond	GRE SUP	Grevillea X 'Superb'	Superb Grevillea
SUCCULEN	ITS		
	CRA UND	Crassula arborescens ssp. undulatifolia	Ripple Jade
\$	AEO JOL	Aeonium 'Jolly Green'	Jolly Green Aeonium
	AGA BOU	Agave attenuata 'Nova'	Blue Fox Tail Agave

SYMBOL CODE BOTANICAL NAME

TREES			
Sanfar Mary	DRA DRA	Dracaena Draco	Dragon Tree
	ARB MAR	Arbutus 'Marina'	Marina Strawberry Tree
X	ALO SAM	Aloe 'Samson'	Samson Aloe
\$	BEA CAR	Beaucarnea recurvata	Bottle Palm
*	BUT CAP	Butia capitata	Jelly Palm
SHRUBS			
Market Market	ADE CUN	Adenanthos cuneatus 'Coral Drift'	Flame Bush
	COR GLA	Correa glabra 'Coliban River'	Coliban River Rock Fuchsia
	GRE SUP	Grevillea X 'Superb'	Superb Grevillea
SUCCULEN	NTS		
	CRA UND	Crassula arborescens ssp. undulatifolia	Ripple Jade
	AEO JOL	Aeonium 'Jolly Green'	Jolly Green Aeonium
	AGA BOU	Agave attenuata 'Nova'	Blue Fox Tail Agave

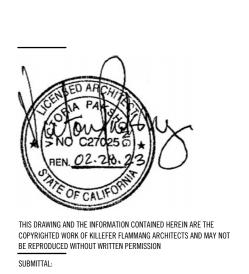
TREES			
The state of the s	DRA DRA	Dracaena Draco	Dragon Tree
	ARB MAR	Arbutus 'Marina'	Marina Strawberry Tree
X	ALO SAM	Aloe 'Samson'	Samson Aloe
\$	BEA CAR	Beaucarnea recurvata	Bottle Palm
*	BUT CAP	Butia capitata	Jelly Palm
SHRUBS			
Thursday of the state of the st	ADE CUN	Adenanthos cuneatus 'Coral Drift'	Flame Bush
	COR GLA	Correa glabra 'Coliban River'	Coliban River Rock Fuchsia
\Diamond	GRE SUP	Grevillea X 'Superb'	Superb Grevillea
SUCCULEN	ITS		
	CRA UND	Crassula arborescens ssp. undulatifolia	Ripple Jade
\$	AEO JOL	Aeonium 'Jolly Green'	Jolly Green Aeonium
<i>\\</i>	AGA BOU	Agave attenuata 'Nova'	Blue Fox Tail Agave

NOTES

- NATURAL GRAY CONCRETE W/ BROOM FINISH COLORED CONCRETE W/ SAWCUT PATTERN
- 3 COLORED CONCRETE W/ SAND FINISH 4 PLANTING IN RAISED PLANTERS
- 5 IN-GRADE PLANTING
- 6 PLANTING IN RECESSED PLANTER
- 7 EX. STREET TREES TO REMAIN
- 8 PARKWAY PLANTER
- TRANSFORMER AREA SEE ARCHITECTURAL
- 10 ACCESSIBLE RAMP TO UPPER LEVEL 11 BIKE RACKS - SEE ARCHITECTURAL
- 12 RESIDENTIAL PATIO
- 13 ENTRY GATE
- 14 CABANA W/ TRELLIS
- 15 POOL SHOWER
- 16 DRINKING FOUNTAIN
- 17 POOL FENCE 18 ACCESSIBLE POOL LIFT
- 19 INTEGRATED BENCH
- 20 30" STEEL PLANTERS

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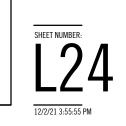
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POOL COURTYARD LANDSCAPE



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Exhibit 2



REFER TO SHEET L22 FOR ALLEY PLANTING — POOL COURTYARD PLANTING PLAN

1/8" = 1'-0"

- 1 CONCRETE PAVERS ON PEDESTALS
- 2 WOOD PAVING ON PEDESTALS
- 3 BOCCE COURT
- 4 GAMES5 BARBECUE
- 6 TRELLIS ABOVE
- 7 PLANTING IN RAISED PLANTERS
- 8 BUILT IN BENCH SEATING
- 9 FIRE PIT



Arbutus 'Marina' Marina Strawberry Tree







Grevillea juniperina 'Molonglo' Molonglo Grevillea



Grevillea 'Moonlight' Moonlight Grevillea

Dodonaea viscosa green Green Hopseed Bush



Salvia greggii 'Blue Note' Autumn Sage



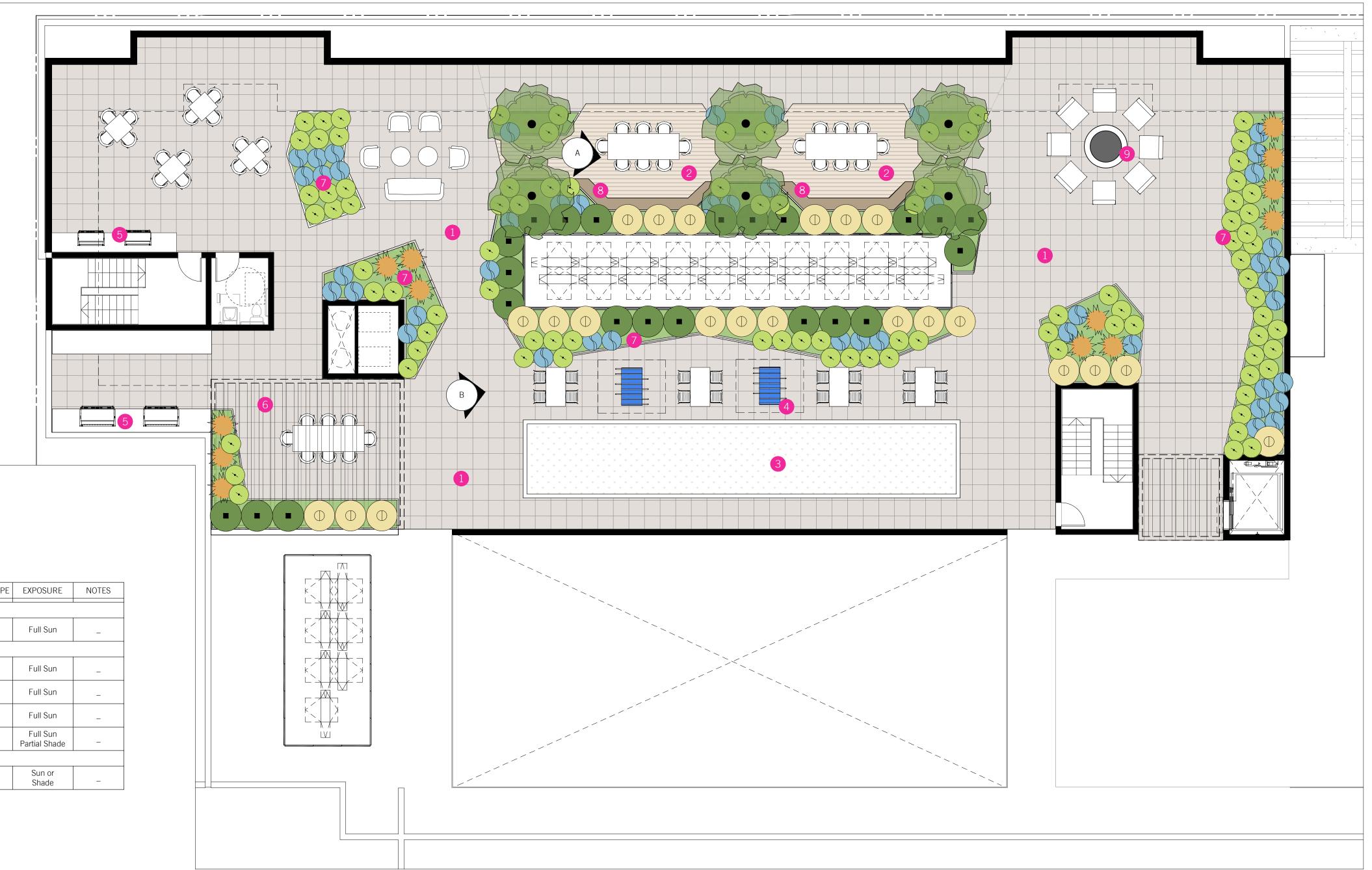
Lomandra longifolia 'Lime Tuff' Lime Tuff Dwarf Mat Rush

SPACING PLANT PLA - 0.3

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	PLANT SIZE	SPACING	PLANT FACTOR	PLANT TYPE	EXPOSURE	NOTES
TREES						1					
	ARB MAR	Arbutus 'Marina'	Marina Strawberry Tree	24" Box	6	12'H x 10'W	-	0.3	DA	Full Sun	_
SHRUBS											
	DOD VIS	Dodonaea viscosa	Green Hopseed Bush	15 GAL	22	10'-12' H x 10'-12' W	4' o.c.	0.3		Full Sun	_
W W	GRE MOL	Grevillea juniperina 'Molonglo'	Molonglo Grevillea	5 GAL	13	2'-3'H x 6-10'W	4' o.c.	0.3	DA	Full Sun	_
(1)	GRE MOO	Grevillea 'Moonlight'	Moonlight Grevillea	15 GAL	23	8'-12' H x 6-8' W	4' o.c.	0.3		Full Sun	_
	SAL GRE	Salvia greggii 'Blue Note'	Autumn Sage	5 GAL	46	2'-3'H x 2'-3'W	2'-6" o.c.	0.3	DA	Full Sun Partial Shade	_
GRASSES											
•	LOM LIM	Lomandra longifolia 'Lime Tuff'	Lime Tuff Dwarf Mat Rush	5 GAL	89	2'-3'H x 2'-3'W	2' o.c.	0.3	DA	Sun or Shade	_

PLANT TYPES (From ANSI/ASABE S623):
DA Desert Adapted
T/V/S/G Tree/ Vine/ Shrub/ Groundcover
HP Herbacious Perennial



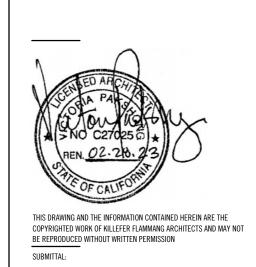
ROOF PLANTING PLAN

1/8" = 1'-0"

California Coastal Commission 5-19-1064-A1 Exhibit 2 Page 37 of 61

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SANLE MONICA, CA 90405

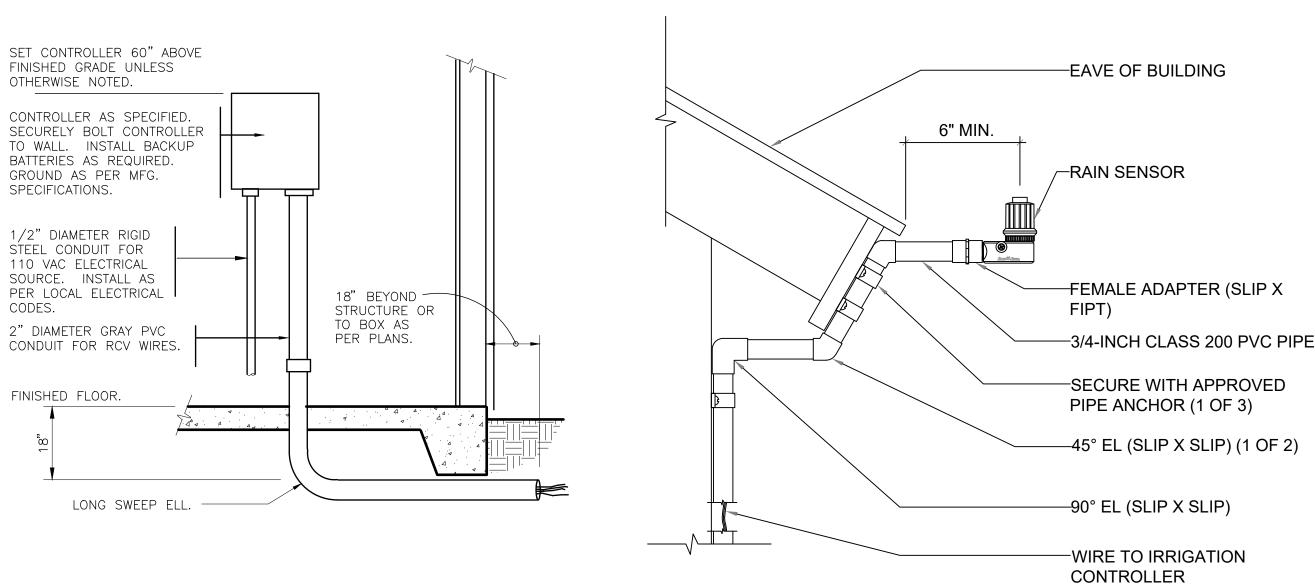


AA SUBMITTAL

JOB NUMBER: 2021-018
DATE: 04.15.2022
REVISIONS:

ROOF DECK LANDSCAPE



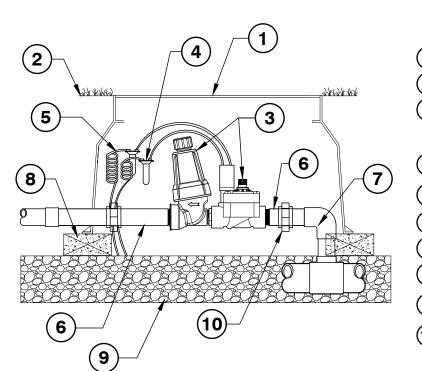


INTERIOR WALL-MOUNT CONTROLLER

CODES.

RAIN SENSOR ON BUILDING

328409.83-05



(1) STANDARD VALVE BOX (2) FINISH GRADE (3) FILTER AND VALVE AS SPECIFIED

(4) WATERPROOF CONNECTORS (2) (**5**) 450-600mm COILED WIRE (6) SCH 80 T.O.E. NIPPLE (7) MAIN LINE PIPE & FITTINGS (8) BRICK SUPPORTS (4) 9 25mm MINUS WASHED GRAVEL 10 PVC SLIP UNIONS

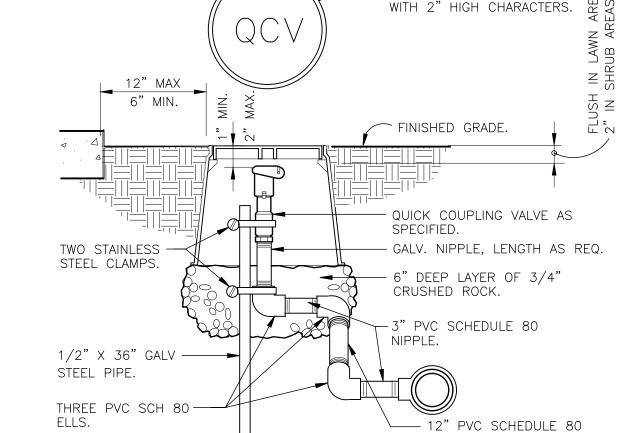
> TWO TIMES THE DIAMETER

OF THE PRESSURIZED MAINLINE PIPE (6) NON-PRESSURIZED LINE, SLEEVE UNDER

PAVING TO BE BE

TWO TIMES THE

DIAMETER OF THE LATERAL LINE



CONTROL VALVE WITH FILTER

NTS

CRITICAL ANALYS	IS-LEVEL 1 POC
Generated:	2022-01-27 15:45
P.O.C. NUMBER: 01 Water Source Information:	Domestic Water Meter. Size assumed
FLOW AVAILABLE Water Meter Size: Flow Available	4" 375 GPM
PRESSURE AVAILABLE Static Pressure at POC: Elevation Change: Service Line Size: Length of Service Line: Pressure Available:	60.00 PSI 5.00 ft 4" 20 ft 57.00 psi
DESIGN ANALYSIS Maximum Station Flow: Flow Available at POC: Residual Flow Available:	11.27 GPM 375 GPM 363.73 GPM
Critical Station: Design Pressure: Friction Loss: Fittings Loss: Elevation Loss: Loss through Valve: Pressure Req. at Critical Station: Loss for Fittings: Loss for Main Line: Loss for POC to Valve Elevation: Loss for Backflow: Loss for Master Valve: Loss for Water Meter:	4 25 PSI 1.02 PSI 0.1 PSI 0 PSI 3 PSI 29.12 PSI 1.01 PSI 10.13 PSI 0 PSI 12.15 PSI 0.94 PSI 1 PSI
LUGG TOT VVALGE IVICION.	1101

2.65 PSI

Critical Station Pressure at POC: 54.35 PSI

Pressure Available:

Residual Pressure Available:

328409.19-01

CRITICAL ANALYSIS-ROOF POC 2022-01-27 15:44 Generated: P.O.C. NUMBER: 02 Water Source Information: Roof point of connection. Min. 40 PSI assumed. FLOW AVAILABLE Point of Connection Size: 18.2 GPM Flow Available PRESSURE AVAILABLE Static Pressure at POC: 40.00 psi Pressure Available: DESIGN ANALYSIS 8.33 GPM Maximum Station Flow: Flow Available at POC 18.2 GPM 9.87 GPM Residual Flow Available: Critical Station: Design Pressure: 30 PSI Friction Loss: Fittings Loss: 0 PSI Elevation Loss: 0 PSI 2 PSI Loss through Valve: Pressure Req. at Critical Station: Loss for Fittings: Loss for Main Line: Loss for POC to Valve Elevation:

Loss for Backflow:

Pressure Available:

Residual Pressure Available:

Critical Station Pressure at POC: 32.01 PSI

IRRIGATION SCHEDULE

•	Hunter ICZ-101-40-LF Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	Hunter PCZ-101-40 Drip Control Valve Kit. 1" PGV globe valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow range: 0.5 GPM to 15 GPM. 150 mesh stainless steel screen.
③	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.
Ф	Hunter PLD-BV Hunter PLD-BV- 1/2" manual flush valve, barbed insert. Install in 10" box, with adequate blank or "cobra" tubing to extend valve out of valve box.
	Hunter ECO-ID ECO-ID: 1/2" FPT connection with 12-60 PSI operating pressure. Specify with Hunter SJ swing joint.
(Drip Line Ring at Trees Approx. 10 I.f. of Hunter HDL-06-12-CV drip line. 0.6GPH emitters at 12" spacing. Place just outside perimeter of root ball.
+ + + + + + + + + + + + + + + + + + + +	Area to Receive Drip Emitters Hunter HEB 1/2" Female Threaded Point Source Drip Emitter. Color coded emitters for flow rates of 0.5-6.0 GPH. Recommended Pressure

emitters for flow rates of 0.5-6.0 GPH. Recommended Pressure from - PSI. Optional diffuser cap (HE) available for higher flows

and clog protection. On IH-xx Riser, length as needed.

MANUFACTURER/MODEL/DESCRIPTION

10HEB emitters (2 assigned to each 5 gal. plant)
Area to Receive Dripline Hunter HDL-06-12-CV HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.

Emitter Notes:

	pattern. Install with righter 1 ED barbed of 1 ED-200 littings.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICV-G w/HY-100 filter 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet. With Hunter HY-100 wye filter, 150 mesh screen.
	Hunter HQ-3RC Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet, 1-piece body.
×	Matco-Norca 759 Brass Shut Off Ball Valve, 1/2" to 4". Two Piece Body, Blow-Out Proof Stem, Chrome Plated Solid Brass Ball, Threaded, with PTFE Seats. Same size as mainline pipe.

	PIFE Seats. Same size as mainline pipe.
\bigcirc	Buckner-Superior 3100 1" Normally Open Brass Master Valve that Provides Dirty Water Protection. Available in 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2" and 3".

_	Reduced Pressure Backflow Preventer
C	Hunter IC-1800-PL Modular Controller, 18 stations, Outdoor Model, Plastic Cabinet. Commercial Use. With two ICM-600 modules.

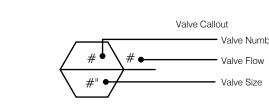
Hunter MINI-CLIK-C

Febco 825Y 1"

Irrigation Lateral Line: PVC Schedule 40

---- Irrigation Mainline: PVC C900 SDR 14 Class 305 Supply line from meter to building, by others. Irrigation Mainline: Type K Copper Pipe Interior main line pipe. Material assumed. Size as shown. By

—— — — Irrigation Mainline: PVC Schedule 40 Main line at roof Pipe Sleeve: PVC Schedule 40



VALVE	SCHEDULE						
NUMBER	MODEL	SIZE	TYPE	GPM	<u>PSI</u>	PSI @ POC	PRECIP
1	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	1.13	27.03	39.96	0.96 in/h
2	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	7.99	29.19	45.52	0.96 in/h
3	Hunter ICV-G w/HY-100 filter	1"	Drip Emitter	0.40	32.01	44.86	0.19 in/h
4	Hunter ICZ-101-40-LF	1"	Area for Drip Emitters	3.24	33.79	47.77	1.02 in/h
5	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	11.27	30.2	55.43	0.96 in/h
6	Hunter ICV-G w/HY-100 filter	1"	Drip Emitter	0.80	32.02	44.94	0.19 in/h
7	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	5.91	28.55	45.49	0.96 in/h
8	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	7.58	29.41	49.94	0.96 in/h
9	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	3.03	27.37	41.87	0.96 in/h
10	Hunter ICV-G w/HY-100 filter	1"	Drip Emitter	0.80	32.01	44.99	0.19 in/h
11	Hunter PCZ-101-40	1"	Area for Dripline	2.43	30.1	44.33	0.96 in/h
12	Hunter PCZ-101-40	1"	Area for Dripline	4.06	30.24	46.74	0.95 in/h
R1	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	5.20	28.03	28.07	0.96 in/h
R2	Hunter ICV-G w/HY-100 filter	1"	Drip Emitter	0.60	32.02	32.02	0.19 in/h
R3	Hunter ICV-G w/HY-100 filter	1"	Area for Dripline	6.09	28.38	28.61	0.96 in/h
-							

NOTES

1. THIS PLAN IS DIAGRAMMATIC ONLY. VERIFY ALL DIMENSIONS AND ELEVATIONS IN FIELD. ADJUST EQUIPMENT LAYOUT TO SUIT FIELD CONDITIONS AND SITE CONSTRAINTS. 2. EQUIPMENT SHOWN IN PAVED AREAS OR OUTSIDE PROJECT LIMITS IS FOR GRAPHIC CLARITY ONLY.

INSTALL IN LANDSCAPED AREA. DO NOT WILLFULLY INSTALL EQUIPMENT UNDER PAVEMENT OR

- OUTSIDE PROJECT LIMITS. 3. ALL SLEEVES TO BE 2X THE SIZE OF THE INTERIOR PIPE. A LARGER SLEEVE MAY BE USED IN PLACE OF TWO OR MORE SMALLER SLEEVES, PROVIDED THE SLEEVE DIAMETER IS 2X THAT OF THE TOTAL
- INTERIOR PIPE DIAMETERS.
- 4. PLACE CONTROL WIRE IN SEPARATE SLEEVE. DESIGN ASSUMPTIONS 18 GPM AT 60 PSI STATIC PRESSURE AT THE METER. CRIEVINGIELD.

 INTERIOR PIPE AND PLUMBING: BY OTHERS.

 California Coastal Commission
- 7. COVER DEPTH: LATERALS, INCLUDING DRIP LINE HEADERS, 12"; DRIP TUBING, 4" INCLU MULCH LAYER. SLEEVES: 18" UNDER WALKWAYS AND 24" UNDER VEHICULAR AREAS. 8. DRIP HEADERS: FIELD-ASSMEBLED PVC, OR QF DRIP LINE HEADER OF THE APPROPRIATE SIZE AND CONFIGURATION MAY BE USED. SIZE PER PLANS. BLANK 1/2" TUBING MAY BE USED IN AREAS WITH FLOWS OF LESS THAN 5 GPM.
- 9. PIPES MAY SHARE TRENCHES. PROVIDE 6" VERTICAL, AND 4' LATERAL, CLEARANCE BETWEEN PIPES. 10. THIS SYSTEM QUALIFIES FOR HUNTER IRRIGATION'S ENHANCED 5 YEAR WARRANTY AND THE EPA'S WaterSense CERTIFICATION. CONTACT THE LOCAL HUNTER REPRESENTATIVE OR WWW.HUNTERINDUSRIES.COM FOR DETAILS.

11. ALL EQUIPMENT SUBSTITUTIONS MUST BE PRE-APPROVED.

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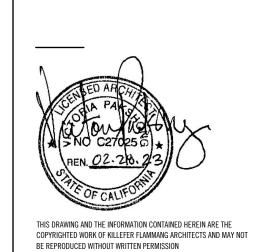
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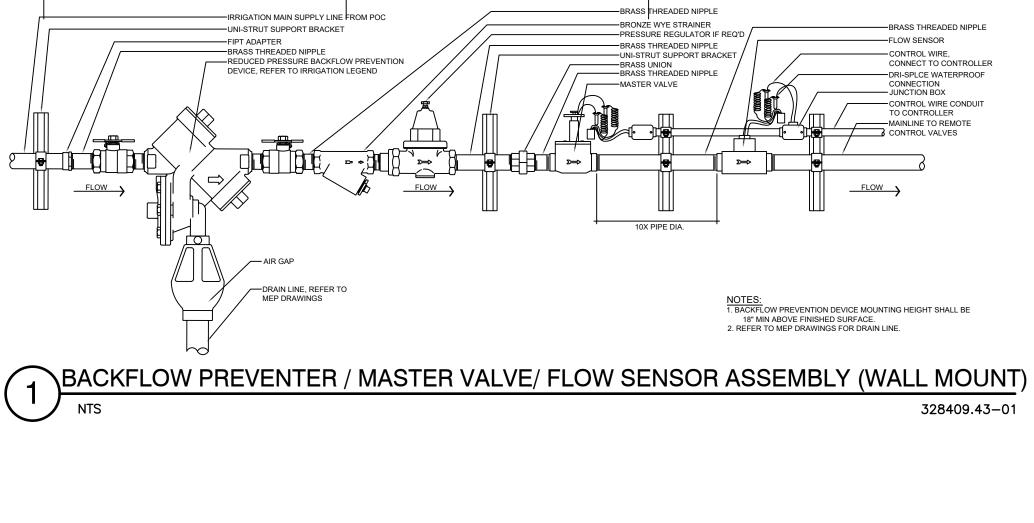
LOS ANGELES, CA 90025

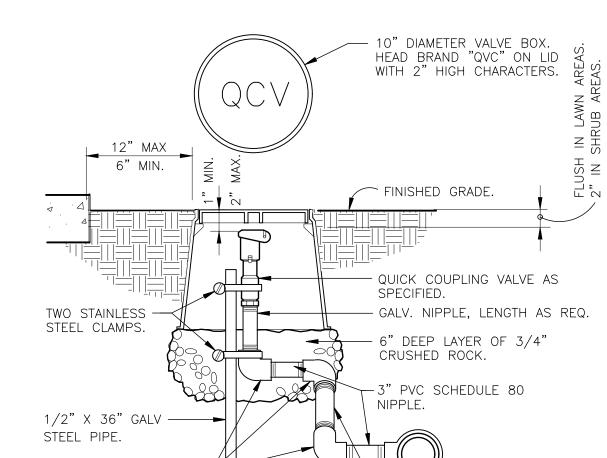


SUBMITTAL: AA SUBMITTAL

IRRIGATION SCHEDULES, NOTES &

L50





QUICK COUPLING VALVE IN BOX FX-IR-FX-QUIC-03

(1) PAVEMENT 2) BASE ROCK (3) CLEAN BACKFILL, 95% RELATIVE COMPACTION UNDER PAVING OR PER CIVIL ENGINEER'S 4 CONTROL WIRES, SLEEVE UNDER PAVING. INSTALL ADJACENT TO PRESSURIZED MAINLINE. BUNDLE THAN 50% OF PIPE MAMETHER SLEEVE UNDER PAVING TO BE

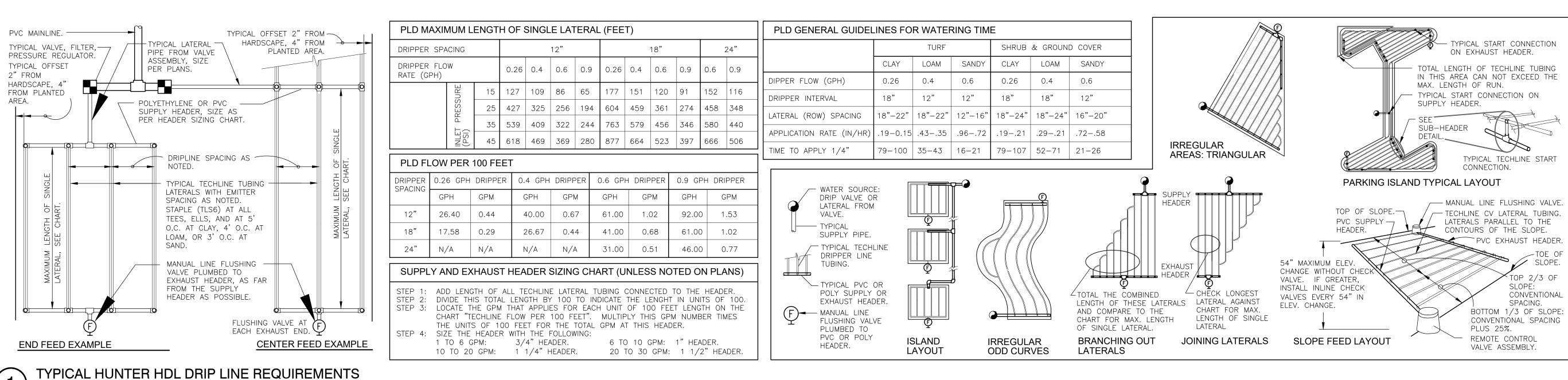
1. SEE IRRIGATION LEGEND FOR MAINLINE SIZE AND TYPE. 2. ALL SLEEVES SHALL BE SCH. 40 PVC PIPE.

3. ALL SLEEVES SHALL EXTEND 12" BEYOND THE EDGE OF PAVEMENT. 4. END OF SLEEVES SHALL BE LOCATED WITH A WOODEN STAKE OR PVC PIPE. LOCATORS SHALL RUN CONTINUOUSLY FROM THE

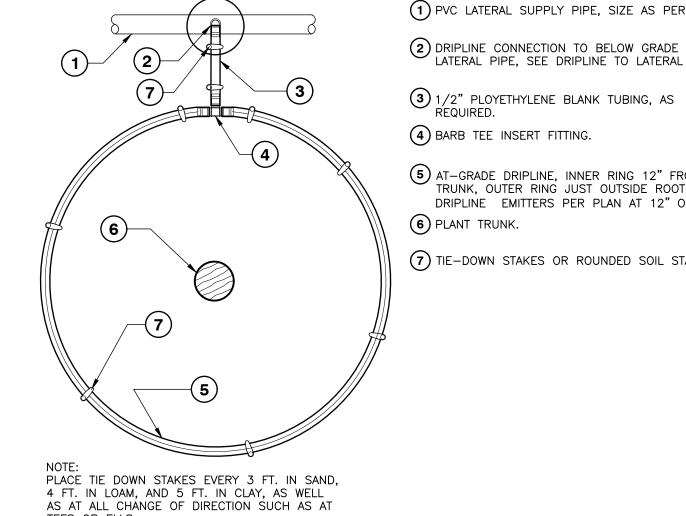
R PIPE BENEATH PAVEMENT

END OF THE SLEEVE TO FINISHED GRADE.

FX-IR-FX-AUXEQ-05



328413.56-01



1 PVC LATERAL SUPPLY PIPE, SIZE AS PER PLAN

LATERAL PIPE, SEE DRIPLINE TO LATERAL 3 1/2" PLOYETHYLENE BLANK TUBING, AS REQUIRED.

(4) BARB TEE INSERT FITTING. (5) AT-GRADE DRIPLINE, INNER RING 12" FROM TRUNK, OUTER RING JUST OUTSIDE ROOT BALL. DRIPLINE EMITTERS PER PLAN AT 12" O.C.

7) TIE-DOWN STAKES OR ROUNDED SOIL STAPLES. (4) BARB ELBOW

(5) FLEX TUBING

LEGEND:

(6) FINISHED GRADE IN TURF (7) ADJACENT MULCH

(1) ECO INDICATOR - ECOID

(2) LATERAL PIPE PER PLAN

(3) FPT CONNECTION FROM LATERAL

8 FINISHED GRADE IN PLANTER BED

(9) MARLEX STREET ELBOW

4" THICK LAYER OF WASHED GRAVEL. THE BOX SHALL REST UPON THE ROCK BED. DO NOT EXTEND GRAVEL INTO BOX.

10" DIAMETER VALVE BOX.

____ INSERT BALL VALVE

THE BOX.

/ DRIP TUBING

— COIL 24" TO 30" OF DRIP TUBING IN

 $----\frac{1}{2}$ " DRIP TUBING.

DRIP LINE RING AT TREE

3 HUNTER ECO-INDICATOR

DRIP FLUSH VALVE-SUBSURFACE

328413.49-01

NOTES

pakshong landscape and architectural collaborative]

310 450 8100 fax 310 450 8144

3617 exposition boulevard, los angeles ca 90016

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12121 WILSHIRE BLVD, SUITE 801

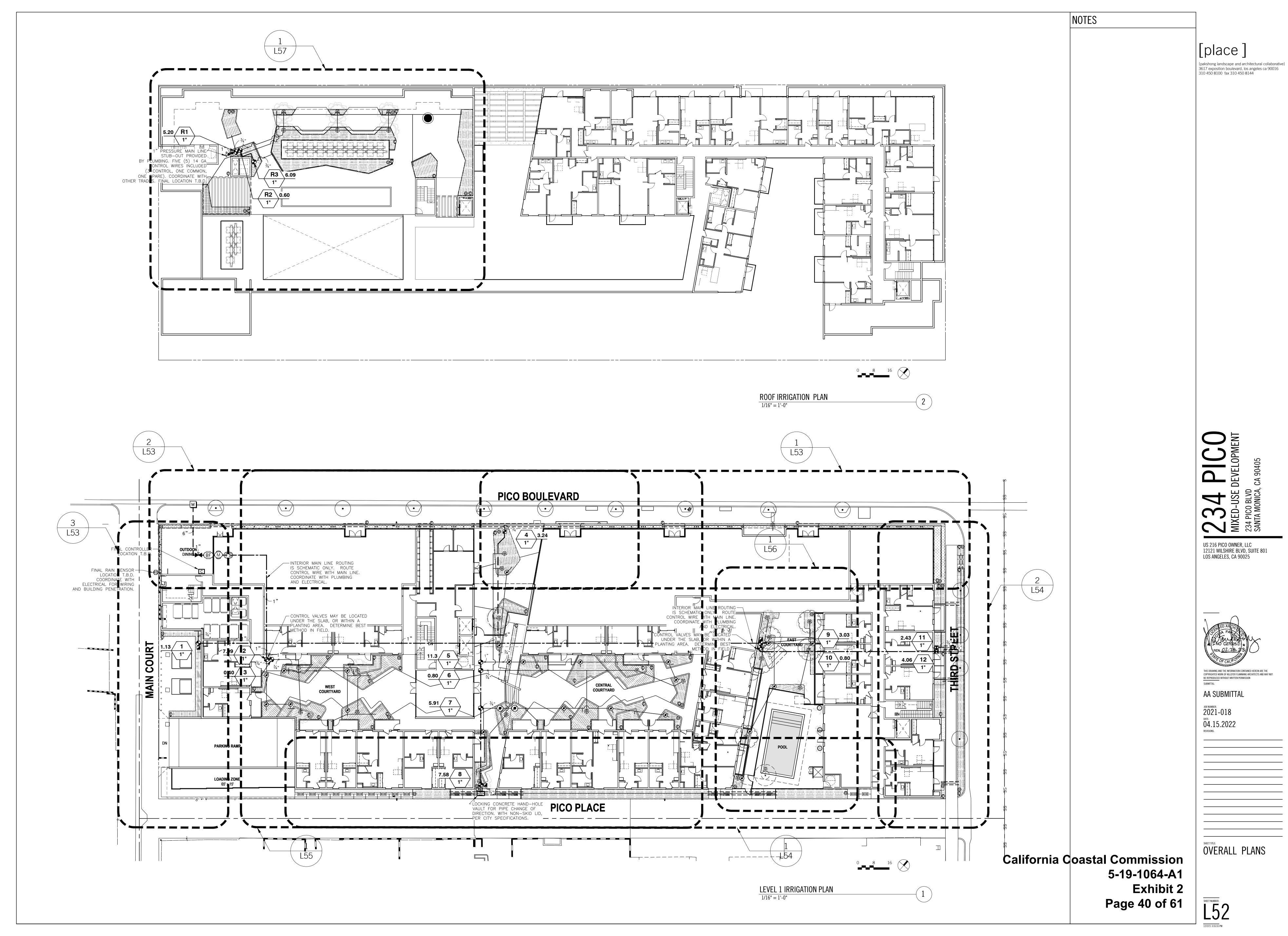
LOS ANGELES, CA 90025

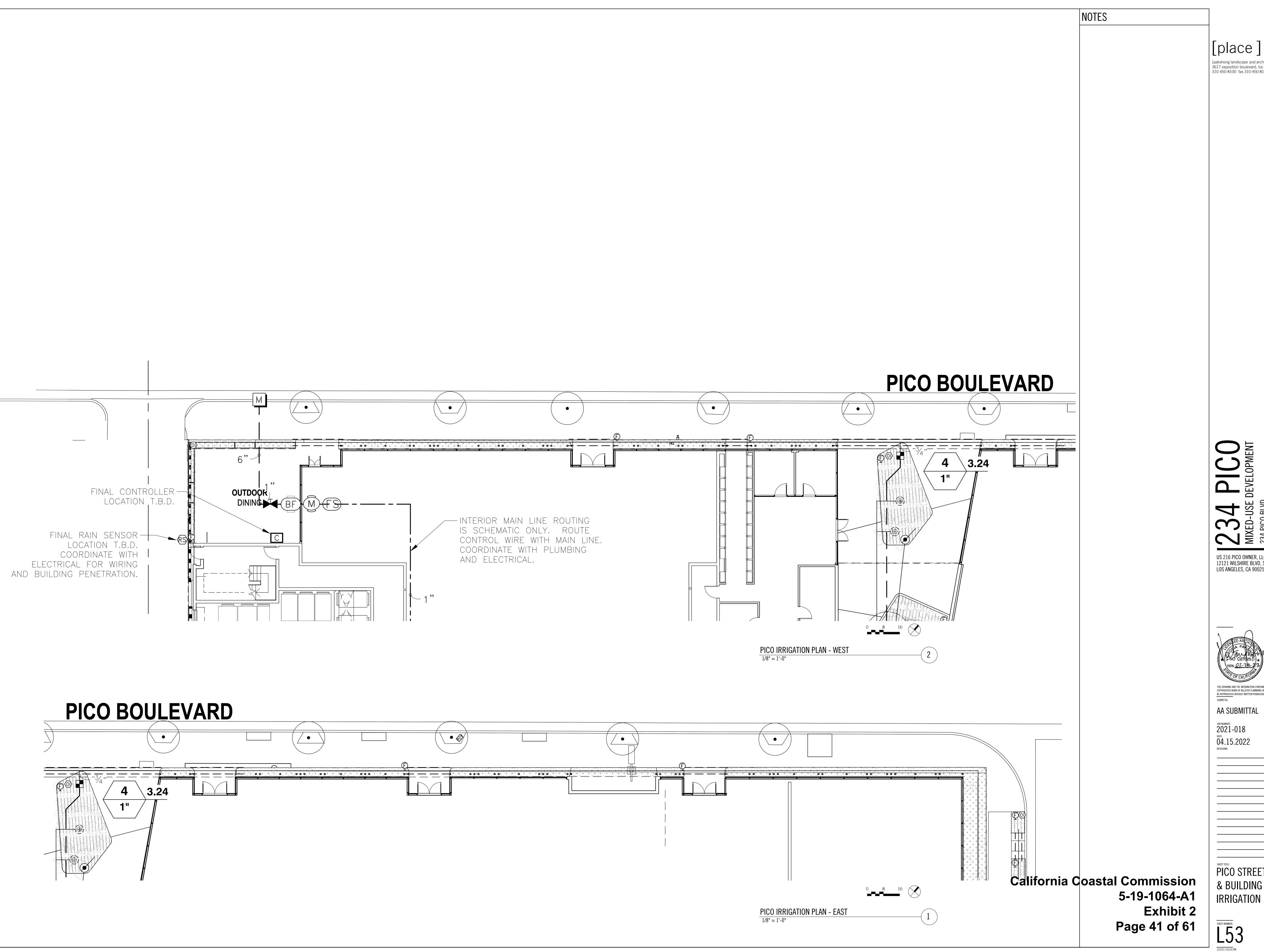
AA SUBMITTAL

04.15.2022

IRRIGATION DETAILS

California Coastal Commission 5-19-1064-A1 Exhibit 2 Page 39 of 61





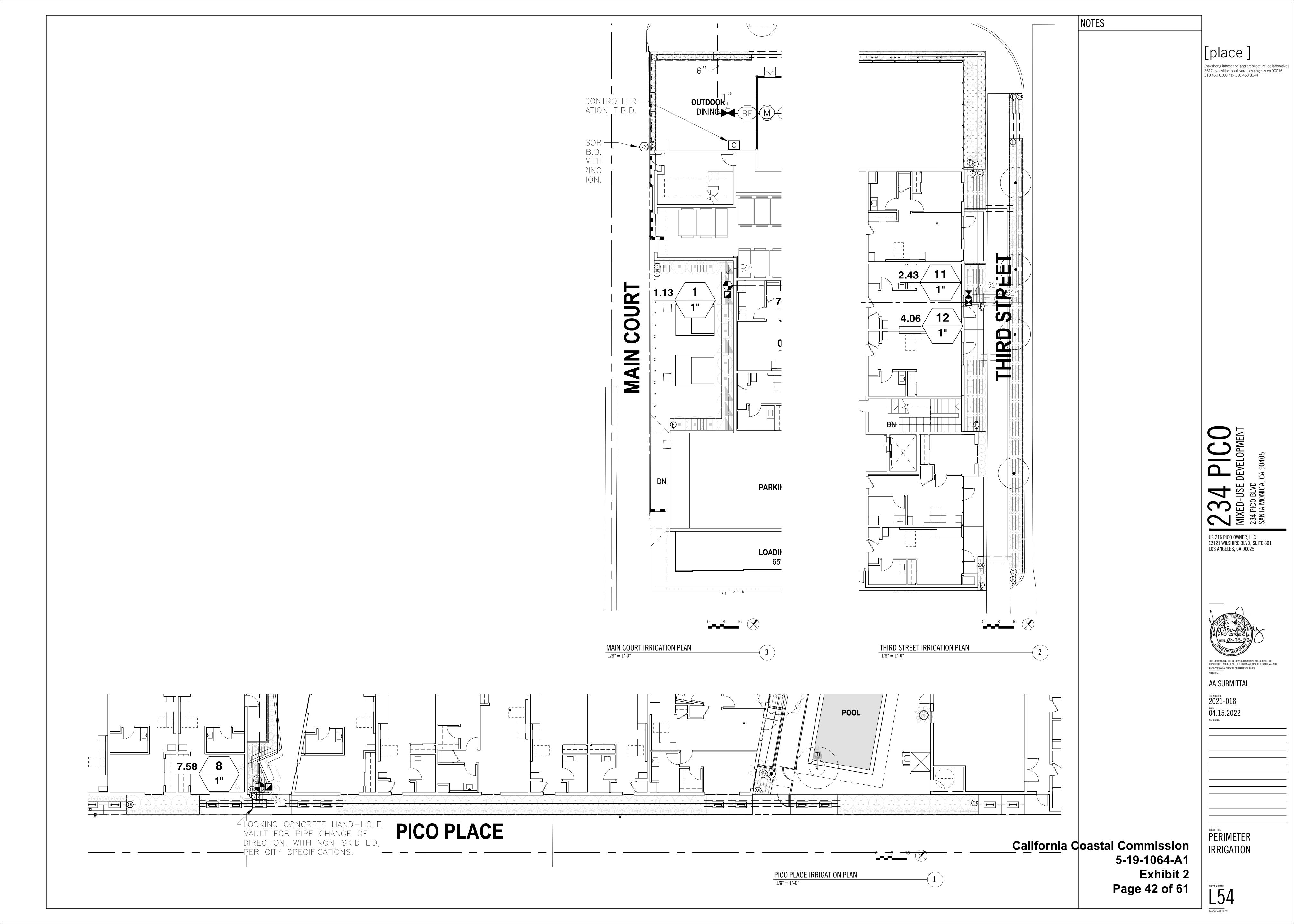
3617 exposition boulevard, los angeles ca 90016 310 450 8100 fax 310 450 8144

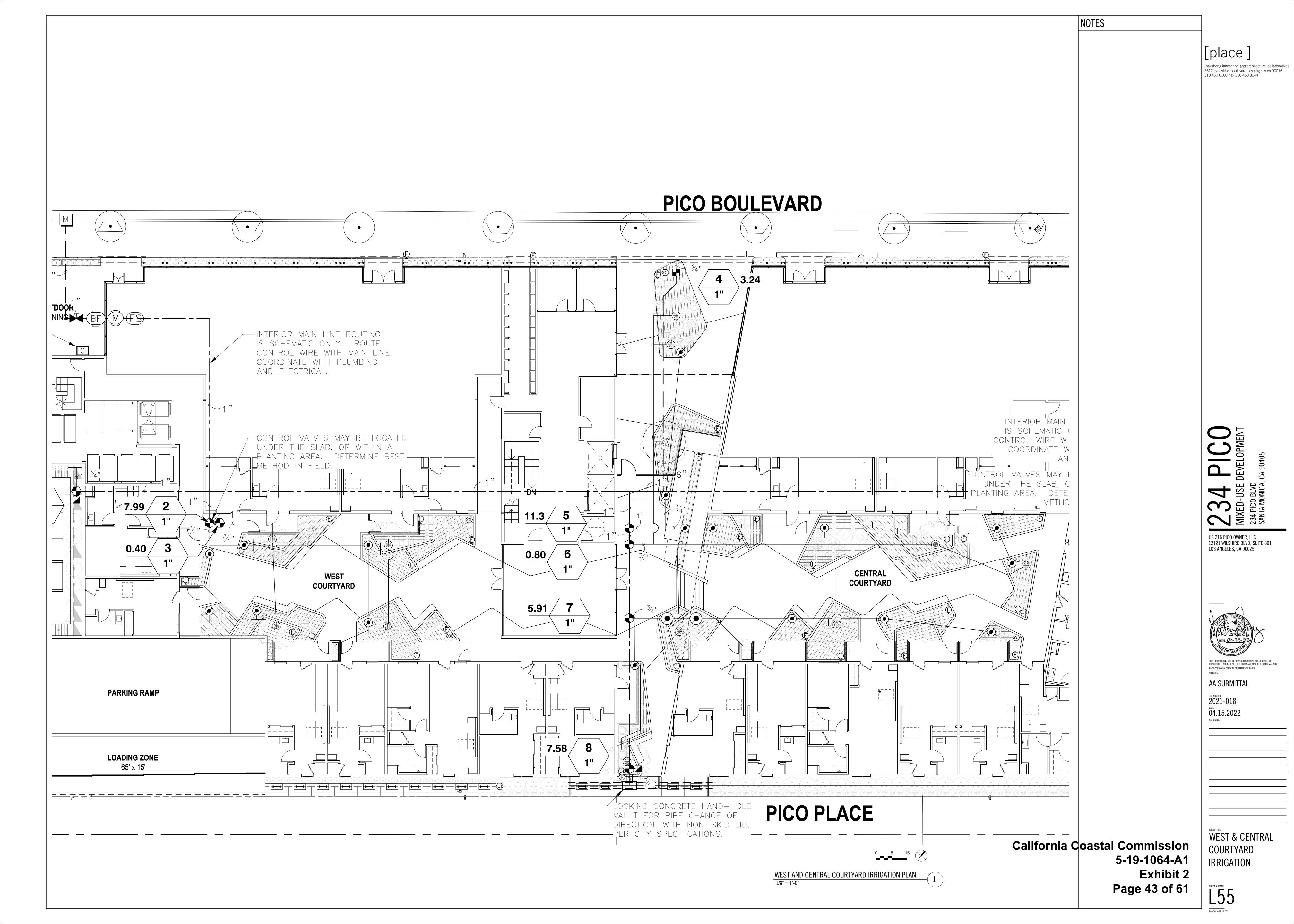
US 216 PICO OWNER, LLC 12121 WILSHIRE BLVD, SUITE 801 LOS ANGELES, CA 90025

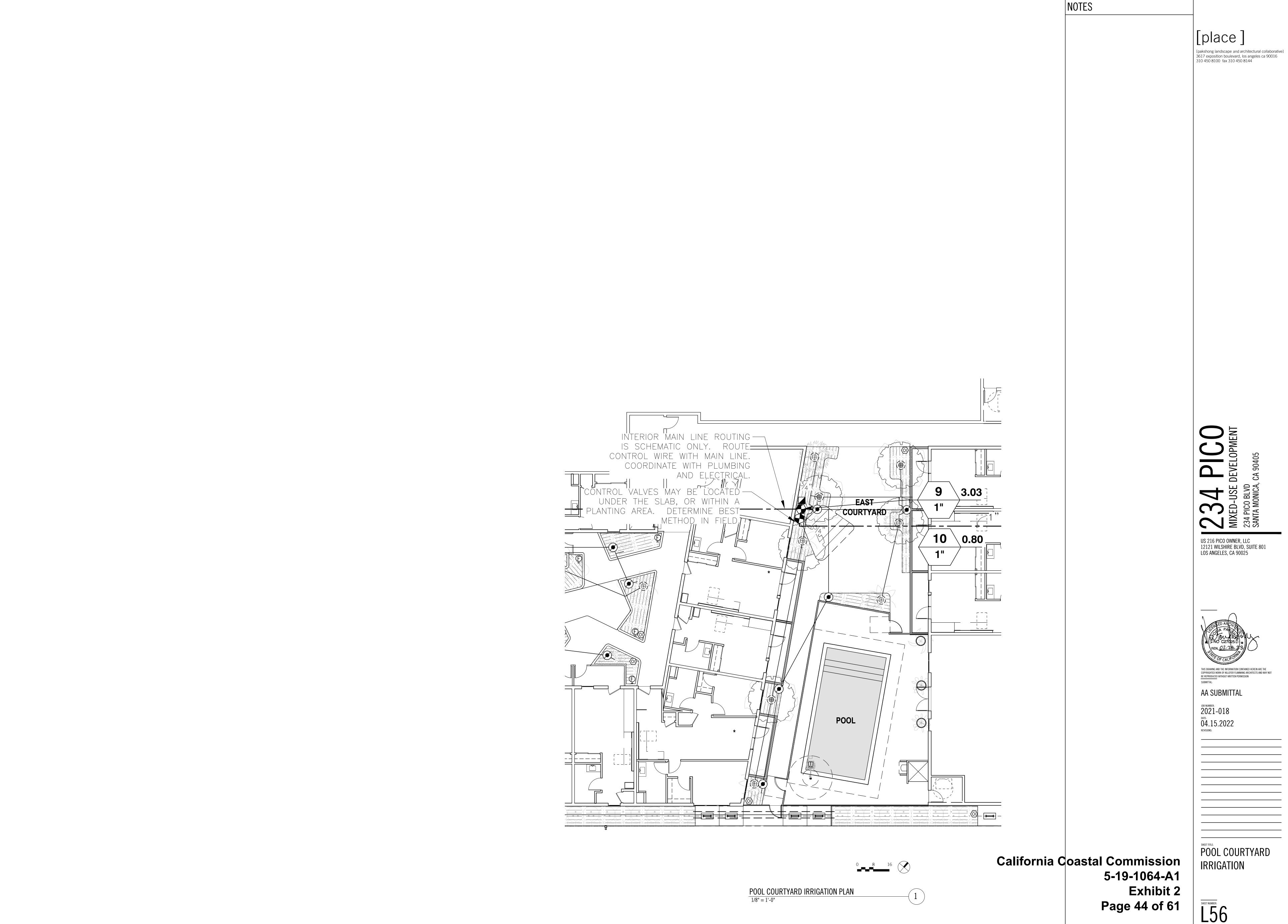


AA SUBMITTAL

PICO STREETSCAPE & BUILDING ENTRY







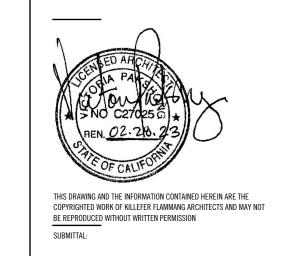
ROOF IRRIGATION PLAN
1/8" = 1'-0"

F 1 7

NOTES

[pakshong landscape and architectural collaborative] 3617 exposition boulevard, los angeles ca 90016 310 450 8100 fax 310 450 8144

SANTA MONICA, CA 90405



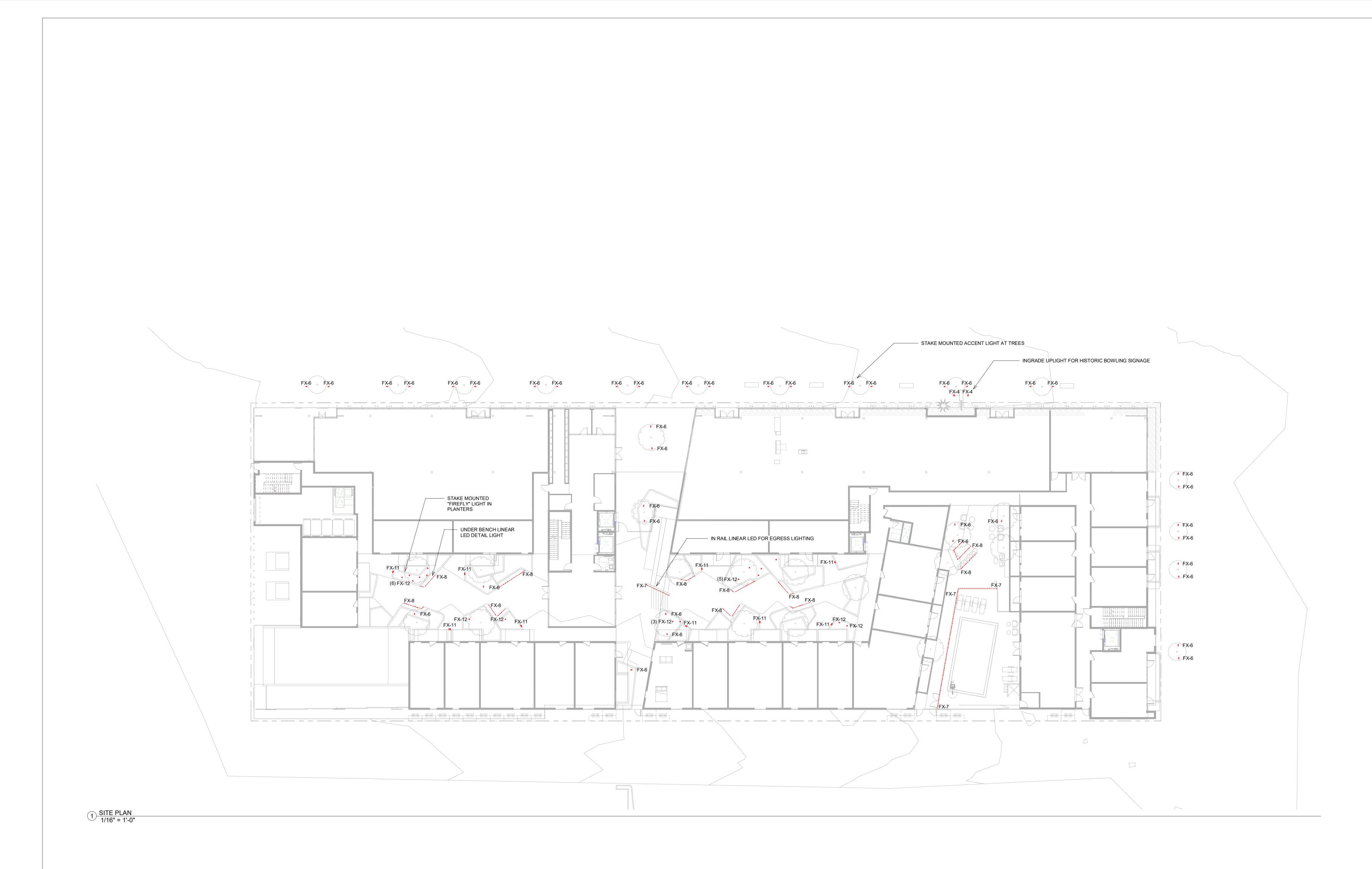
AA SUBMITTAL

JOB NUMBER:

2021-018
DATE:
04.15.2022
REVISIONS:

ROOF IRRIGATION

California Coastal Commission 5-19-1064-A1 Exhibit 2 Page 45 of 61



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MIXED USE DEVELOPMENT
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JOB NUMBER: 21.0240
DATE: 04.15.22
REVISIONS:

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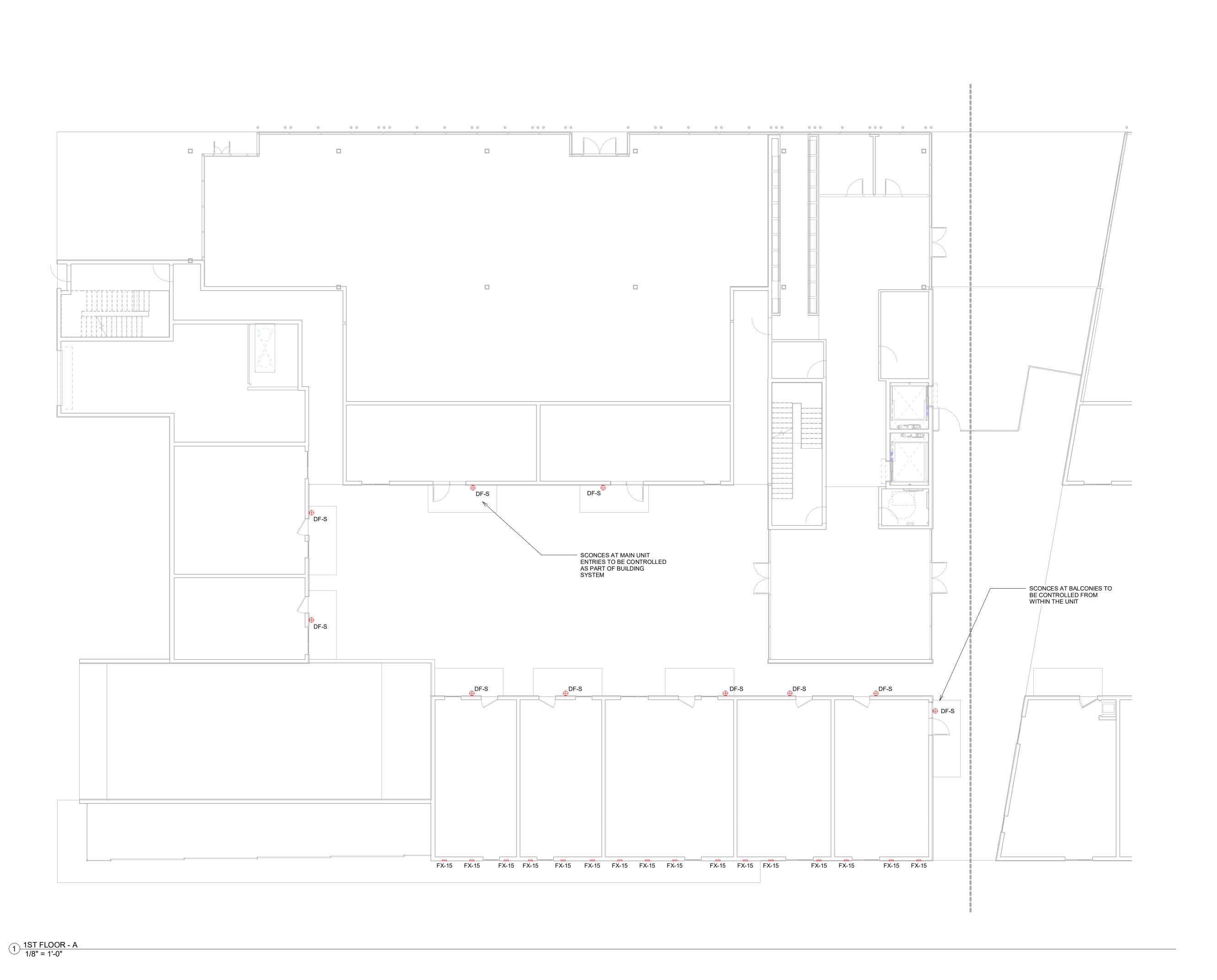
REVISIONS:

1 AA Submittal 04.15.22

OVERALL SITE LIGHTING

SHEET NUMBER:

LT100





XED USE DEVELOPMENT
6-234 PICO BOULEVARD
ANTA MONICA, CA 90405

US 216 PICO OWNER, LLL 12121 WILSHIRE BLVD, SUITE 80, LOS ANGELES, CA 90025

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JOB NUMBER:

21.0240
DATE: 04.15.22
REVISIONS:

REVISIONS:

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FIRST FLOOR
LIGHTING
PLAN WEST

SHEET NUMBER:

LT110.1

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1ST FLOOR - B 1/8" = 1'-0"



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21.0240 DATE: 04.15.22 REVISIONS:

REVISIONS:

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FIRST FLOOR
LIGHTING
PLAN EAST

SHEET NUMBER:

LT110.2

4/12/2022 9:57:27 AM

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1) 5TH FLOOR - A 1/8" = 1'-0" 3573 HAYDEN AVENUE

CULVER CITY, CA 90232

KFALOSANGELES.COM

310.399.7975 [°]

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SANTA MONICA, CA 90405

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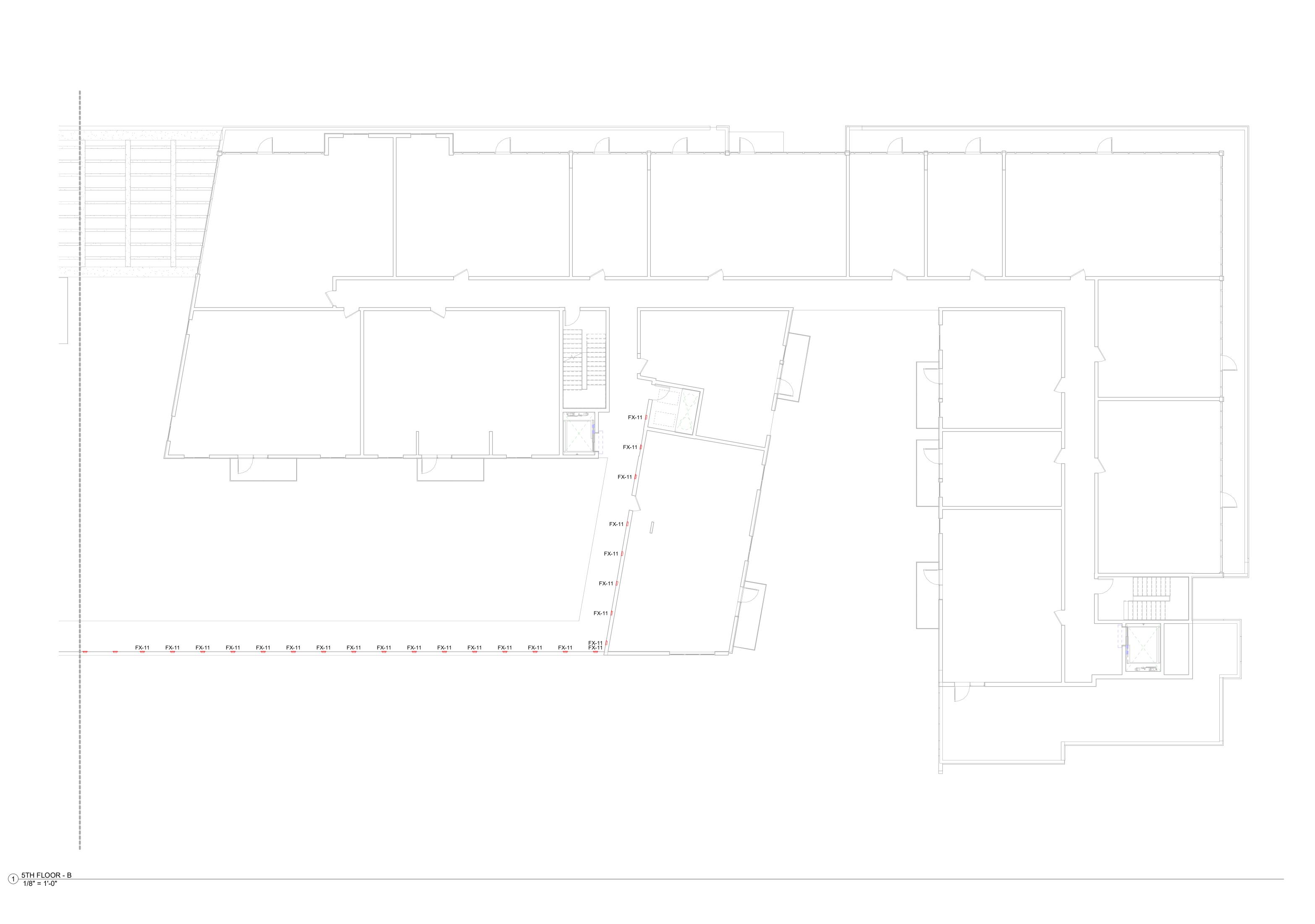
FIFTH FLOOR
LIGHTING
PLAN WEST

California Coastal Commission

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LT150.1



California Coastal Commission
5-19-1064-A1
Exhibit 2

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DATE:
04.15.22

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FIFTH FLOOR LIGHTING PLAN EAST

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LT150.2



(KFA)

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EXTERIOR FACADE ELEVATIONS

US 216 PICO OWNER, LLL 12121 WILSHIRE BLVD,

SUITE 80, LOS ANGELES, CA

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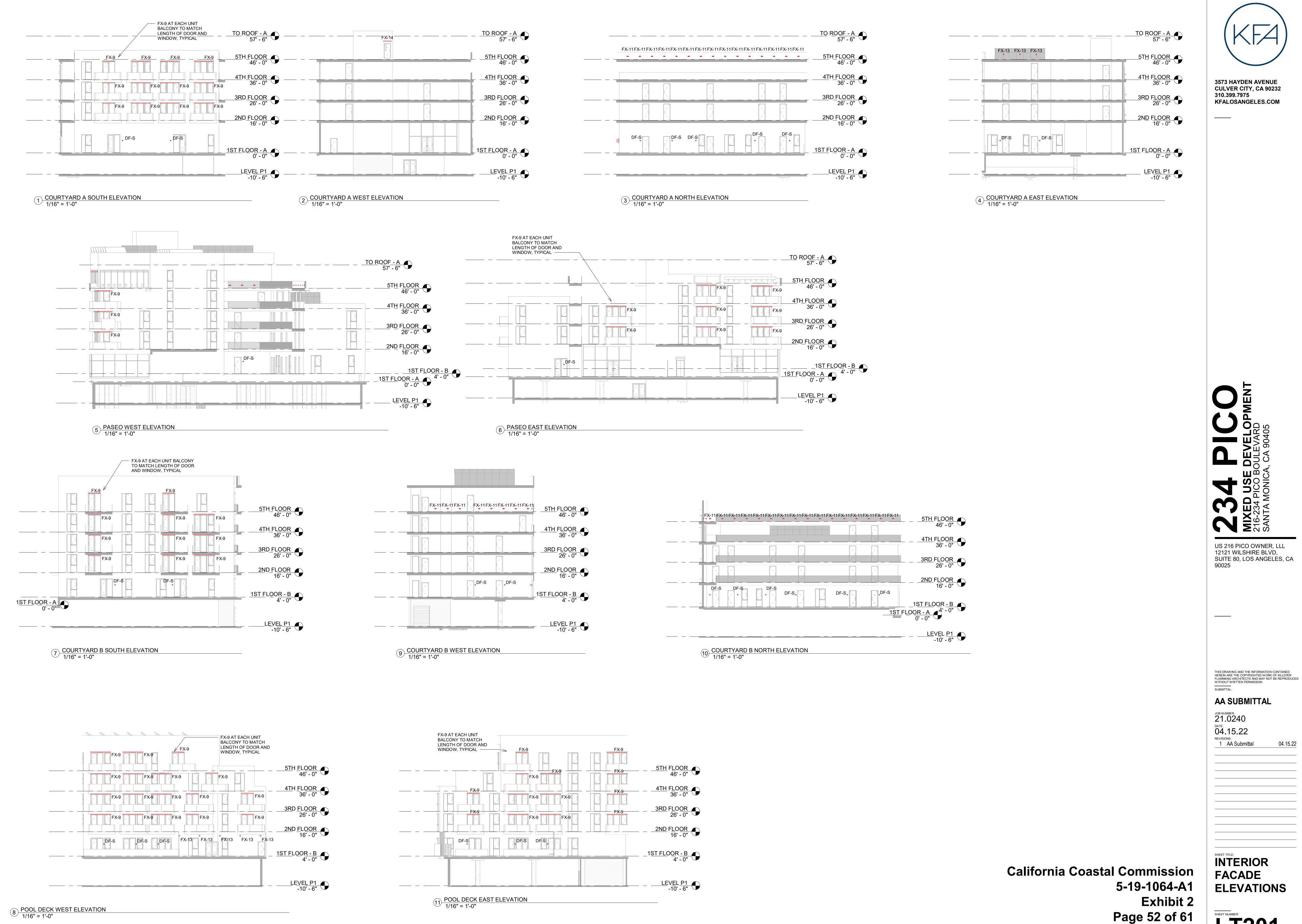
04.15.22

AA Submittal

SUBMITTAL:

SHEET NUMBER:

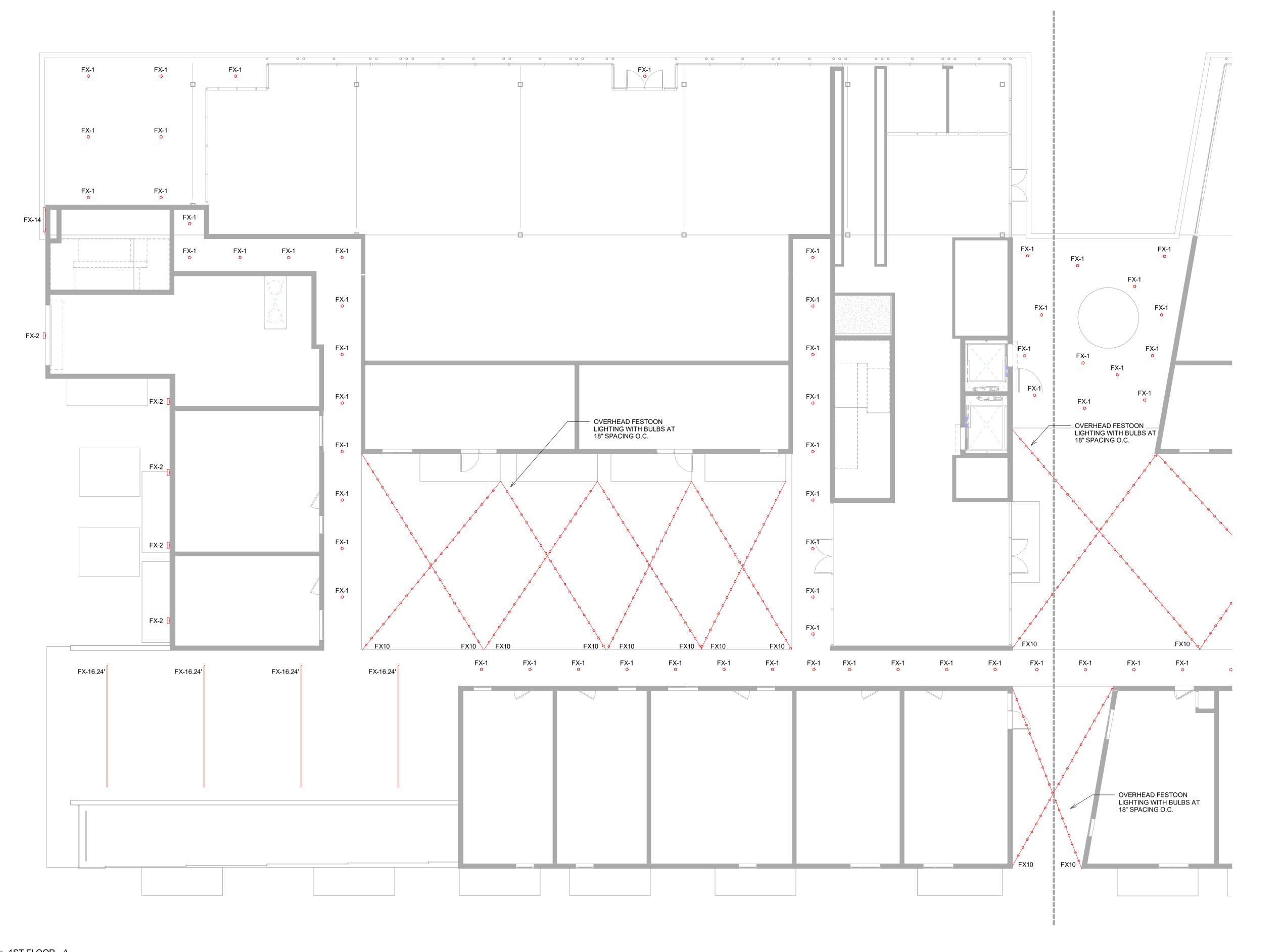
LT200



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INTERIOR **FACADE ELEVATIONS**

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04.15.22

04.15.22 AA Submittal

FIRST FLOOR LIGHTING **RCP WEST**

California Coastal Commission

5-19-1064-A1

Exhibit 2 SHEET NUMBER:

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1 1ST FLOOR - A 1/8" = 1'-0"

1 1ST FLOOR - B 1/8" = 1'-0"

California Coastal Commission
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SHEET TILLS
FIRST FLOOR
LIGHTING
RCP EAST

Exhibit 2
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LT410.2



3573 HAYDEN AVENUE CULVER CITY, CA 90232

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1 2ND FLOOR - A 1/8" = 1'-0"

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SECOND **FLOOR**

California Coastal Commission

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Exhibit 2

LIGHTING RCP WEST

SHEET NUMBER:

LT420.1

1) 2ND FLOOR - B 1/8" = 1'-0" 3573 HAYDEN AVENUE CULVER CITY, CA 90232

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SECOND FLOOR LIGHTING RCP EAST

California Coastal Commission

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Exhibit 2

SHEET NUMBER: LT420.2



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JOB NUMBER: 21.0240 DATE: 04.15.22 REVISIONS:

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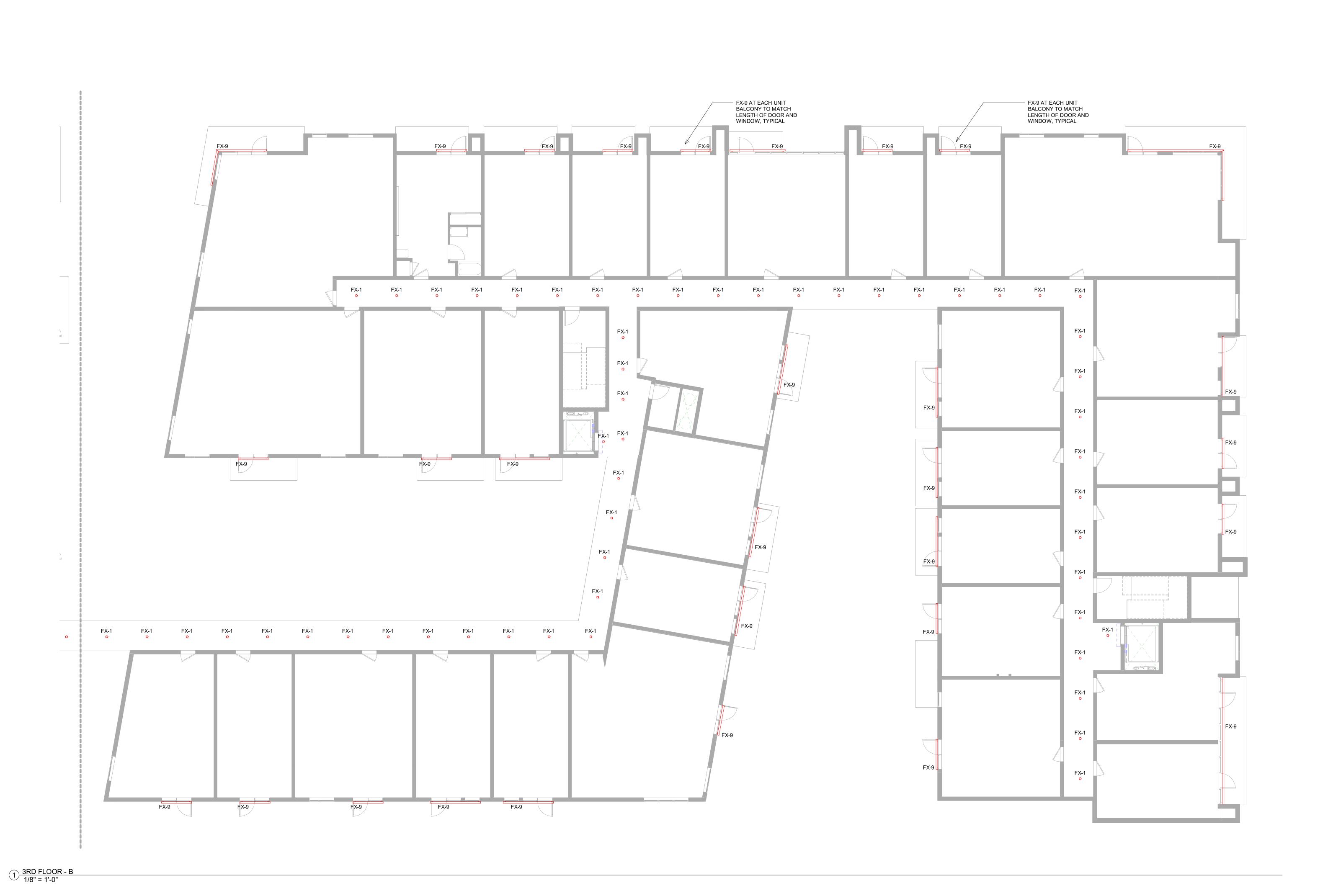
THIRD FLOOR
LIGHTING
RCP WEST

California Coastal Commission

5-19-1064-A1

Exhibit 2
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LT430.1



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DATE: 04.15.22

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REVISIONS:

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THIRD FLOOR
LIGHTING
RCP EAST

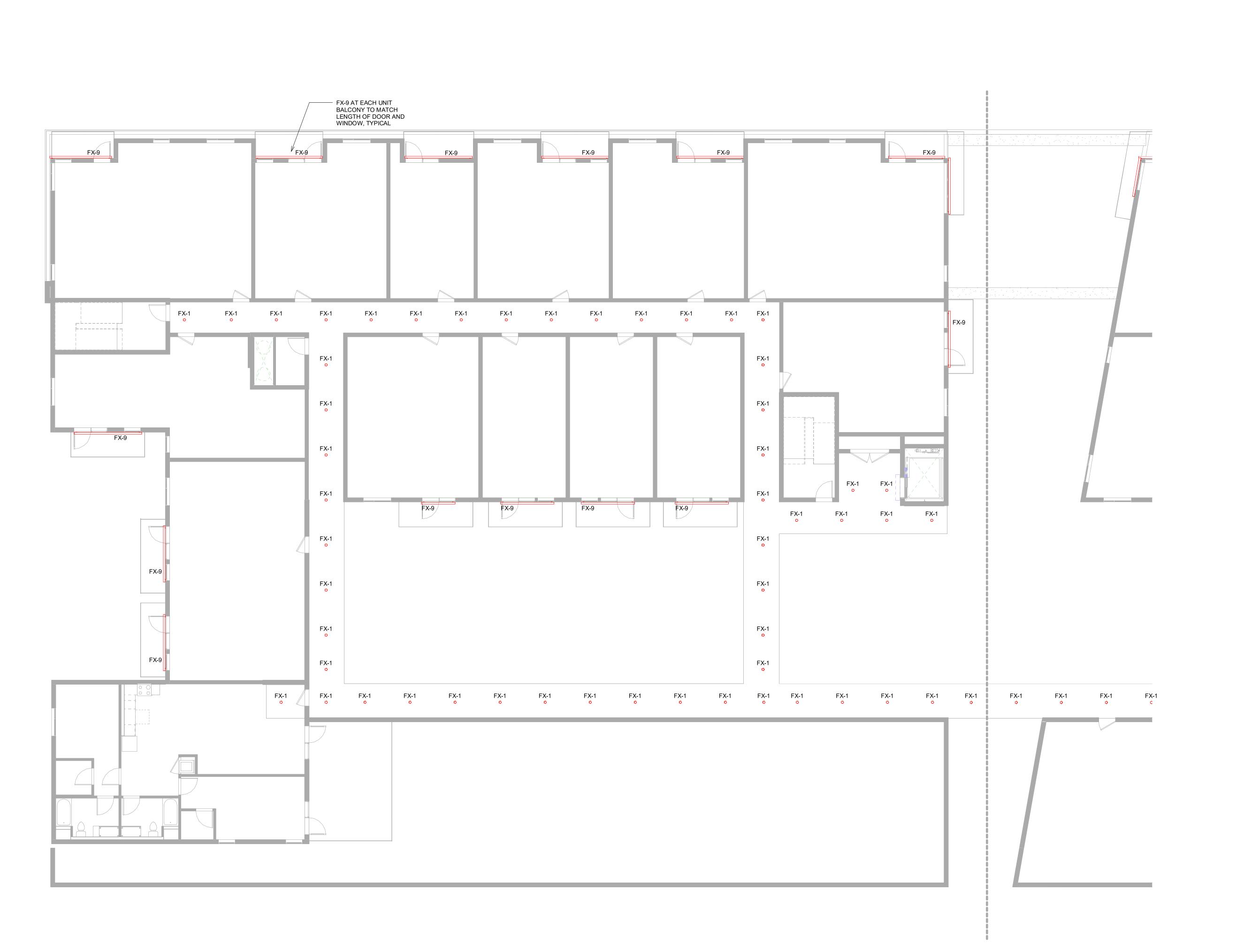
California Coastal Commission

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Exhibit 2

SHEET NUMBER: LT430.2



1 4TH FLOOR - A 1/8" = 1'-0"

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FOURTH FLOOR LIGHTING RCP WEST

SHEET NUMBER:

LT440.1

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FOURTH
FLOOR
LIGHTING
RCP EAST
SHEET NUMBER:
LT440.2

California Coastal Commission

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Exhibit 2



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1 AA Submittal 04.15.22

FIFTH FLOOR LIGHTING RCP EAST

SHEET NUMBER: LT450.2

MEMORANDUM

5-23-0413

To:	Coastal Commission Staff	Date:	December 13, 2022			
From:	David S. Shender, P.E. Jason A. Shender, AICP Linscott, Law & Greenspan, Engineers	LLG Ref:	1-22-4508-1			
Subject	Parking Demand Study for the Proposed Mixed-Use Project at 234 Pico Boulevard City of Santa Monica					

This Parking Demand Study has been prepared by Linscott, Law & Greenspan, Engineers (LLG) to provide a comprehensive vehicle parking study related to the proposed mixed-use project at 234 Pico Boulevard in the City of Santa Monica ("the Project"). The development program for the Project is as follows:

Market Rate Units

Studio units: 83
One-bedroom units: 52
Two-bedroom units: 32

167 units

Affordable Units

Studio units: 6
 One-bedroom units: 12
 Two-bedroom units: 1
 19 units

Commercial

Retail: 6,424 s.f.
 Restaurant: 4,216 s.f.
 Outdoor Dining: 616 s.f.

The Project as proposed includes 346 vehicle parking spaces on-site. In addition, 249 bicycle parking spaces will be provided on-site, consisting of a mix of short-term and long-term spaces for both the residential and commercial components.

The parking supply to be provided at the Project is in compliance with the applicable parking rates in Section 9.28.060 of the Santa Monica's 2015 Zoning Ordinance (the "2015 Zoning Ordinance"). Because the Project is in Santa Monica's Coastal Zone and the City of Santa Monica does not have a certified Local Coastal Program with parking rates approved by the Coastal Commission, the Coastal Commission may look to the parking rates in its *Regional Interpretive Guidelines, South Coast Region Los Angeles County*, adopted in October 1980. Thus, this parking study has been prepared to assess the adequacy of Santa Monica's 2015 Zoning Ordinance parking rates as applied to the Project.

California Coastal Commission

LINSCOTT
LAW &
GREENSPAN
engineers

Engineers & Planners

Traffic Transportation Parking

Linscott, Law & Greenspan, Engineers

600 S. Lake Avenue Suite 500 Pasadena, CA 91106 **626.796.2322** T 626.792.0941 F

www.llgengineers.com

Pasadena Irvine San Diego

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Table 1 Code Parking Calculation

Use	Size	Citywide Parkir	Parking Provided	
Use		Parking Rate		
Residential Studio 1-bedroom 2-bedroom	83 units 52 units <u>32 units</u> 167 units	I sp./unit 1.5 sp./unit 2 sp./unit	83 78 <u>64</u> 225	
Residential Guest	167 units	1 sp./5 units	33.4	
Studio aff. 1-bedroom aff. 2-bedroom aff.	6 units 12 units 1 unit 19 units	0.5 sp./unit 0.75 sp./unit 1 sp./unit	3 9 1 13	
Residential Subtotal	186 units		271	298
Commercial Retail Restaurant	6,424 s.f. 4,832 s.f.*	1 sp./300 s.f. 1 sp./200 s.f.	21.41 24.16 46	48
Total			317	346

^{*}The area for the restaurant includes building floor area (4,216 s.f.) and outdoor dining area (616 s.f.).

As shown in *Table 1* above, the Project will provide parking in excess of 333-space maximum allowed per the requirements of the 2015 Zoning Ordinance. However, per Section 9.28.040(A)(5)(d), parking above the maximum may be allowed if the excess spaces are provided to satisfy parking requirements imposed by another governmental entity (e.g., the California Coastal Commission). As detailed in the Parking Demand Study section, the City of Santa Monica retained professional consultants to conduct significant parking demand research in developing the current parking rates provided in the 2015 Zoning Ordinance. Based on this evaluation alone, it can be concluded that the Project will provide sufficient parking without exceeding the maximum parking supply allowed by the 2015 Zoning Ordinance.

California Coastal Commission 5-19-1064-A1 Exhibit 3 Page 2 of 18



LLG understands that the Project is subject to review by the California Coastal Commission, which independently evaluates the sufficiency of parking in proposed development projects in the Coastal Zone. Thus, additional information has been provided herein regarding the adequacy of the parking supply to be provided at the Project.

California Coastal Commission

Because the City of Santa Monica does not have a certified Local Coastal Program with Santa Monica-specific parking standards, the California Coastal Commission generally refers to its published parking guidelines for purposes of evaluating Santa Monica development projects located in the Coastal Zone. These rates are published in the California Coastal Commission document, *Regional Interpretive Guidelines*, *South Coast Region Los Angeles County* adopted in October 1980 (the "1980 Coastal Commission Guidelines"). The 1980 Coastal Commission Guidelines are to "be used in a flexible manner with consideration for local and regional conditions, individual project parameters and constraints and individual and cumulative impacts on coastal resources." (See *Regional Interpretive Guidelines*, *South Coast Region Los Angeles County* at p. i.)

Parking rates contained in the 1980 Coastal Commission Guidelines that relate to the Project are as follows:

- 2 parking spaces for each dwelling unit;
- 1 guest parking space for every 7 dwelling units;
- 1 parking space for every 225 s.f. of retail floor area; and
- 1 parking space for each 50 s.f. of restaurant service area.

Using the 1980 Coastal Commission Guidelines – and assuming that 50% of the building area for the Project's restaurant component would be devoted to service area¹ – would yield the following on-site parking quantities for the Project:

Resident parking for 186 units: 372 spaces
Guest parking for 186 units: 27 spaces
Retail floor area (6,424 s.f.): 29 spaces
Restaurant service area (2,108 s.f.): 42 spaces
470 spaces

The 50% service area standard has been used for other restauran **California Commission** including in the project for the Village at the Civic Center (CDP #5-08-159).

5-19-1064-A1



Thus, the 1980 Coastal Commission Guidelines would contemplate 470 parking spaces for the Project, as compared to 317 parking spaces required by the City's 2015 Zoning Ordinance and the 346 parking spaces proposed to be provided by the Project. The Project's parking supply reflects an approximate 32% reduction from the 1980 Coastal Commission Guidelines' parking requirement for the commercial uses and an approximate 25% reduction from the 1980 Coastal Commission Guidelines' parking requirement for the residential uses.

In reviewing various Santa Monica projects, Coastal Commission Staff Reports have supported approval of projects that supply less parking than would otherwise have been calculated using the rate table contained in the 1980 Coastal Commission Guidelines. In these circumstances, the Coastal Commission has relied upon parking demand studies to approve deviations from the parking standards contained in the 1980 Coastal Commission Guidelines.

Residential

For the Project's residential component, the difference between the parking rates in the 1980 Coastal Commission Guidelines and the City's 2015 Zoning Ordinance is with respect to studio and one-bedroom units. As explained further below, the 1980 Coastal Commission Guidelines parking rate for residential, studio and one-bedroom units in the Santa Monica area (e.g., an aggregate requirement of 2.14 parking spaces per unit when the required parking for residents and guests are combined) is well in excess of the documented parking demand for such unit types in Santa Monica's urban/mixed-use areas. Moreover, the 1980 Coastal Commission Guidelines parking rate for residential, studio and one-bedroom units is significantly higher than the parking requirements for these unit types in other coastal zones with parking standards approved by the Coastal Commission more recently than 1980. Conversely, for two-bedroom units, the City's 2015 Zoning Ordinance aggregate parking standard is slightly higher than the 1980 Coastal Commission Guidelines (e.g., an aggregate requirement of 2.2 parking spaces per unit when the required parking for residents and guests are combined versus 2.14 parking spaces per unit in the 1980 Coastal Commission Guidelines).

Ground Floor Retail/Restaurant

With respect to the ground floor commercial uses in mixed-use housing projects, the Coastal Commission has previously relied upon parking studies documenting parking demand less than the 1980 Coastal Commission Guidelines. For example, for the Village at the Civic Center (CDP #5-08-159), a mixed-use housing project in close proximity to the Project Site located at 1600-1800 Ocean Avenue, the Coastal Commission Staff Report explained on page 11:

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The City's parking study concludes the parking design, mix of uses, and location is conducive to reduced parking demand and shared use, and that the parking demand for the commercial uses would be reduced by approximately 50% from the Commission parking requirements.

Coastal Commission Staff expressed confidence in such a study on page 13:

According to the [parking demand] analysis [performed by Linscott Law & Greenspan], due to the mixed-use nature of the project, the close proximity to other high generators of walk-in patrons, and the extensive public transit service provided immediately adjacent to the site, it is anticipated that there will be a substantially reduced parking demand generated by the project.

Relevant to the Project, application of the same 50% reduction from the 1980 Coastal Commission Guidelines for the Project's ground floor commercial areas as applied to the nearby Village at the Civic Center results in a commercial parking requirement of 33 commercial parking spaces, significantly less than the 45 commercial parking spaces required by the City's 2015 Zoning Ordinance and the 48 commercial parking spaces proposed by the Project.

Parking Demand Considerations

The 1980 Coastal Commission Guidelines were published nearly 40 years ago, changing trends in residential and commercial parking demand have resulted in a substantially lower parking demand than reflected in the 1980 Coastal Commission Guidelines. Specifically, the 1980 Coastal Commission Guidelines have not been revisited to account for societal and technological advancements – infrastructure and policies which reduce the reliance on private automobiles, and by extension, the parking supply required to serve development projects, notably within the Coastal Zone of the City of Santa Monica, Examples include:

- Increased Public Transit Services. The Project Site is well served by local
 public transit provided by Metro and Santa Monica Big Blue Bus. Much
 of this public transit service was not available when the 1980 Coastal
 Commission Guidelines were adopted. Examples include:
 - Metro's E Line (Expo) light rail service, including the Downtown Santa Monica station located within one-half mile from the Project at 4th Street and Colorado Avenue;
 - Metro's Rapid and local transit bus service (Route 33/733) including a stop at Main Street/Pico Boulevard; and

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- Santa Monica Big Blue Bus service, including stops near the Ocean Avenue/Pico Boulevard intersection (Routes BBB1 and BBB8 with frequent service throughout the day).
- Enhanced Infrastructure and Policy for Bicyclists. The Project Site is served by newer infrastructure that facilitates travel by bicycle which was not available when the 1980 Coastal Commission Guidelines were adopted. In addition, the City recently imposed requirements on development projects to mandate on-site bicycle parking for residents and visitors. Specific examples include:
 - Dedicated bike lanes on local streets such as Ocean Avenue, Main Street and Colorado Avenue to facilitate safe travel for bicycles;
 - Requirements for development projects to provide bicycle parking (e.g., Project will provide 249 bicycle parking spaces); and
 - Recent implementation of local bike share programs that allow residents and visitors to rent bicycles, including a Metro Bike Share station located on Colorado Avenue at the Metro E Line (Expo)'s Downtown Santa Monica Station.
- Shared Ride Services. Shared ride services have been developed since the
 adoption of the 1980 Coastal Commission Guidelines which allow
 residents, customers, and visitors to travel by a vehicle without car
 ownership. Examples of these highly convenient services include
 Uber/Lyft for individual rides, as well as Zipcar for multiple and/or
 extended trips.
- Increased Density to Facilitate Walking Trips. Since the adoption of the 1980 Coastal Commission Guidelines, increased development has occurred within the Coastal Zone portion of Santa Monica which encourages and allows for walking trips. The company Walk Score grades the Project Site a 94 (out of 100) which is described on the company's website as: "Walker's Paradise Daily errands do not require a car." Further, for future residents of the Project, there are nearby employment opportunities at the Rand Corporation and Santa Monica City Hall, as well as a multitude of shopping and dining options along Main Street and within Downtown Santa Monica, most of which are within one mile of the Project Site. With respect to the commercial uses at the Project, the vast majority of patrons are expected to be walk-ins from persons who live, work, or are visiting the area.

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- Provisions for Affordable Housing. Since the adoption of the 1980 Coastal Commission Guidelines, the City of Santa Monica has added provisions to its Zoning Code to require affordable housing units within new housing development projects. Based on empirical studies, affordable housing units typically have a lower parking demand as compared to market-rate housing units. However, the 1980 Coastal Commission Guidelines have not been updated to provide separate parking standards for affordable residential units.
- Transportation Demand Management. Since the adoption of the 1980 Coastal Commission Guidelines, the City of Santa Monica has required development projects to implement Transportation Demand Management (TDM) plans to reduce travel by private automobiles for both commercial and residential components. The TDM plans typically include requirements to encourage travel by walking, bicycle, public transit, and/or shared ride services. When implemented, TDM plans result in a reduction in the parking needed to support the new development project. Santa Monica's 2015 Zoning Ordinance requires the Project to have a TDM Plan with a target employee Average Vehicle Ridership of 1.75 and specific program measures to achieve this goal.2 For example, the Project must provide a transportation allowance for employees, on-site transportation information, incentives for employees who work within one half mile of the workplace, and commuter matching services.3 The Project's TDM plan will also include measures relevant to the Project's residents, including a transportation welcome package for residents and a marketing and outreach program to employees within one-half mile.
- Mixed-Use Projects. Since the adoption of the 1980 Coastal Commission Guidelines, the City of Santa Monica has added provisions to its Zoning Code to require the development of mixed-use projects such that ground floor area is devoted to commercial uses that would serve both residents in the units above, as well as other patrons who live or work in the area. Therefore, the need to provide parking for the commercial component of mixed-use developments is substantially reduced because nearly all patrons (and likely many of the employees) are walk-ins. The 1980 Coastal Commission Guidelines have not been updated to consider the reduced parking demand associated with the commercial components of mixed-use developments.

² Santa Monica Municipal Code Ch. 9.53.

³ Santa Monica Municipal Sections 9.53.130 and 9.23.030(B).



• Shared Mobility Services. Since the adoption of the 1980 Coastal Commission Guidelines, shared mobility devices have become widely available in the City of Santa Monica and surrounding areas. These include bikes, electric bikes, and electric scooters that are shared among users and enabled by technology such as a mobile app. These shared mobility devices provide alternative options for commuting and first/last mile connections complementing public transit options (e.g., Big Blue Bus and the Metro's E Line (Expo). The 1980 Coastal Commission Guidelines have not been updated to consider the reduced parking demand associated with the use of shared mobility devices in areas with dense availability and use of these devices.

As detailed above, there have been significant changes with respect to services and infrastructure, as well as local government policies and mandates which have substantially reduced the need for a personal automobile, and thus, the number of parking spaces required for development projects. Documentation of these changes and the resulting parking demand factors currently recommended by jurisdictions are provided in the following section.

Parking Demand Study

The parking rates provided in the 2015 Zoning Ordinance were adopted by the City Council in July 2015 as part of a comprehensive Zoning Ordinance Update. In conjunction with the Zoning Ordinance Update, the City conducted extensive review and research with respect to appropriate parking rates to apply to new development projects. Part of this effort included retention of the planning firm Nelson Nygaard to provide recommendations to the City with respect to parking demand rates.

Nelson Nygaard issued a draft report in January 2013⁴ (the "Nelson Nygaard report") containing the following:

- A literature review of parking ordinances in other areas similar to the City of Santa Monica, including within the Coastal Zone;
- Analysis of census tract data with respect to vehicle ownership within the City of Santa Monica, including census tracts within the Coastal Zone;
- A review of empirical parking demand data that had been recently collected in the City of Santa Monica; and

^{*} Parking Zoning Ordinance Update - Draft Report, Nelson Nygaard, January 2013.

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 Recommendations for updated parking rates for development projects based on their study of this information.

Figure 1-8 within the Nelson Nygaard report provides average vehicle ownership data for renter-occupied units within census tracts located in Santa Monica. As previously shown in *Table 1*, the Project will provide 298 parking spaces for the 186 residential units (market-rate and affordable units), equivalent to a rate of 1.60 parking spaces per unit. The Project Site is located in Census Tract 7020.02. Per the data for Census Tract 7020.02, the average vehicle ownership rate for residents within the census tract is 1.15 vehicles per unit. Thus, the Project will provide a parking supply at a rate that is well in excess of the average vehicle ownership rates provided within the census tract data.

Two conclusions can be drawn from the census tract data:

- The census tract data summarized in the Nelson Nygaard report indicate a vehicle ownership rate for renter-occupied units that is substantially less than the parking rates provided in the 1980 Coastal Commission Guidelines; and
- The Project will provide a parking supply for the residential units at a rate that substantially exceeds the census tract data, indicating that sufficient parking will be provided.

It is noted that the Nelson Nygaard report provides recommendations with respect to parking rates in conjunction with the City's Zoning Ordinance Update process. *Table* 2 below provides a comparison of the recommended parking ratios to the parking rates ultimately adopted by the City Council.

The Nelson Nygaard report provides recommended parking rates for development projects based on its literature review and parking demand data collection. It is noted that the parking rates recommended by Nelson Nygaard would have resulted in 215 spaces for the Project – 131 spaces less than the Project's proposed parking supply of 346 spaces. The parking ratios adopted by the City and included in the 2015 Zoning Ordinance further ensure an adequate supply of parking at the Project. Given the Nelson Nygaard report, the empirical data that we have collected for projects in Santa Monica, and the lack of any discount formulas in the Zoning Code for mixed-use projects, we believe that the City's Zoning Ordinance overstates the actual parking demand that will be experienced at the Project.



Table 2 Comparison of Parking Rates Nelson Nygaard Draft Report vs. Citywide Adopted Rates

Use	Recommended Parking Rates Nelson Nygaard Report	Adopted Citywide Parking Rates				
Market-Rate Residential						
Studio	1 sp./unit	1 sp./unit				
1-bedroom	1 sp./unit	1.5 sp./unit				
2-bedroom	1.5 sp./unit	2 sp./unit				
Guest Parking	0 sp./unit	1 sp./5 units				
Affordable Residential						
Studio	0.5 sp./unit	0.5 sp./unit				
1-bedroom	0.5 sp./unit	0.75 sp./unit				
2-bedroom	1 sp./unit	1 sp./unit				
Guest Parking	0 sp./unit	0 sp./ unit				
Commercial	1 1 1 1 1 1 1 1 1	7-1-7				
Retail	1 sp./1,000 s.f.	1 sp./300 s.f.				
Restaurants (2,500 – 5,000 s.f. in size)	1 sp./300 s.f.	1 sp./200 s.f.				

Additionally, in 2011, LLG gathered data for existing residential buildings with ground floor commercial uses located in Downtown Santa Monica (See Exhibit "A" attached). This analysis evaluated the residential parking demand at 10 market-rate apartment buildings, together comprising approximately 491 units (primarily two-bedroom units). An overall peak parking demand for 616 parking spaces (resident parking, as well as on-site guest parking) was counted across the 10 residential buildings, or a parking demand rate equivalent to 1.25 parked vehicles per market-rate unit, *inclusive of guest parking*. In comparison, the 2015 Zoning Ordinance requires 2.2 parking spaces per two-bedroom market-rate unit, including guest parking.

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According to the management company for these properties (Alliance Residential Company), there were no formal Transportation Demand Management programs in effect when this empirical data was taken. The City of Santa Monica has conditioned this Project to reduce vehicular trip generation at the site through implementation and monitoring of a Transportation Demand Management program. Moreover, since LLG gathered this data, there have been several advancements in alternate modes of transportation (e.g. the opening of the Metro E Line (Expo), ridesharing apps, dockless bicycles and scooters, etc.).

Moreover, as shown in *Table 3* attached, the Coastal Commission has approved parking standards for studio and one-bedroom units in other coastal zones in Southern California ranging from an aggregate parking requirement of 1.2 to 1.75 spaces per unit, consistent with the City's parking standards. Thus, the 1980 Coastal Commission Guidelines result in a parking requirement that is at least 22% greater than the required parking for other coastal zones in Southern California.

With respect to the Project's ground floor retail/restaurant component, the Coastal Commission accepted a 50% reduction from the 1980 Coastal Commission Guidelines parking rate for ground floor retail/restaurant uses in the nearby Village at the Civic Center Project, which is now open with a parking supply which appears to be well exceeding parking demand. The Village at the Civic Center Project was approved by the Coastal Commission in 2008, prior to arrival of the Metro E Line (Expo) in Santa Monica and prior to the shared ride services, and increased Transportation Demand Management requirements. Thus, applying this 50% standard to the Project's ground floor retail/restaurant uses would provide a conservative estimate of the parking supply that may be appropriate to meet the Project's parking demand.

The 1980 Coastal Commission Guidelines rate for restaurants is 1 space per 50 s.f. of service area. A 50% reduction in this rate is 1 space per 100 s.f. of service area. Assuming 50% of the Project's restaurant component's interior is service area results in 21 parking spaces for the Project's restaurant component. This is three less parking spaces for the Project's restaurant component compared with the required parking per the 2015 Zoning Ordinance, which requires 1 space per 200 s.f. of the restaurant's total floor area (both service and support area). Moreover, a 50% reduction of the retail parking standard contained in the 1980 Coastal Commission Guidelines yields a parking rate of 1 space per 450 s.f., which is 14 parking spaces for the retail. This is seven less parking spaces than is required under the 2015 Zoning Ordinance (1 space/300 s.f.).

Therefore, the above research supports the conclusion that the Project will provide sufficient parking based on providing a parking supply in excess of the required amount per the 2015 Zoning Ordinance parking standards **California Coastal Commission**

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Conclusion

In conclusion, the Project will provide more than sufficient parking to meet its peak demand. The Project provides parking in excess of the parking standards set forth within the City of Santa Monica's 2015 Zoning Ordinance, which require more parking than recommended by the Nelson Nygaard parking study and documented by LLG for mixed-use residential projects in Santa Monica's commercial areas. The Project's residential parking rates are in line with residential parking rates approved by the Coastal Commission in other Southern California jurisdictions. The commercial parking rates applied to the Project are also greater than those required by the Coastal Commission for the commercial component of the nearby Village at the Civic Center.

cc: File

TABLE 3
RESIDENTIAL PARKING RATIOS FOR ONE-BEDROOM UNITS
IN SELECT SOUTHERN CALIFORNIA JURISDICTIONS WITH CERTIFIED LUPS

27-Oct-22

Jursidiction	Spaces per One-Bedroom Unit	Guest Spaces per Unit	Total Spaces per One-Bedroom Uni				
Santa Barbara County	1 space per 1 bedroom	1 space per 5 dwellings	1.2 spaces				
Ventura County	No Assigned Parking: 1.25 spaces per I bedroom 1 Assigned Space: 1.4 spaces per I bedroom 2 Assigned Spaces: 2 spaces per I bedroom	0.25 spaces per unit	1.5 spaces 1.65 spaces 2.25 spaces				
Del Mar	I space per 1 bedroom		I space				
Chula Vista	1.5 spaces per 1 bedroom	¥	1.5 spaces				
Dana Point	1.5 spaces per 1 bedroom or Alternate calculation based on unit size: 1,200 SF or less requires less than 2 spaces	0.2 spaces per dwelling unit	1.7 spaces				
Huntington Beach	1 space per 1 bedroom	0.5 spaces per unit	1.5 spaces				
Newport Coast (Segment)	1.5 spaces per 1 bedroom or Alternate calculation based on unit size: 1,200 SF or less requires less than 2 spaces	0.2 spaces per dwelling unit	1,7 spaces				
Laguna Beach Certified LUP	1.5 spaces per I bedroom	I space per every 4 dwelling units	1.75 spaces				
Marina Del Rey (Segment)	1.5 spaces per 1 bedroom	I space per 4 dwelling units when more than 10 dwelling units at building					

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EXHIBIT A



Below is the multi-family parking demand data collected in 2011 and analyzed by LLG in the context of preparing the parking demand study for the residential projects at 702 Arizona Avenue and 1317 Seventh Street, which were approved by the City of Santa Monica.

Parking Utilization at Existing Residential Projects

Parking utilization was observed at 10 existing market rate multi-family residential projects located within close proximity of the 702 Arizona Avenue and 1317 Seventh Street projects in Downtown Santa Monica. The sites selected for analysis are appropriate for study based on:

- Generally similar number of market-rate residential units as the proposed projects;
- Provision for ground floor commercial uses; and
- Proximity to the survey sites to the proposed projects, which includes the
 potential for parking demand to be influenced by factors unique to Downtown
 Santa Monica such as adjacency of public transit facilities; availability of
 residential, commercial and residential uses within walking distance;
 proximity to an extensive bicycle network, etc.

The 10 market rate residential project sites evaluated are illustrated in *Figure 1* and are summarized below:

- 1. Amalfi 1519 Sixth Street
 - o 48 units
 - o 2,008 square feet of ground floor commercial area
- 2. Anacapa 1531 Sixth Street
 - o 48 units
 - o 2,360 square feet of ground floor commercial area
- 3. Biella 1411 Seventh Street
 - o 59 units
 - o 1,938 square feet of ground floor commercial area
- 4. Capri 1445 Sixth Street
 - o 48 units
 - o 1,934 square feet of ground floor commercial area

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EXHIBIT A



- 5. Livorno 1540 Sixth Street
 - o 48 units
 - o 2.279 square feet of ground floor commercial area
- 6. Positano 606 Broadway
 - o 50 units
 - 6,242 square feet of ground floor commercial area
- 7. Revello 1234 Sixth Street
 - o 48 units
 - 2,078 square feet of ground floor commercial area
- 8. San Remo 1530 Seventh Street
 - o 48 units
 - o 2,405 square feet of ground floor commercial area
- 9. Sorrento 620 Santa Monica Boulevard
 - o 46 units
 - o 5,178 square feet of ground floor commercial area
- 10. Venezia 1535 Sixth Street
 - o 48 units
 - o 1,550 square feet of ground floor commercial area

According to the management company (Dustin Storey at Alliance Residential Company) for these properties, there is no formal Transportation Demand Management program currently in effect at these sites. Further, there is no parking unbundling option for tenants.

On-site parking utilization at each of the market rate residential project sites was counted on an hourly basis during daytime hours (12:00 PM Noon to 2:00 PM) and evening hours (10:00 PM to 12:00 AM Midnight) on a weekday (Wednesday, May 18, 2011) and weekend day (Saturday, May 21, 2011). The hours and days for the parking utilization counts were selected for purposes of collecting parking utilization data to document: 1) both weekday and weekend conditions; 2) daytime parking conditions when the ground floor commercial uses would generate its peak demand; and 3) evening parking conditions when the residential units would generate its highest parking demand.

EXHIBIT A



The parking utilization counts are summarized in *Table 3*. As shown in *Table 3*, a peak parking demand of 616 spaces (57.5% utilization of the 1,072 total spaces) for the 10 sites combined was observed to occur at 12:00 AM midnight during the weekday. The weekend peak parking demand is slightly lower with 552 spaces (51.5% utilization of the 1,072 total spaces) observed to be occupied at 12:00 AM midnight. In general, the late evening time period has the highest parking demand when most, if not all of the project residents would be expected to be at their units (and their related vehicles parked on-site).

It is noted that at nearly all of the properties, there is no specific designation of commercial or residential spaces. Thus, it cannot be specifically discerned as to the extent the commercial or the residential component contributed to the parking surplus. However, given the surplus throughout the day, it can be concluded that both components contributed to the parking surpluses at the existing sites.

At the time of the parking utilization observations, property management indicated that there were some vacant units at the projects surveyed. However, the representative stated that this is indicative of the transient environment found at multi-family residential projects and that it was typical to have one or more units vacant on a recurring basis.

Recommendations

Based on the parking data collected at the existing market rate residential projects described herein, the following parking ratios are recommended for the components in the 702 Arizona and 1317 Seventh projects:

 Market Rate Residential. For the market rate residential component, it is recommended that the projects provide one parking space for each Studio and 1-Bedroom unit, and 1.5 parking spaces for each 2-Bedroom unit.

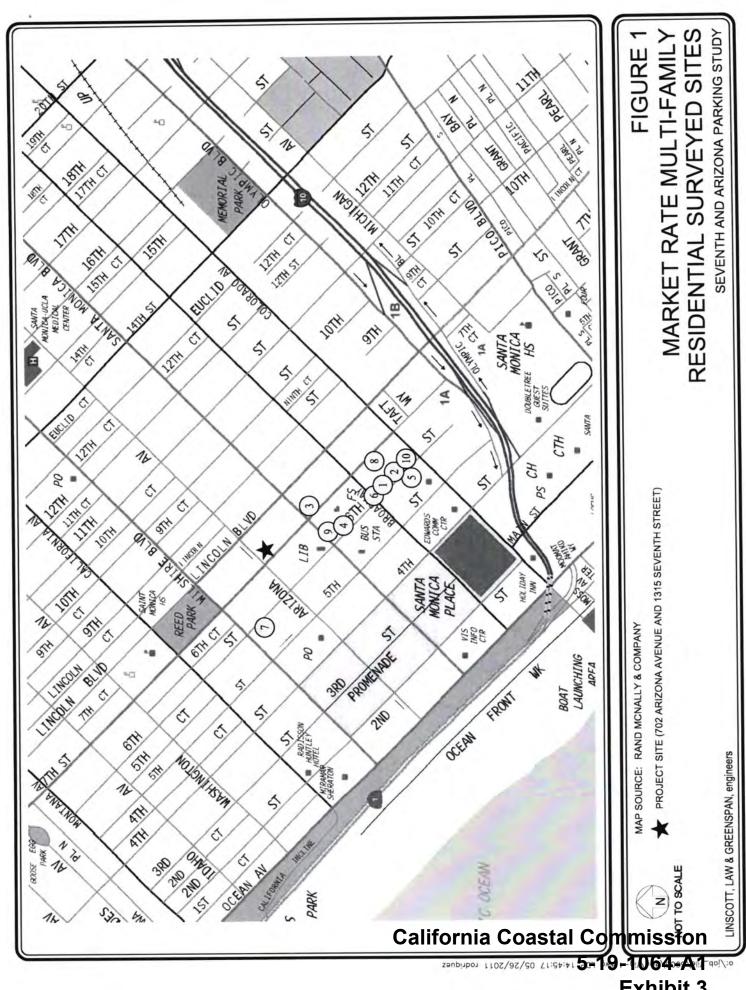


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Table 3 PARKING UTILIZATION SURVEYS [1] SURVEY DATES: WEDNESDAY, MAY 18, 2011 AND SATURDAY, MAY 21, 2011 Existing Market Rate Multi-Family Residential Projects in Downtown Santa Monica

06-Jun-1

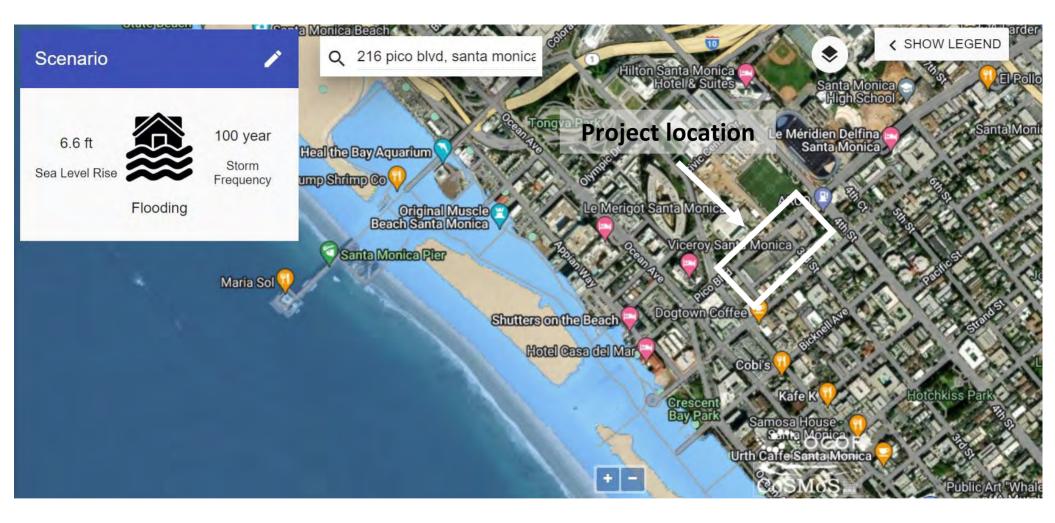
367 107 107 107 107 107 107 107 107 107 10	[2]	WEEKDAY (WEDNESDAY)											
	NO. OF	12:00 PM		1:00 PM		2:00 PM		10:00 PM		11:00 PM		12:00 AM	
	SPACES	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT
1. Amalfi - 1519 6th Street Total Spaces	104	30	28.8%	31	29.8%	27	26.0%	64.	61.5%	68	65 4%	68	65 4%
2. Anacapa - 1531 6th Street Total Spaces	104	39	37.5%	40	38.5%	40	38.5%	57	54 8%	.66	63.5%	70	67 3%
3. Biella - 1411 7th Street Total Spaces	101	18	17.8%	22	21.8%	25	24.8%	45	44.6%	47	46.5%	52	51 5%
4. Capri - 1445 6th Street Total Spaces	104	33	31.7%	32.	30.8%	29	27.9%	47	45,2%	53	51 0%	55	52 9%
5. Livorno - 1540 6th Street Total Spaces	106	49	46 2%	47	44.3%	45	42.5%	58	54 7%	64	60.4%	63	59.4° a
6. Positano - 606 Broadway Total Spaces	111	23	20.7%	25	22.5%	29	26.1%	60	54 1%	58	52.3%	60.	54 1%
7. Revello - 1234 6th Street Total Spaces	107	32	29 9%	31	29 0%	29	27 1%	58	54.2%	-57	53.3%	63	58.9%
8. San Remo - 1530 7th Street Total Spaces	105	37	35.2%	40	38 1%	45	42.9%	52	0.0%	53	0.0%	53	0.0%
9. Sorrento - 620 Santa Monica Boulevard Total Spaces	125	42	33.6%	42	33 6%	42	33.6%	59	47.2%	61	48.8%	66	52.8%
10. Venezia - 1535 6th Street Total Spaces	105	23	21.9%	27	25.7%	27	25.7%	58	55.2%	66	62 9%	66	62.9%
TOTAL PARKING	1,072	326	30,4%	337	31.4%	338	31.5%	558	52.1%	593	55.3%	616	57.5%

PARKING LOCATION	[2]	WEEKEND DAY (SATURDAY)											
	NO. OF	12:00 PM		1:00 PM		2:00 PM		10:00 PM		11:00 PM		12:00 AM	
	SPACES	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT	OCC.	PERCENT
1. Amalfi - 1519 6th Street Total Spaces	104	44	42.3%	45	43 3%	44	42.3%	52	50.0%	53	51.0%	55	52.9%
2. Anacapa - 1531 6th Street Total Spaces	104	57	54.8%	56	53 8%	56	53 8%.	58	55.8%	59	56.7%	59	56 7%
3. Biella - 1411 7th Street Total Spaces	101	44	43.6%	42	41.6%	42	41.6%	43	42.6%	44	43.6%	46	45.5%
4. Capri - 1445 6th Street Total Spaces	104	41	39.4%	42	40.4%	42	40.4%	48	46.2%	52	50.0%	54	51 9%
5. Livorno - 1540 6th Street Total Spaces	106	51	48.1%	50	47 2%	50	47 2%	54	50 9%	59	55.7%	62	58.5%
6. Positano - 606 Broadway Total Spaces	111	47	42.3%	46	41.4%	45	40.5%	55	49.5%	60	54 1%	62	55 9%
7. Revello - 1234 6th Street Total Spaces	107	46	43 0%	49	45.8%	50	46.7%	53	49.5%	54	50.5%	56	52.3%
8. San Remo - 1530 7th Street Total Spaces	105	49	46.7%	48	45.7%	49	46.7%	51	48.6%	53	50.5%	55	52.4%
9. Sorrento - 620 Santa Monica Boulevard Total Spaces	125	51	40.8%	52	41.6%	51	40.8%	56	44.8%	60	48.0%	62	49 6%
10. Venezia - 1535 6th Street Total Spaces	105	45	42.9%	43	41.0%	40	38 1%	40	38 1%	38	36.2%	41	39 0%
TOTAL PARKING	1,072	475	44.3%	473	44.1%	469	43.8%	510	47.6%	532	49,6%	552	51.5%

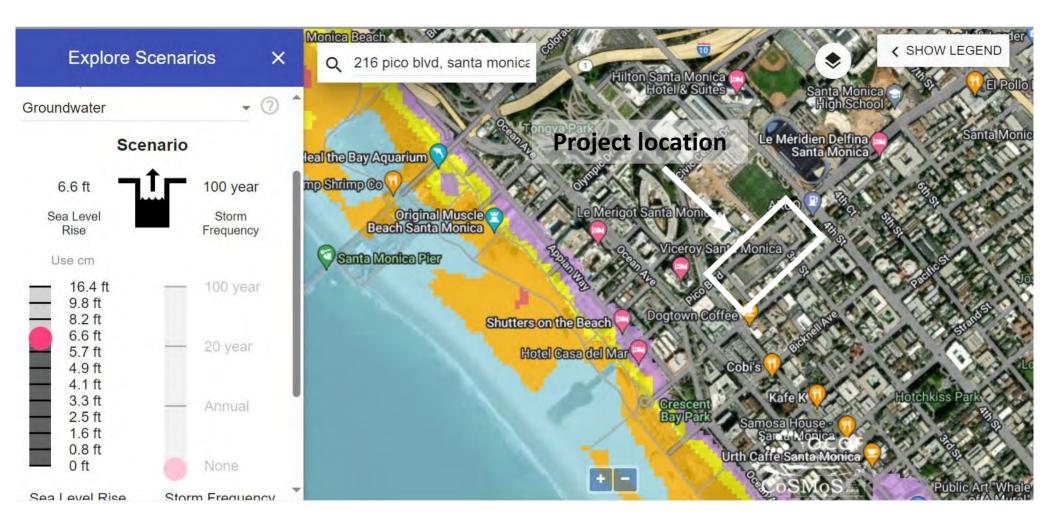
^[1] The parking survey was conducted by The Traffic Solution

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^[2] Parking inventory based on field review conducted by LLG Engineers in May 2011



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