

## CALIFORNIA COASTAL COMMISSION

South Coast District Office  
301 E Ocean Blvd., Suite 300  
Long Beach, CA 90802-4302  
(562) 590-5071



# W15c

**5-22-0658 (Girgis)**

**FEBRUARY 8, 2023**

### EXHIBITS

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Exhibit 2 – Project Plans

Exhibit 3 – Survey Area Map

Exhibit 4 – Streetscape Views



**Project  
Location**

## Exhibit 1

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California Coastal  
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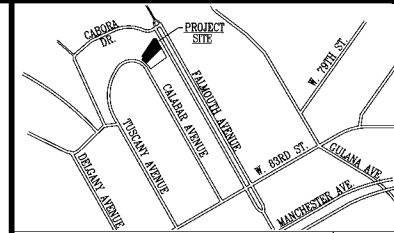
**Project Site**





NEW SINGLE FAMILY RESIDENCE:  
8100 S. CALABAR AVENUE  
PLAYA DEL REY, CA. 90293

NOTE:  
FIRE SPRINKLER REQUIRED  
PROPOSED BUILDING SHALL BE  
FULLY SPRINKLERED (NFPA 13D)



VICINITY MAP  
N.T.S.

GENERAL NOTES:

1. All dimensions on these architectural drawings are to the face of stud, to the face of masonry, to centerline of openings or as indicated. Dimensions shall take precedence over scaled drawings and specifications shall take precedence over notes on drawings. All architectural drawings shall be considered complimentary.
2. Contractor shall furnish all labor, materials and services necessary to complete the work indicated on these architectural drawings and specifications.
3. Contractor shall be solely responsible for construction means, methods, scheduling and safety. Contractor shall keep site reasonably clean and secure over night and over periods of delay or work stoppage longer than 24 hours to prevent damage, theft and vandalism. Contractor shall make reasonable efforts to keep all unauthorized persons off site during construction. At the end of construction contractor shall thoroughly clean project, including but not limited to all glazing, flooring, and all other exposed surfaces.
4. Contractor shall be solely responsible for obtaining all inspections and utility permits required by all applicable government officials. Notify architect at least 24 hours before all building inspections. All work and procedures shall conform to local building codes and regulations and to Uniform Building Code, most recent edition. Bring all conflicts, omissions, and errors discovered on these architectural drawings to the attention of the architect.
5. Contractor, sub-contractor and all of their employees shall verify all existing conditions and dimensions in the field before start of the work and shall become thoroughly familiar with these architectural drawings and specifications before submitting bids on any part of the project.
6. Erect and maintain job signage of architect as directed by architect on site and keep clean and unobstructed from view by the public.

PROJECT INFORMATION

PROJECT ADDRESS: 8100 S. CALABAR AVE. PLAYA DEL REY, CA. 90293	CONSTRUCTION TYPE: V-B FULLY SPRINKLERED (NFPA 13D) SEE NOTE #11 SHT. A-1.0
OWNER / ADDRESS: MR. RAFT GORGIS 1024 HARDING AVE. SUITE 202 VENICE, CALIF. 90291	ZONING: R1-1
SCOPE OF WORK: NEW TWO STORY RESIDENCE W/ ATTACHED 2-CAR GARAGE	OCCUPANCY TYPE: R-3 / U
LEGAL DESCRIPTION: LOT 19, BLK. - , TRACT 9809 M.B. 145 PG. 01/98 COUNTY OF LOS ANGELES, CALIFORNIA A.P.N. 4115-014-025	CODES: L.A.B.C. 2017 ED. L.A. GREEN BUILDING CODE 2017 ED.

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SHT. 2	MOMENT FRAME TABLES
SHT. 3	MOMENT FRAME DETAILS
SHT-1	SITE SURVEY

REVISIONS	BY

BIJAN AZADI AIA  
ARCHITECT - ASSOCIATES

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8100 S. CALABAR AVENUE  
PLAYA DEL REY, CA. 90293

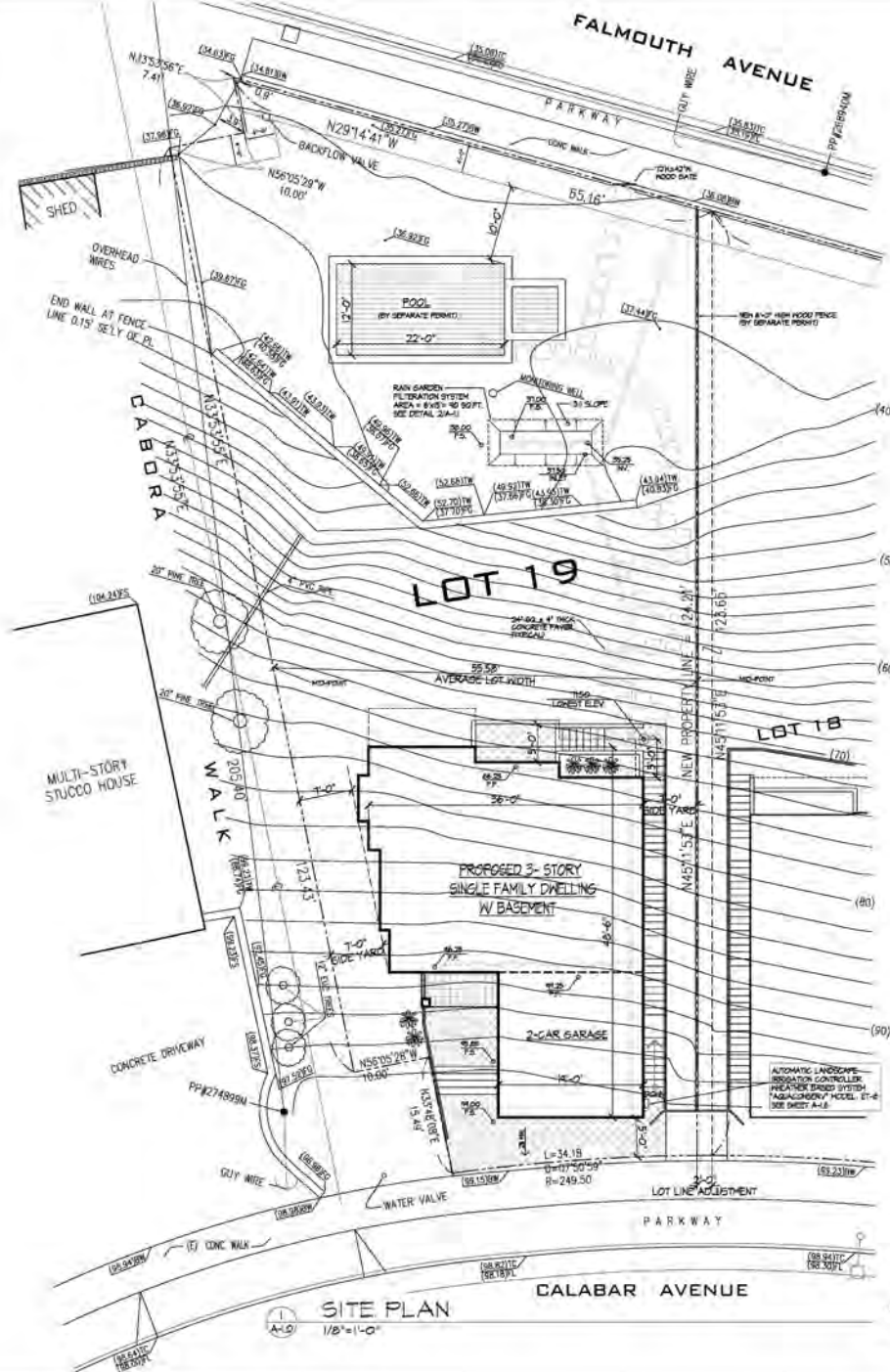
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## Exhibit 2

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# PREVAILING SETBACK CALCULATOR

HSE. NO.	LOT	FRONTAGE	SETBACK
8244	1	—	NOT INCLUDED
8238	2	50.0'	23.0'
8234	3	50.0'	3.0'
8228	4	50.0'	1.5'
8222	5	50.0'	12.0'
8218	6	50.0'	12.0'
8214	7	50.0'	2.0'
8208	8	50.0'	16.0'
8204	9	50.0'	0.5'
8200	10	50.0'	13.0'
8140	11	50.0'	0.5'
8134	12	50.0'	2.25'
8130	13	50.0'	1.5'
8125	14	50.0'	1.25'
8116	15	50.0'	1.25'
8110	16	50.0'	1.0'
8110	17	47.65'	2.75'
8104	18	40.05'	VACANT
8100	19	34.18'	SUBJECT SITE
TOTAL			596.45'

TOTAL FRONTAGE OF ALL LOTS: 871.88'  
MINIMUM REQUIRED FRONTAGE OF 40%: 871.88' x .40 = 348.75'  
TOTAL LENGTH OF FRONTAGE W/ SETBACKS WITHIN RANGE OF 0.0' TO 10.0' (SPITE NOT INCLUDED) = 547.89'  
TOTAL SUM OF FRONTAGE USED = 547.89' > 348.75'  
(MORE THAN 40% ITS OKAY)  
AVERAGE SETBACK OF THESE LOTS: 17.6'/11 = 1.59'  
PREVAILING SETBACK: 1'-7"

## RAIN GARDEN FILTRATION SYSTEM

ROOF AREA: 1,250 S.F.  
DRIVEWAY & PAVEMENTS, PERMEABLE  
TOTAL AREA: 1,250 S.F.

RAIN GARDEN W/ LINER AREA REQUIRED:  
1,250 S.F. x 0.01 = 80.1 S.F.

RAIN GARDEN AREA PROVIDED: 80 S.F.

## PAVEMENTS

DRIVEWAY = 205 S.F. PERMEABLE  
WALKWAY AT FRONT = 75 S.F. PERMEABLE  
REAR YARD = 80 S.F. PERMEABLE  
WALKWAY DOWN TO POOL AREA = 110 S.F.

TOTAL PAVEMENT = 470 S.F.

TOTAL PERMEABLE = 360 S.F.

PERCENTAGE PERMEABLE = 76.56%

## AREA INFORMATION

LOT AREA (BEFORE LOT LINE ADJUSTMENT): 7,579 S.F.

LOT AREA (AFTER LOT LINE ADJUSTMENT): 7,332 S.F.

ALLOWABLE BUILDING AREA @ 45% = 3,299.4 S.F.  
7,332 x 0.45 = 3,299.4

RESIDENTIAL FLOOR AREA (RFA):  
(NOT INCLUDING EXTERIOR WALLS)

BASEMENT: (850 S.F.) 0 S.F. (EXEMPT)  
FIRST FLOOR: 1,130 S.F.  
SECOND FLOOR: 1,117 S.F.  
THIRD FLOOR: 800 S.F.

ATTACHED GARAGE:  
333 S.F. (200 S.F. ALLOWED)

TOTAL 3,180 S.F. < 3,299.4

FLOOR AREA PER ZONING CODE:  
(NOT INCLUDING EXTERIOR WALLS)

BASEMENT: 850 S.F.  
FIRST FLOOR: 1,130 S.F.  
SECOND FLOOR: 1,117 S.F.  
THIRD FLOOR: 800 S.F.

TOTAL 3,897 S.F.

FLOOR AREA FOR CALCULATION  
(INCLUDING EXTERIOR WALLS)

BASEMENT: 1,130 S.F.  
FIRST FLOOR: 1,130 S.F.  
SECOND FLOOR: 1,117 S.F.  
THIRD FLOOR: 800 S.F.  
TOTAL 4,177 S.F.

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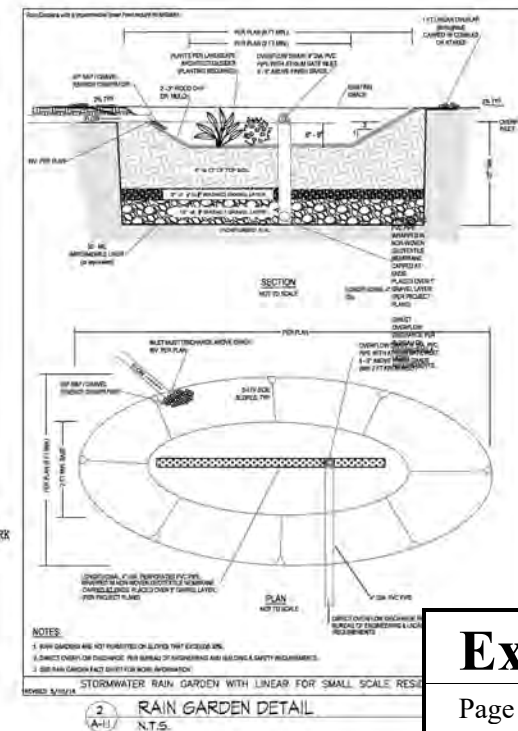
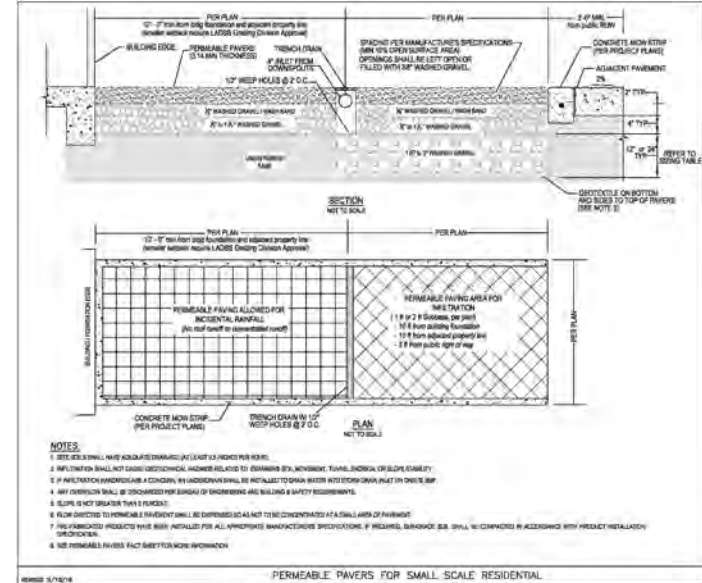
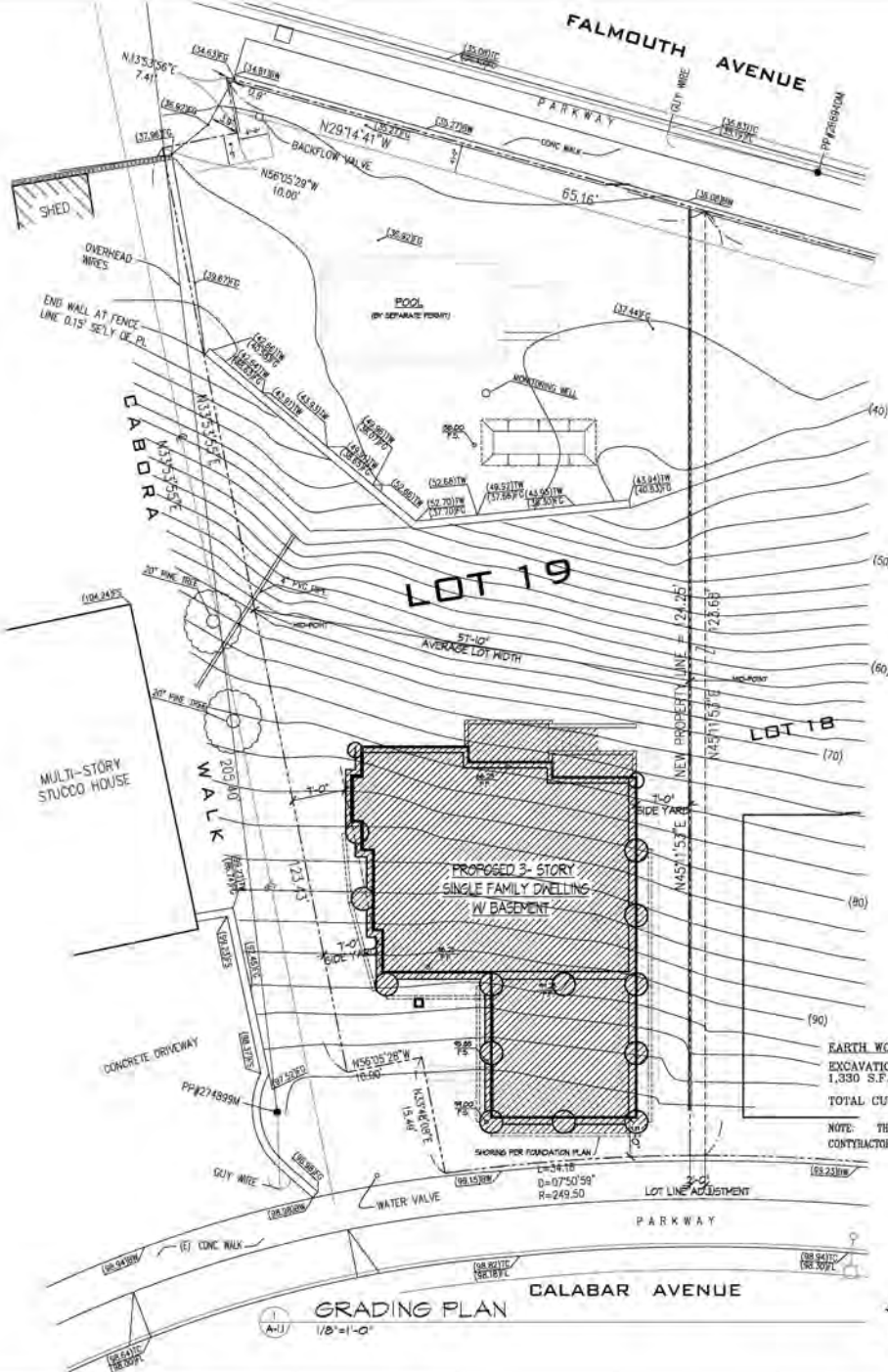
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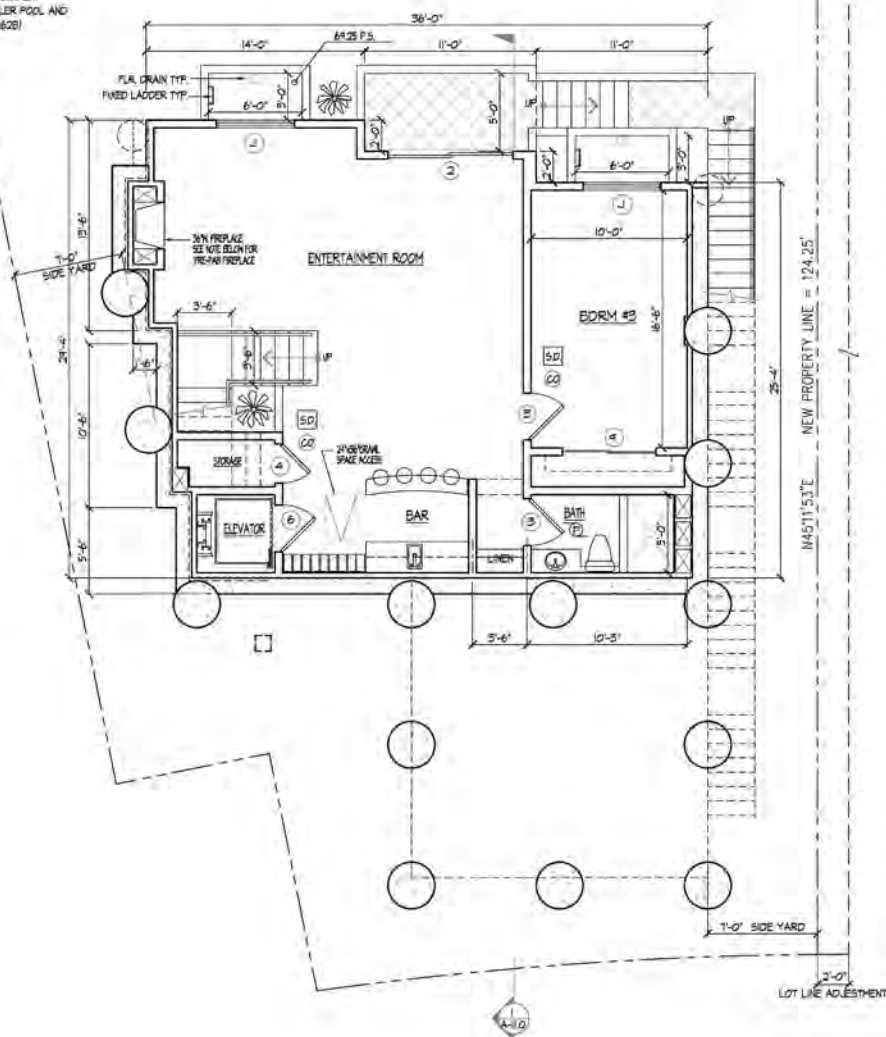


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# POOL SECURITY:

1. FOR NEW POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 5 SECONDS MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR (60" OF LABS).

2. FOR NEW POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLING PER ASSEMBLY BILL (AB) NO. 2477 (3/8/05).



\* PRE-FAB FIREPLACE BY "HEATILATOR" DIRECT VENT GAS APPLIANCE W/ SEALED COMBUSTION MODEL CD-4256, UL LISTED (UL 307B) (ANSI Z21.88-2005/CSA 2.33) SEE SHEET A-1.8

**BASEMENT PLAN**  
1/4"=1'-0"



NOTE: SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 910.9, VOL. 1, CMC 2011. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.

NOTE: SMOKE DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 3 FEET FROM DOOR TO KITCHEN OR BATH ROOM OR SUPPLY AIR REGISTERS.

NOTE: PROVIDE AN ARC-FAULT CIRCUIT-INTERRUPTER IN ALL SLEEPING ROOMS.

\* NEWLY INSTALLED BATH ROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

NEWLY INSTALLED BATH ROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VERIFICATION SYSTEM MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

## LEGEND

- SD HARDWIRED SMOKE DETECTOR PER CODE (910.9.1)
- ED ELECT. EXHAUST FAN (50 CFM MIN "ENERGY STAR" COMPLIANT AND TERMINATE TO THE OUTSIDE OF T CONTROLLED BY A HUMIDISTAT SEE NOTES #24 & #25 ON GRN-14
- CO CARBON MONOXIDE DETECTOR ALL BEDROOMS OR AS INDICATED (HARDWIRED)

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BIJAN AZADI, AIA  
ARCHITECT & ASSOCIATES

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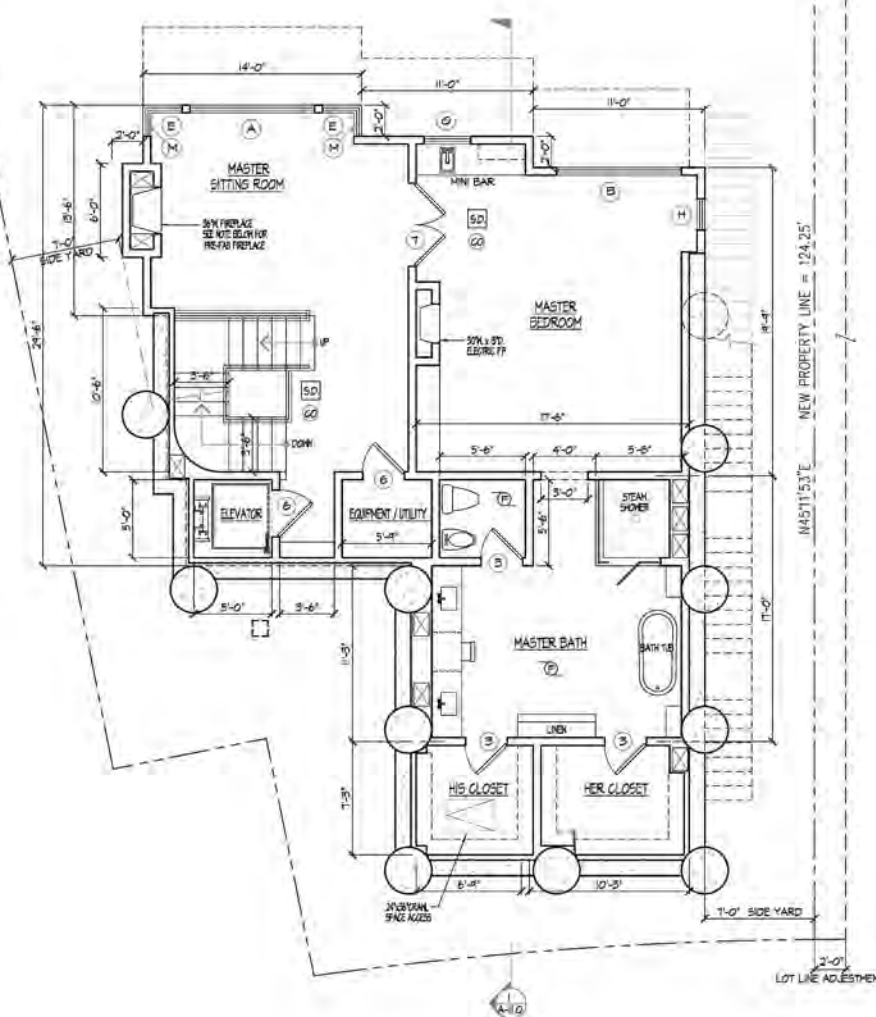
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\* PRE-FAB FIREPLACE BY "HEATILATOR" DIRECT VENT GAS APPLIANCE W/ SEALED COMBUSTION MODEL CD-4256, UL LISTED (UL 307B) (ANSI Z21.88-2005/CSA 2.33) SEE SHEET A-1.8

**FIRST FLOOR PLAN**  
1/4"=1'-0"

- NOTE: SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 910.9, VOL. 1, CGC 2011  
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- LEGEND**
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  - CO CARBON MONOXIDE DETECTOR ALL BEDROOMS OR AS INDICATED (HARDWIRED)

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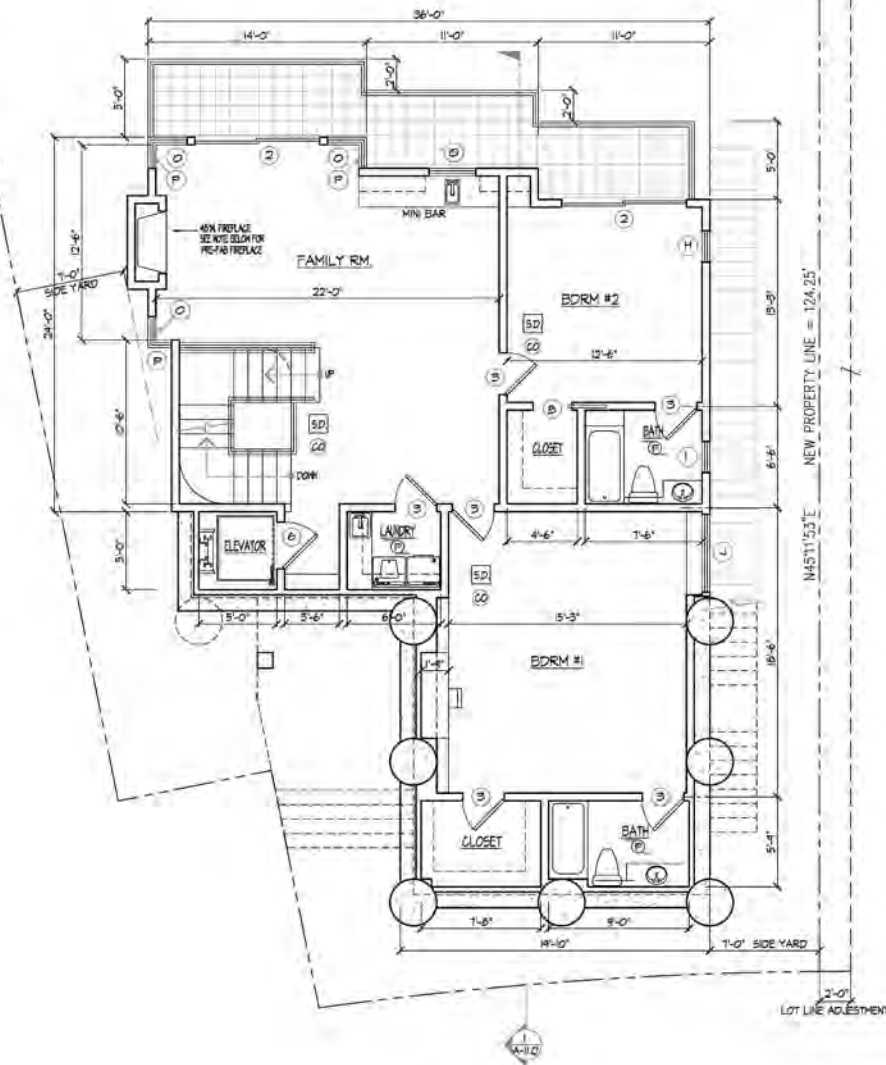
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\* PRE-FAB FIREPLACE BY "HEATILATOR" DIRECT VENT GAS APPLIANCE W/ SEALED COMBUSTION MODEL CD-4236, UL LISTED (UL 307B) (ANSI Z21.88-2009/CSA 2.39) SEE SHEET A-1.8

SECOND FLOOR PLAN  
1/4"=1'-0"

- NOTE: SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 910.9, VOL. 1, CBC 2011  
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#### LEGEND

- SD HARDWIRED SMOKE DETECTOR PER CODE (910.9.1)
- EF ELECT. EXHAUST FAN (50 CFM MIN "ENERGY STAR" COMPLIANT AND TERMINATE TO THE OUTSIDE OF T CONTROLLED BY A HUMIDISTAT SEE NOTES #24 & #25 ON GRN-14
- CO CARBON MONOXIDE DETECTOR ALL BEDROOMS OR AS INDICATED (HARDWIRED)



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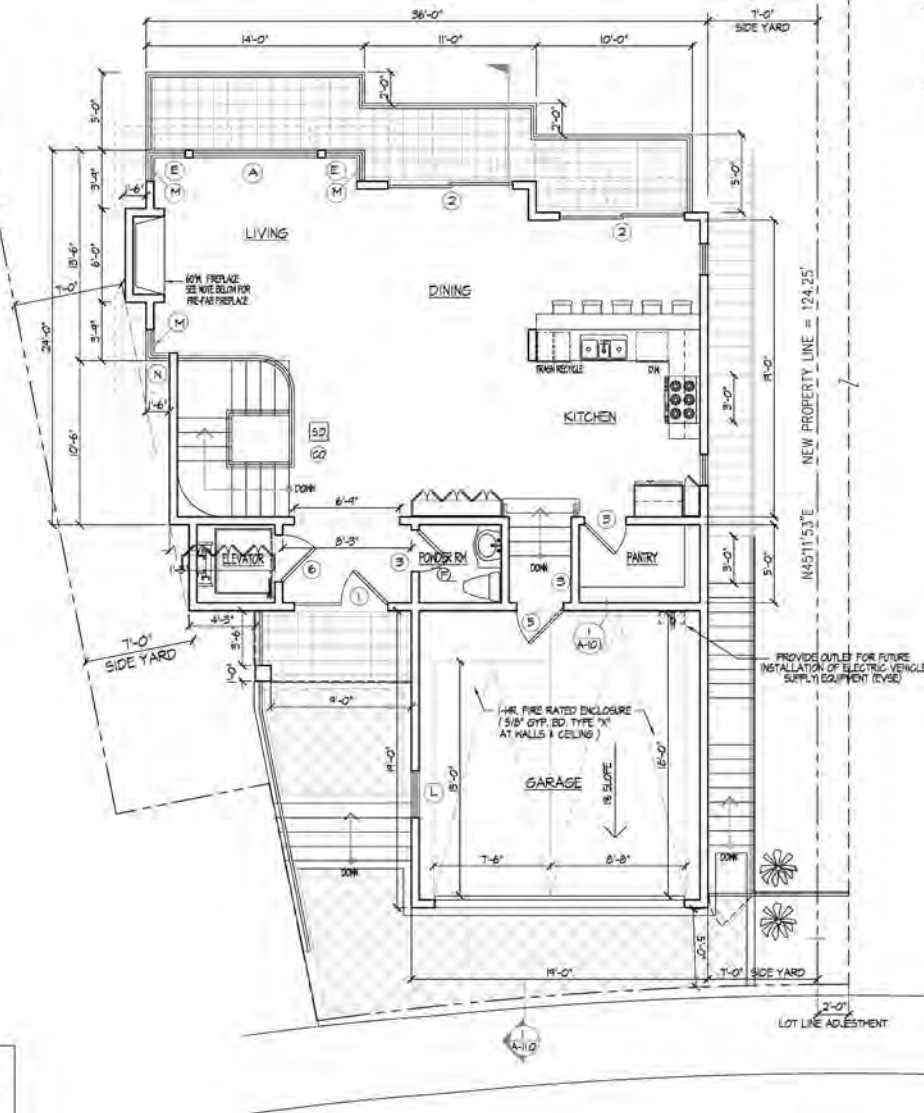
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NOTE: SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 910.9, VOL. 1, CBC 2011.  
SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL.  
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- FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).
- PROVIDE A MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY, INSTALLED TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUB PANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX OR ENCLOSURE. (SEE LOCATION INSIDE GARAGE ON FLOOR PLAN)
  - SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
  - A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUB PANEL AND NEXT TO THE RACEWAY TERMINATION POINT.

\* PRE-FAB FIREPLACE BY "HEATILATOR" DIRECT VENT GAS APPLIANCE W/ SEALED COMBUSTION MODEL CD-4256, UL LISTED (UL 307B) (ANSI Z21.88-2009/CSA 2.39) SEE SHEET A-1.8

THIRD FLOOR PLAN  
1/4"=1'-0"



- LEGEND
- SD HARD-WIRED SMOKE DETECTOR PER CODE (910.9.1)
  - EF ELECT. EXHAUST FAN (50 CFM MIN "ENERGY STAR" COMPLIANT AND TERMINATE TO THE OUTSIDE OF THE BUILDING. CONTROLLED BY A HUMIDISTAT. SEE NOTES #24 & #25 ON GRN-14)
  - CO CARBON MONOXIDE DETECTOR (HARDWIRED)

## Exhibit 2

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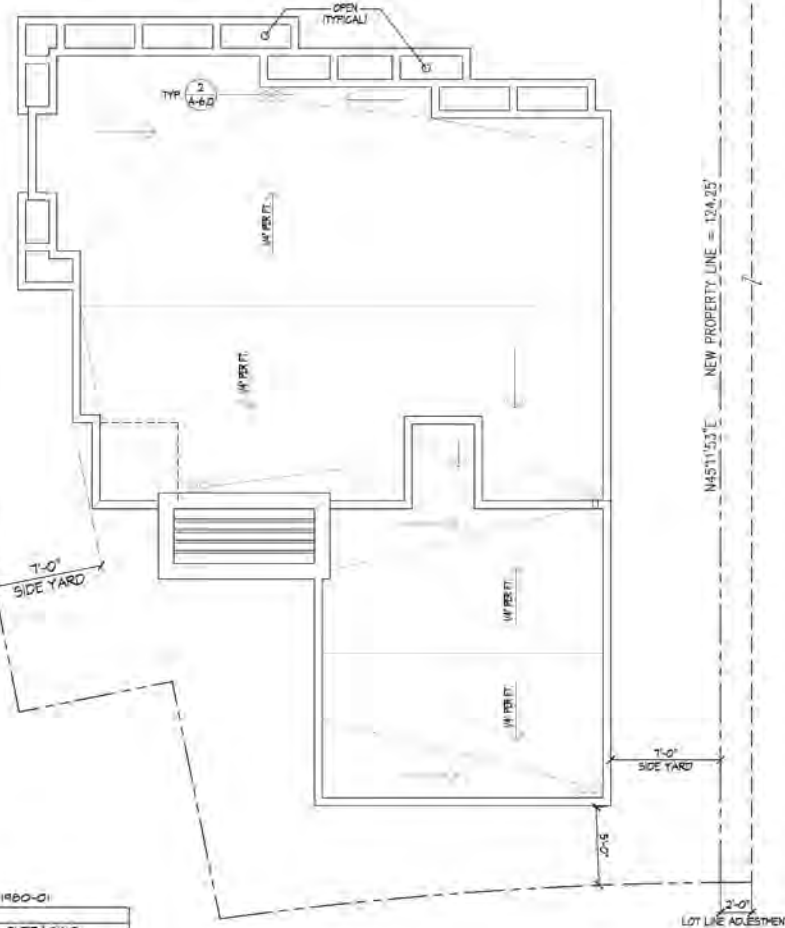


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# NOTES

- 1- ATTIC VENT OPENING SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX. OPENING
- 2- PROVIDE A KEEL SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MIN. OF 4 INCH ABOVE THE EARTH AND 2 INCH ABOVE PAVED AREA
- 3- VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A 36 INCH WIDE UNDERLAYMENT OF 12 POUND MINERAL SURFACED NON PERFORATED GAP SHEET MEETING ASTM D3909 RUNNING THE FULL LENGTH OF THE VALLEY
- 4- ROOF BUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS
- 5- ALL DOWNSPOUTS TO BE CONNECTED TO RAIN GARDEN FILTRATION SYSTEM PER SITE PLAN 1/A-1.0
- 6- UNIT SKYLIGHTS SHALL BE LABELED BY A L.A. CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED) R308.6.1



NOTE: APPLY APPROVED BRIGHT WHITE COLOR REFLECTIVE ROOF COATING TO ALL FLAT ROOF SURFACES (OVER 15% OF TOTAL ROOF AREA)

BUILT-UP ROOFING BY: "FIRESTONE BUILDING PRODUCTS" ASTM E 1980-01

NEW BUILT-UP ROOFING CLASS "A"			
BASE SHEET	PLY-SHEETS	MEMBRANE	SURFACINGS
1- LAYER PERLITE/URETHANE COMPOSITE	2- LAYERS OF G1 OR G2	1- LAYER SBS* (FR TORCH) ICC ESR #3464	GRAVEL 4 LB/ SF

## PRODUCT SPECIFICATIONS:

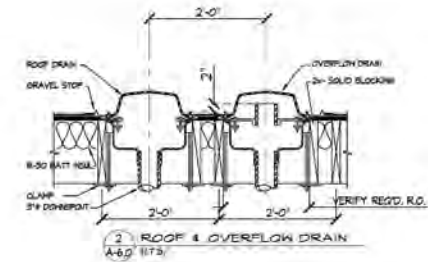
INITIAL: SOLAR EMITTANCE = 0.81 SOLAR REFLECTANCE = 0.71 SRI = 81  
 5-YEAR: SOLAR EMITTANCE = 0.81 SOLAR REFLECTANCE = 0.71 SRI = 81

(SEE ROOFING MATERIAL SPECS ON SHEET A-1.6)



ROOF PLAN

1/4"=1'-0"



- NOTES:
- 1- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS
  - 2- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER. THE PANEL SHALL BE POSITIONED AT THE OPPOSITE END OF THE INPUT FEEDER LOCATION OR MAIN AND SHALL BE PERMANENTLY MARKED "SOLAR ELECTRIC"
  - 3- A COPY OF THE CONSTRUCTION COMPATIBLE DOCUMENT INDICATING FROM ENERGY CODE SECTIONS SHALL BE PROVIDED TO THE OWNER

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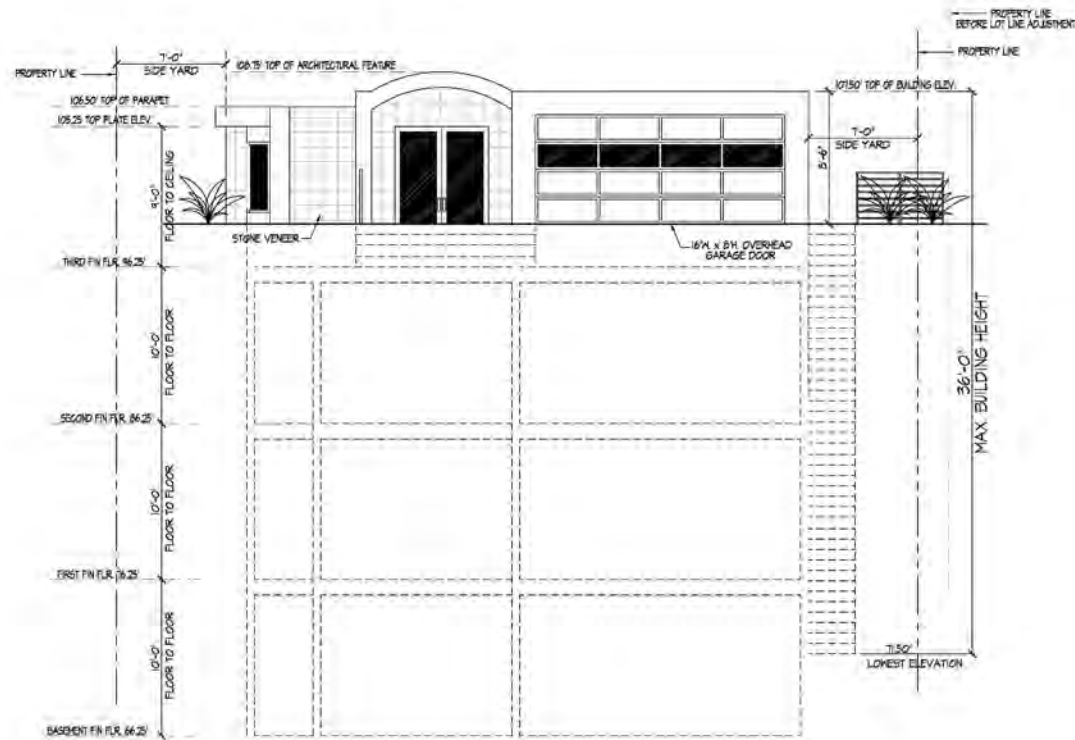
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SOUTH ELEVATION

1/4"=1'-0"

NOTE:  
SEE DETAILS 2/A-B.O & 3/A-12.1  
FOR FLASHING AT WINDOWS AND  
PATIO DOORS

ANTI-GRAFFITI COATING  
4" HIGH MIN. BY  
"GENESIS"  
L.A.R.R. #

NOTE:  
BUILDING SHALL HAVE APPROVED  
BUILDING NUMBERS OR APPROVED  
PLACED IN A POSITION THAT IS 10'  
FROM THE STREET OR ROAD FRONT

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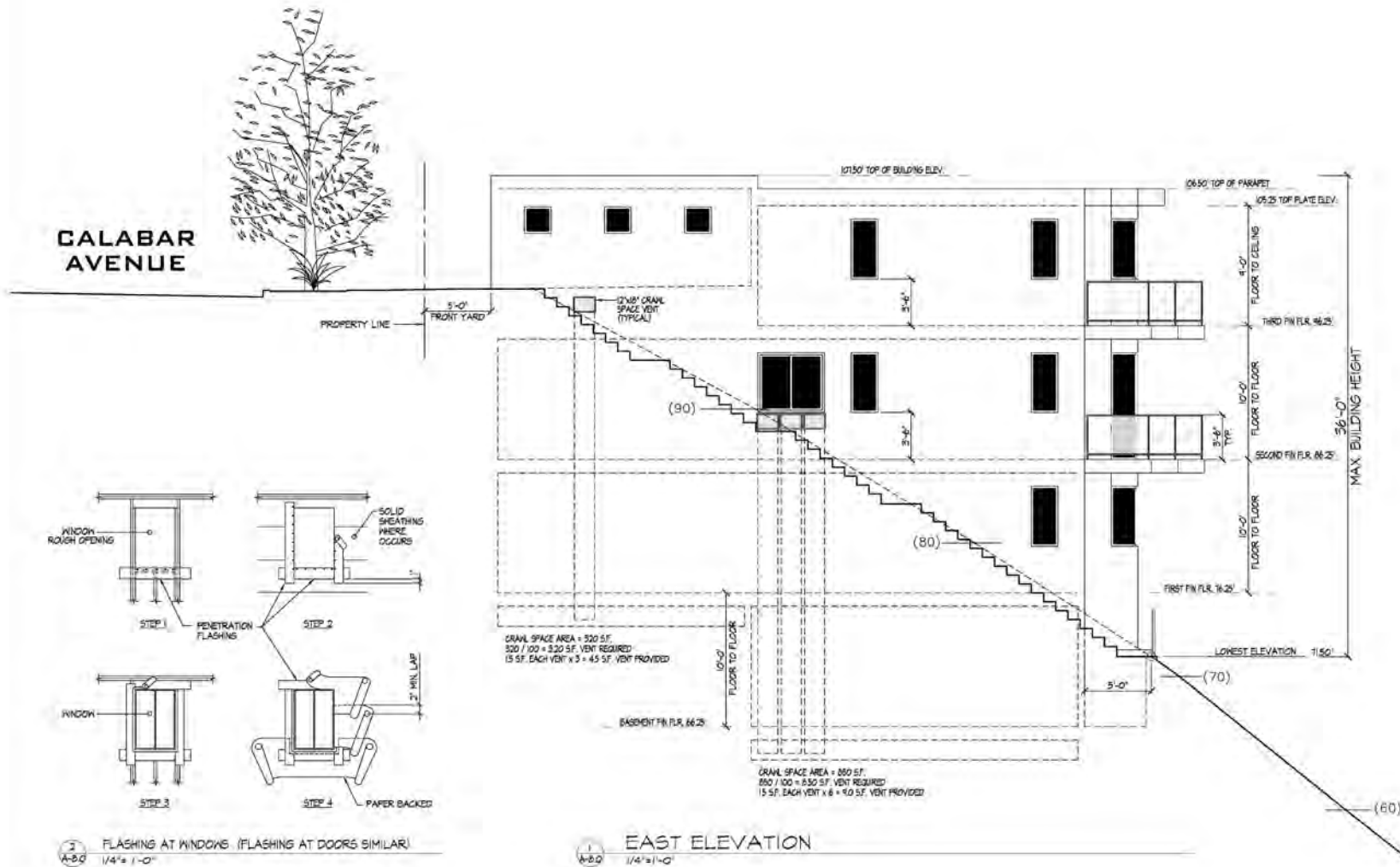
**BIJAN AZADI, AIA**  
ARCHITECT + ASSOCIATES

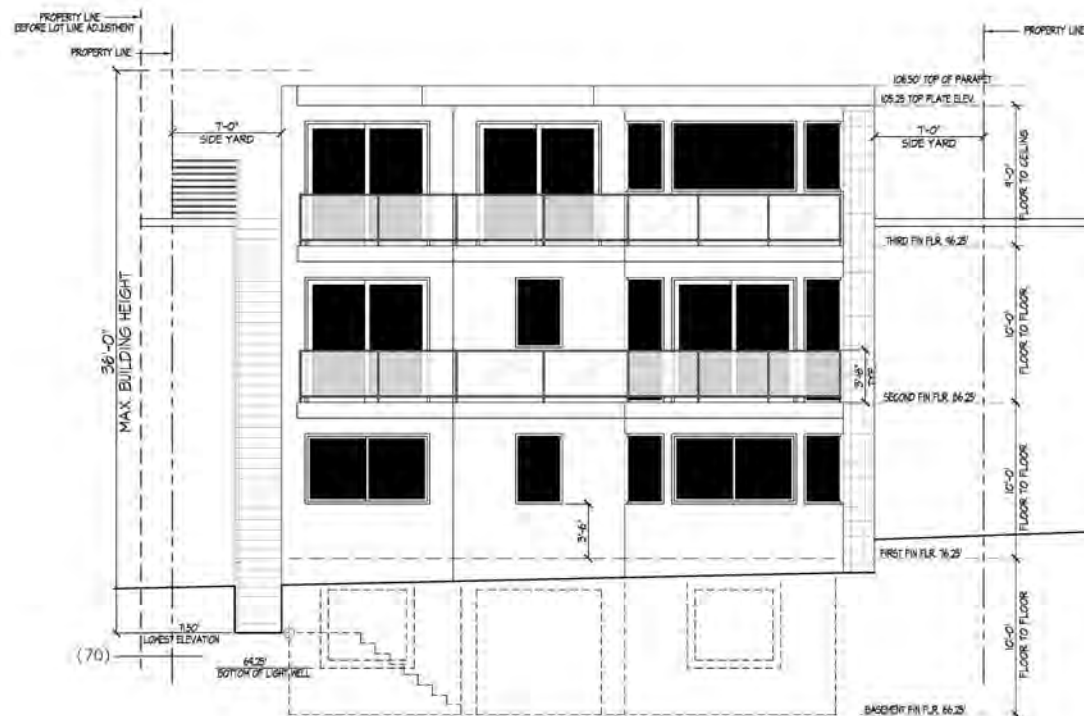
Life Fellow ASHRAE, Secretary  
IEEE, ASCE, ASHRAE, IASME  
FSA, ASHRAE, ASHRAE



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NORTH ELEVATION

1/4" = 1'-0"

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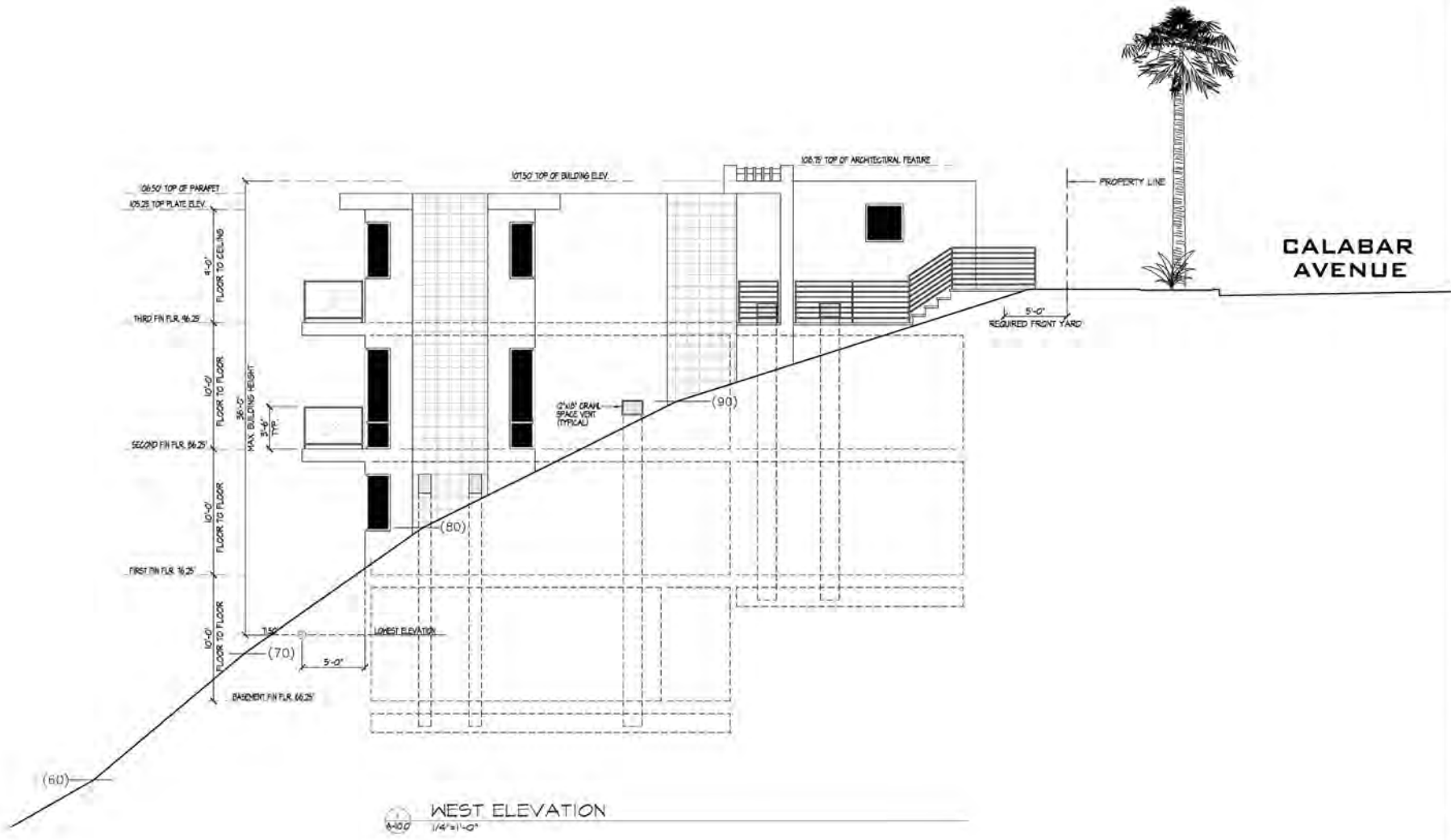
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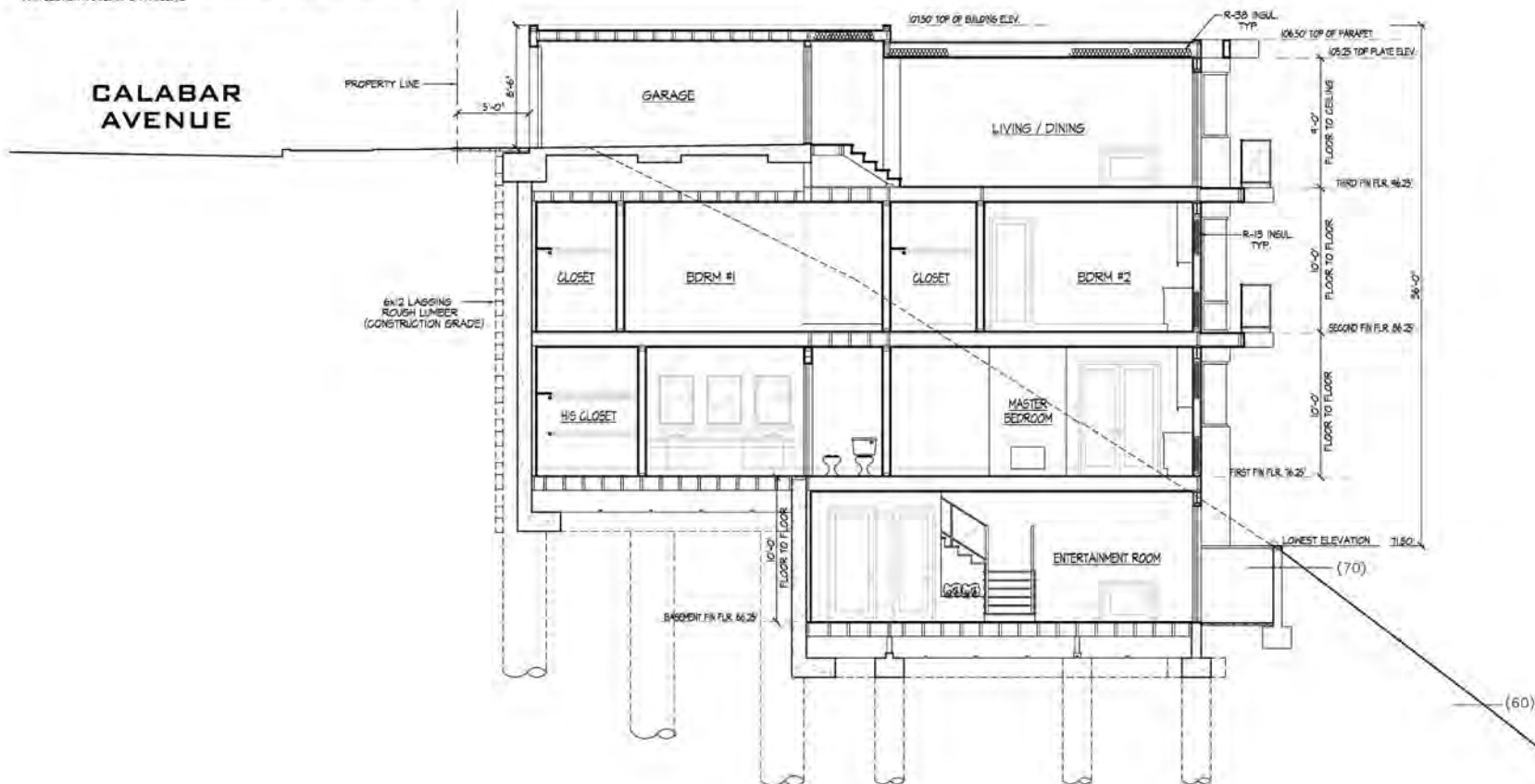


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# NOTES

- 1- DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR/CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (1000 S.F. BETWEEN DRAFT STOPS)
- 2- DRAFT STOP SHALL BE PROVIDED WITHIN ATTICS, MANGARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM (3000 S.F. BETWEEN DRAFT STOPS)
- 3- HORIZONTAL OCCUPANCY SEPARATION MUST BE SUPPORTED BY A STRUCTURAL SYSTEM HAVING EQUIVALENT FIRE RESISTIVE PROTECTION (104)
- 4- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. NO. 26 GAGE SHEET METAL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE. (R 302.5.2)
- 5- OTHER PENETRATIONS OF GARAGE / DWELLING CEILING AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R 302.11, ITEM 4 (R 302.5.3)
- 6- IN COMBUSTIBLE CONSTRUCTION FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE (R 302.11)
- 7- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR / CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQ. FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS (R 302.12)
- 8- THROUGH PENETRATIONS OF FIRE RESISTANCE RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R 302.4.1, OR R 302.4.2



SECTION  
1/4" = 1'-0"

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**Surveyed  
Properties**



# Streetscape from Top of Slope (Calabar Ave)



## Exhibit 4

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## Exhibit 4

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# Streetscape from Toe of Slope (Falmouth Ave)



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