CALIFORNIA COASTAL COMMISSION

South Coast District Office 301 E Ocean Blvd., Suite 300 Long Beach, CA 90802-4302 (562) 590-5071



W15d

5-22-0659 (Girgis) FEBRUARY 8, 2023

EXHIBITS

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Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 - Survey Area Map

Exhibit 4 – Streetscape Views





NEW SINGLE FAMILY RESIDENCE:

8104 S. CALABAR AVENU PLAYA DEL REY, CA. 90293



N.T.S. GENERAL NOTES:

- All dimensions on these architectural drawings are to the face of stud, to the face of masorry, to centerline of openings or as indicated. Dimensions shall take precedence over-scaled drawings and specifications shall take precedence over notes on drawings. All architectural drawings shall be considered complimentary.
- Contractor shall furnish all labor, materials and services necessary to complete the work indicated on these architectural drawings and specifications.
- Contractor shall be solely responsible for construction means, methods, scheduling and safety. Contractor shall keep site reasonably clean and secure

over night and over periods of delay or work stappage langer than 24 hours to prevent damage, theft and vandalism. Contractor shall make reasonable efforts to keep all unauthorized persons off site during construction. At the end of construction, contractor shall thorouly clean project, including but not limited to all glazing, flooring, and all other exposed surfaces.

- Contractor shall be solely responsible for obtaining all inspections and utility permits required by all applicable government officials. Notify architect at least 24 hours before all bullding inspections. All work and procedures shall conform to local bullding codes and regulations and to Uniform Bullding Code. most recent edition. Bring all conflicts, omissions, and errors discovered on these architectural drawlings to the attention of the architect.
- Contractor, sub-contractor and all of their employees shall verify all existing conditions and dimensions in the field before start of the work and shall become thorouly familiar with these architectural drawings and specifications before submitting bids on any part of the project.
- Erect and maintain job signage of architect as directed by architect on site and keep clean and unobstructed from view by the public.

PROJECT INFORMATION		
PROJECT ADDRESS: 8104 S. CALABAR AVE. PLAYA DEL REY, CA. 90293	CONSTRUCTION TYPE: V-B FULLY SPRINKLERED (NFPA 13D) SEE NOTE #11 SHT. A-1.0	
OWNER / ADDRESS: MR. RAFI GIRGIS 1024 HARDING AVE. SUITE 202 VENICE, CALIF. 90291	ZONING: R1-1	
SCOPE OF WORK: NEW TWO STORY RESIDENCE W/ ATTACHED 2-CAR GARAGE	OCCUPANCY TYPE: R-3 / U	
LEGAL DESCRIPTION: LOT 18 , BLK , TRACT 9809 M.B. 145 PG, 91/96 COUNTY OF LOS ANGELES, CALIFORNIA A.P.N. 4115-014-026	CODES: L.A.B.C. 2017 ED. L.A. GREEN BUILDING CODE 2017 E	

SHEET INDEX

COVER SHEET / PROJECT INFO. SITE PLAN GRADING PLAN SOILS REPORT APPROVAL LETTER TITLE 24 ENERGY CERTHICATES TITLE 24 MANDATORY MEASURES

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FOUNDATION PLAN
FIRST FLR. FRAMING PLAN
SECOND FLR. FRAMING PLAN
THIRD FLR. FRAMING PLAN
ROOF FRAMING PLAN
STRUCTURAL DETAILS
STRUCTURAL DETAILS
STRUCTURAL DETAILS S-3.0 S-4.0 S-5.0 S-6.0 S-6.1 S-6.2

HFX-1 HFX-2 "HARDY FRAME" DETAILS "HARDY FRAME" DETAILS SHT. 1 SHT. 2 SHT. 3 SHT-1 SITE SURVEY

NOTE: FIRE SPRINKLER REQUIRED PROPOSED BUILDING SHALL BE FULLY SPRINKLERED (NFPA 13D)



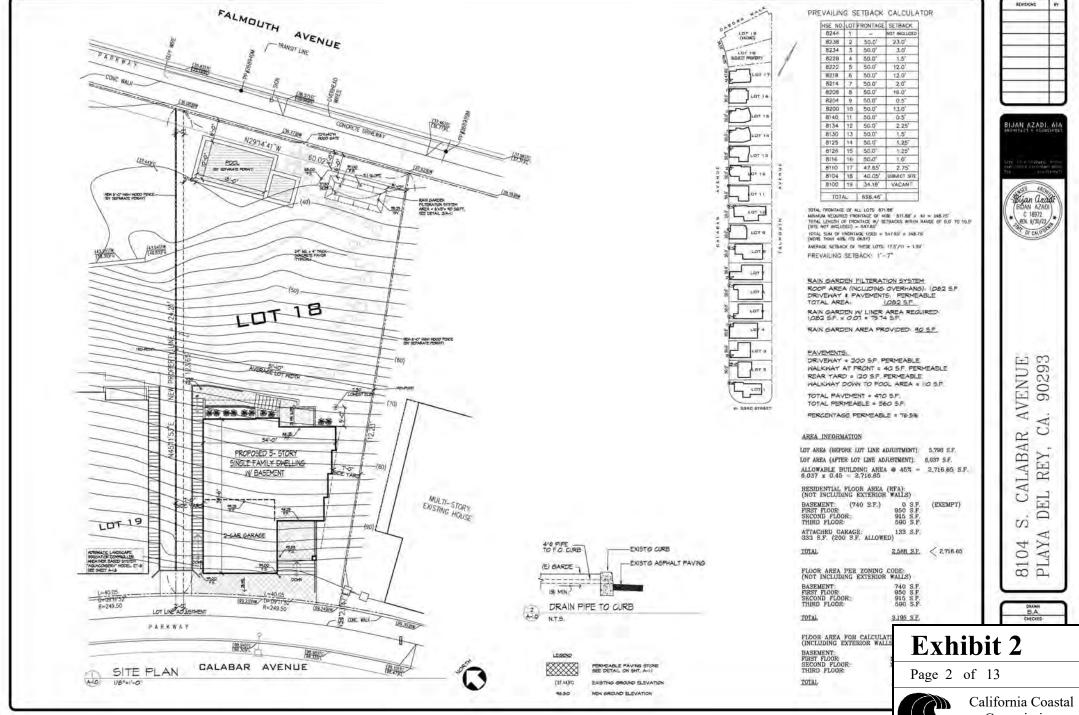


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Exhibit 2

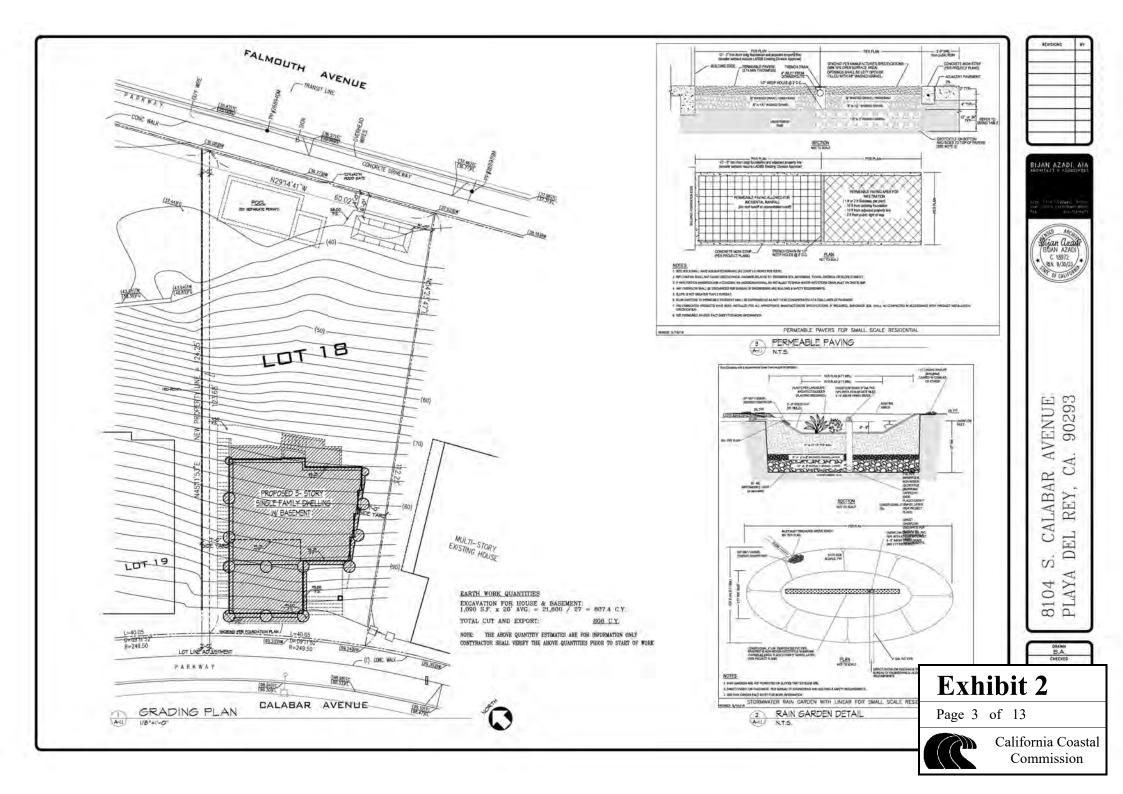
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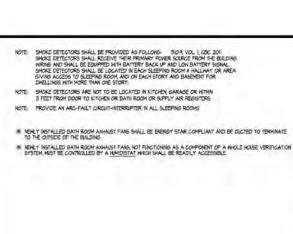


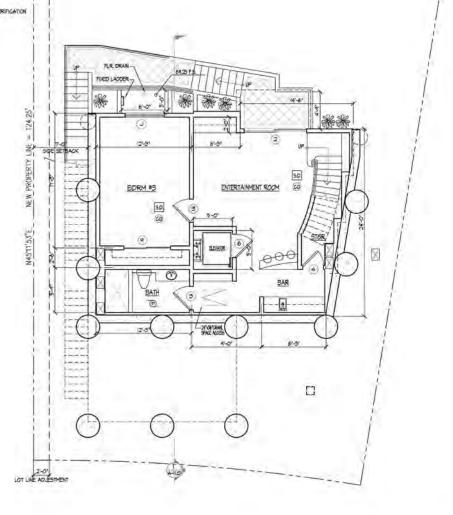




Commission







BASEMENT PLAN

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8104 S. CALABAR AVENUE PLAYA DEL REY, CA. 90293

B,A.

LEGEND

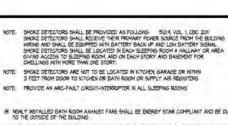
ELECT. EXHAUST FAN (50 CFM MI) TENERGY STAR" COMPLIANT AND TERMINATE TO THE OUTSIDE OF T CONTROLLED BY A HAMDISTAT SEE NOTES #24 # #25 ON GRN-14

CARBON MONOXIDE DETECTOR A ALL BEDROOMS OR AS INDICATE (HARDWIRED)



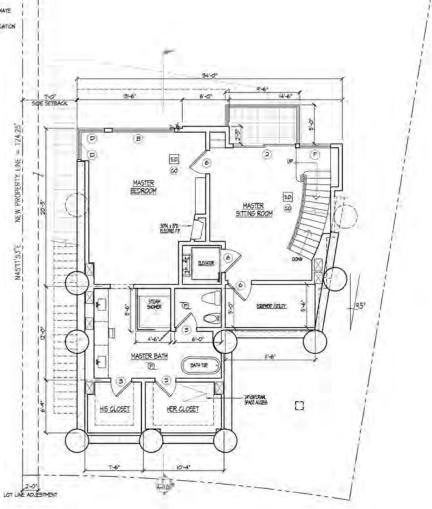
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* NEXLY INSTALLED BATH ROOM AXHAUST FANG SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

* NEWLY INSTALLED BATH ROOM ANAUST FAIG. NOT FUNCTIONING AS A COMPONENT OF A MHOLE HOUSE VERIFICATION SYSTEM, MUST BE CONTROLLED BY A <u>MAINDSTATE</u> WHICH SHALL BE READLY ACCESSIBLE.



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E

HARD-WIRED SMOKE DETECTOR SD.

ELECT, EXHAUST FAN (50 CFM MI) ENERGY STAR* COMPLIANT AND TERMINATE TO THE OUTSIDE OF CONTROLLED BY A HAMDISTAT SEE NOTES #24 # #25 ON GRN-14

CARBON MONOXIDE DETECTOR A ALL BEDROOMS OR AS INDICATE (HARDWIRED)



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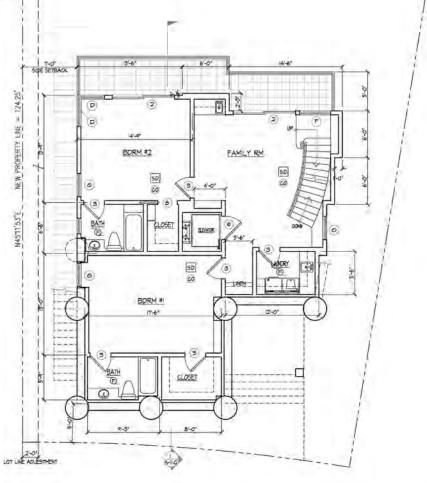


NOTE: SHOKE DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 3 FEET FROM DOOR TO KITCHEN OR BATH ROOM OR SUPPLY AIR REGISTERS.

NOTE: PROVIDE AN ARC-FAULT CIRCUIT-INTERRUPTER IN ALL SLEEPING ROOMS

* NEXLY INSTALLED BATH ROOM AXHAUST FANG SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

* NEWLY INSTALLED BATH ROOM ANAUST FAIG. NOT FUNCTIONING AS A COMPONENT OF A MHOLE HOUSE VERIFICATION SYSTEM, MUST BE CONTROLLED BY A <u>MAINDSTATE</u> WHICH SHALL BE READLY ACCESSIBLE.



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SD HARD-WIRED SMOKE DETECTOR PER CODE (310.R.I)

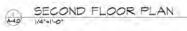
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SEE NOTES #24 1 #25 ON GRN-14

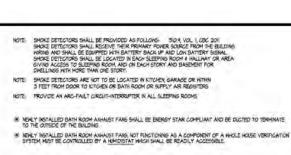
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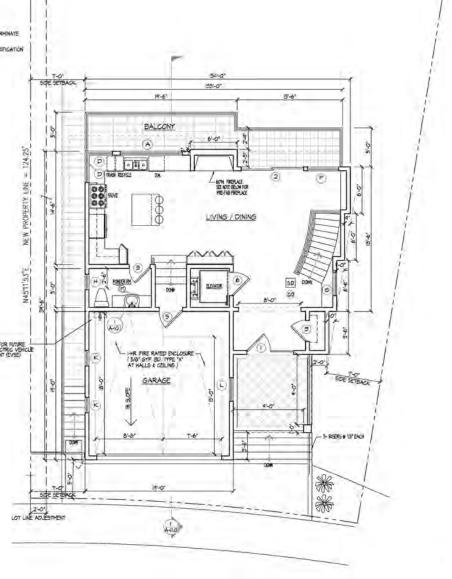


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FUTURE ELECTRIC VEHICLE SUPPLY BOUIPMENT (EVSE)

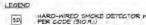
- O PROVIDE A MINIMAN I MINIME DIAMETER LISTER RACENAY METALLED TO ACCOMMODATE A DEDICATED 2007ACV VOLT RACHAY SHALL ORIGINATE AT THE MAN SERVICE OR SISE PAREL AND TERMINATE IN CLOSE PRODUMETY TO THE PROPRIED LOCATION OF THE CHARGING SYSTEM NITO A LISTED CASINET, DOX OR ENLOSING ISELUCION INSIDE SHARE ON FLORE PLAN)
- b. SUFFICIENT CONDUCTOR SIZING AND SERVICE CAPACITY TO INSTALL LEVEL 2 EVSE SHALL BE PROVIDED.
- L. A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PAREL OR SUB PAREL AND NEXT TO THE RACEMAY TERMINATION POINT.

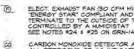
PRE-FAB FIREPLACE BY "HEATLATOR" DIRECT VENT GAS APPLIANCE, W SEALED COMBUSTION MODEL CD-4286, UL LISTED (UL 3018) (ANSI 22188-2005/CSA 238) SEE SHEET A-1.6



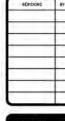


SD.





CARBON MONOXIDE DETECTOR A ALL BEDROOMS OR AS INDICATE (HARDWIRED)







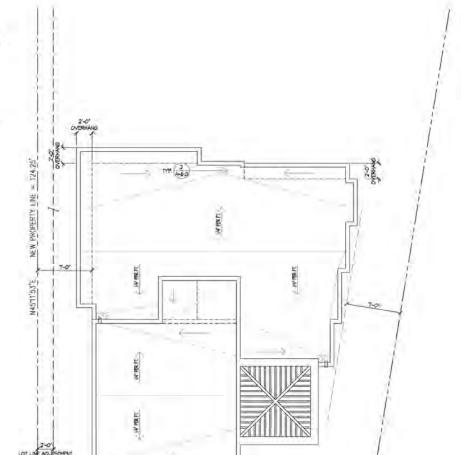
90293 VENUI V ALABA 2 > 0 Y 81 H B,A,

Exhibit 2

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- I- ATTIC VENT OPENING SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8" MIN. AND 1/4" MAX. OPENING
- 2- PROVIDE A MEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MIN. OF 4 INCH ABOVE THE EARTH AND 2 INCH ABOVE PAVED AREA
- 3- VALLEY FLASHING SHALL BE NOT LESS THAN 0.019 INCH (No. 36 GALYANZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A 36 INCH WIDE UNDERLAYMENT OF 12 POUND MINERAL SURFACED NON PERFORATED CAP SHEET MEETING ASTM 08909 RUNNING THE FULL LENGTH OF THE VALLEY
- #- ROOF BUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEERIS
- 5- ALL DOWNSPOUTS TO BE CONNECTED TO RAIN GARDEN FILTRATION SYSTEM PER SITE PLAN I/A-I.O.
- 6- UNIT SKYLIGHTS SHALL BE LABELED BY A L.A. CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED) R308.6.4



NOTE APPLY APPROVED BRIGHT WHITE COLOR REPLECTIVE ROOF COATING TO ALL FLAT ROOF SURFACES (OVER THE OF TOTAL ROOF AREA)

BUILT-UP ROOFING BY. FIRESTONE BUILDING PRODUCTS' ASTM E 1980-01

NEW BUILT-UP ROOFING CLASS "A"				
BASE SHEET	PLY-SHEETS	MAMBRANE	SURFACING	
- LAYER PERLITE/ URETHANE COMPOSITE	2- LAYERS OF SI OR S2	(FR TORCH)	GRAVEL 4 LB/ SF	

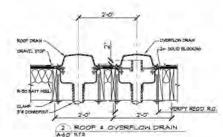
PRODUCT SPECIFICATIONS

INITIAL SOLAR EMITTANCE = 0.8T.

(SEE ROOFING MATERIAL SPEC'S ON SHEETA-1.6)











AVENUE A. 90293 ALABA REY. > PLA 0 81

NOTES
IN MAIN SERVICE PANEL SHALL HAVE A MINIMM
BASEAR RATING OF 200 AMPS
2. THE MAIN BECTRICAL SERVICE PANEL SHALL HAVE A
RESERVED SPACE TO ALLOW FOR MISSAUL ATTOM OF A
DOBLE FOCI GREAT BEENED
ELECTRIC MECHALLANDLA THE M
SEP PROFINISHED AT THE OPPOSI
INPUT FEEDER LOCATION OR M
AND SHALL BE PREVANENTLY IN
SOLAR ELECTRIC

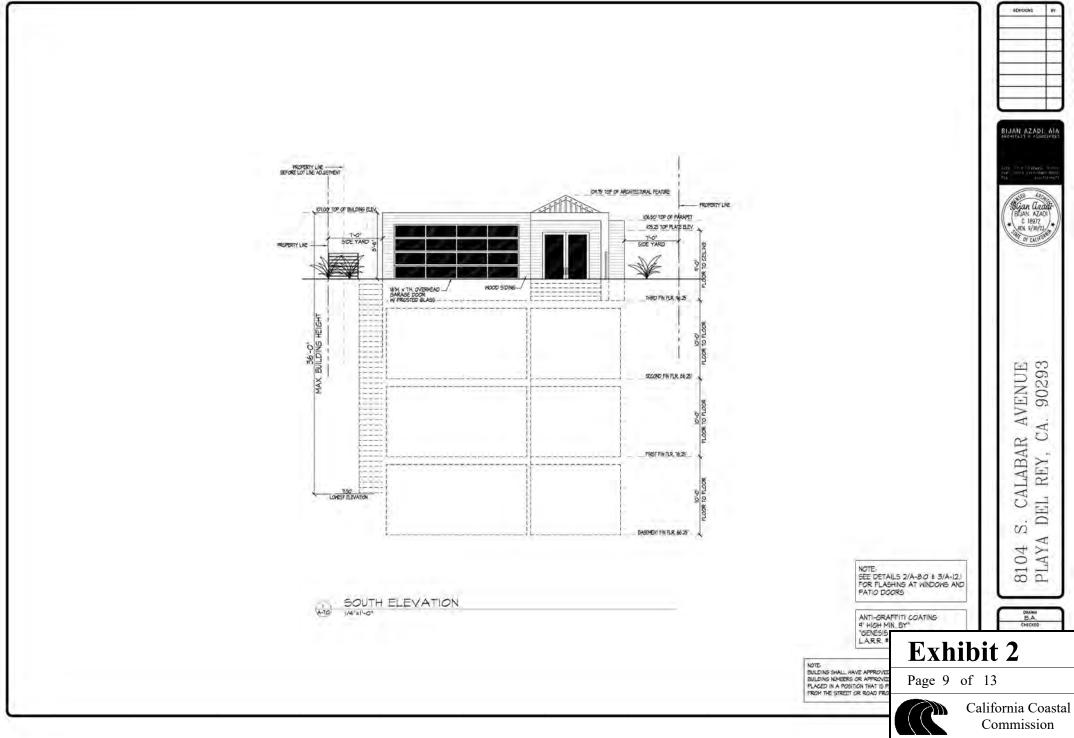
A LOCATION OF ME CONSTRUCTION

A COPY OF THE CONSTRUCTION COMPATBLE DOCLARDY INDICA FROM ENERGY CODE SECTIONS SHALL BE PROVIDED TO THE O

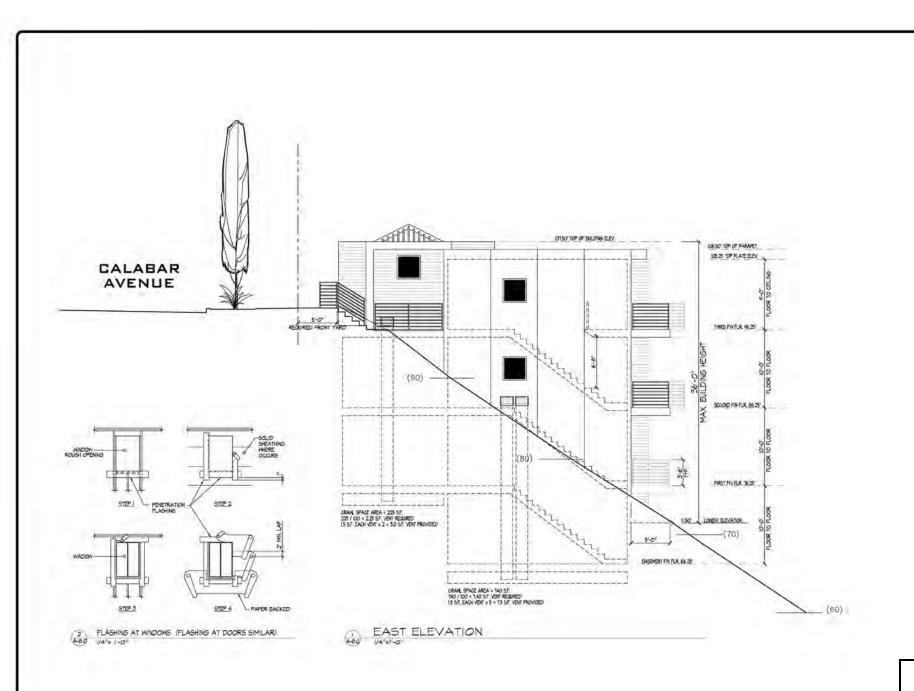
Exhibit 2

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Exhibit 2

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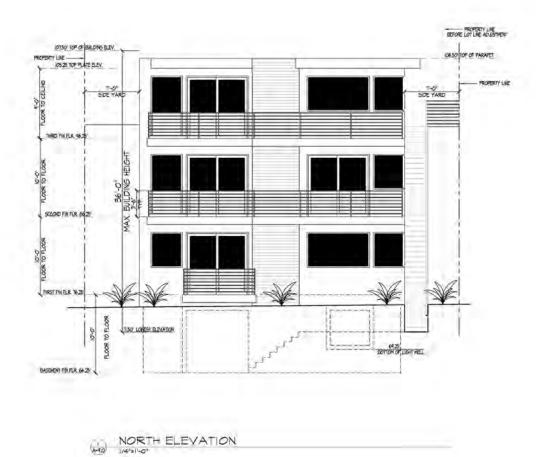
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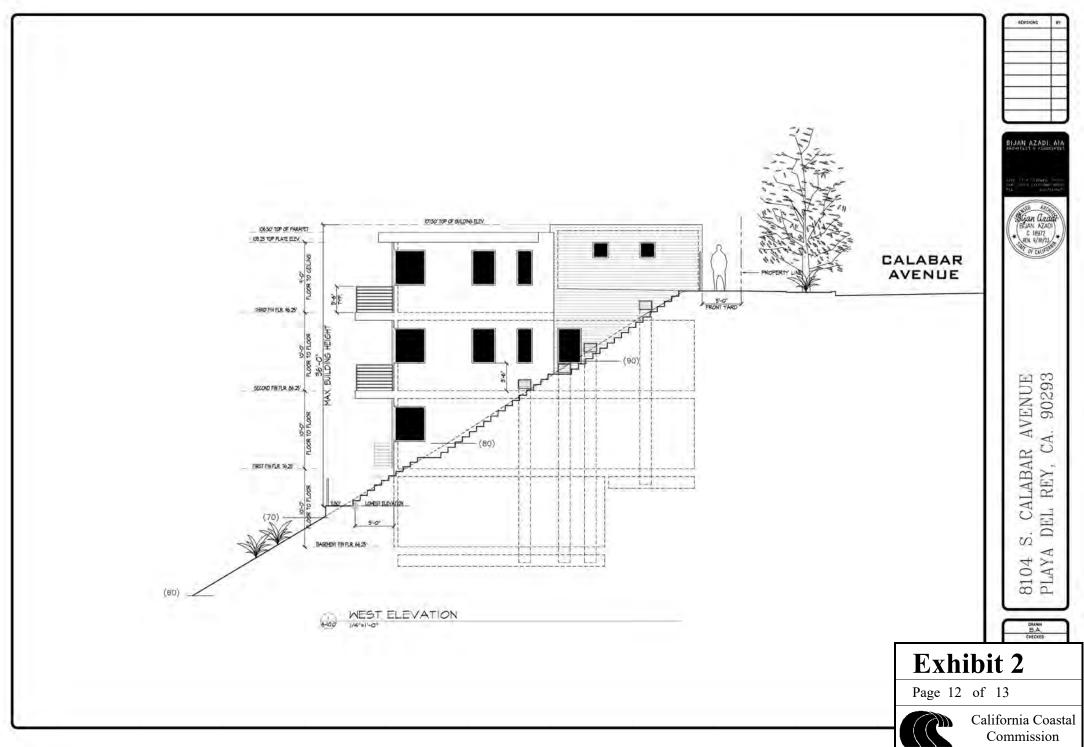
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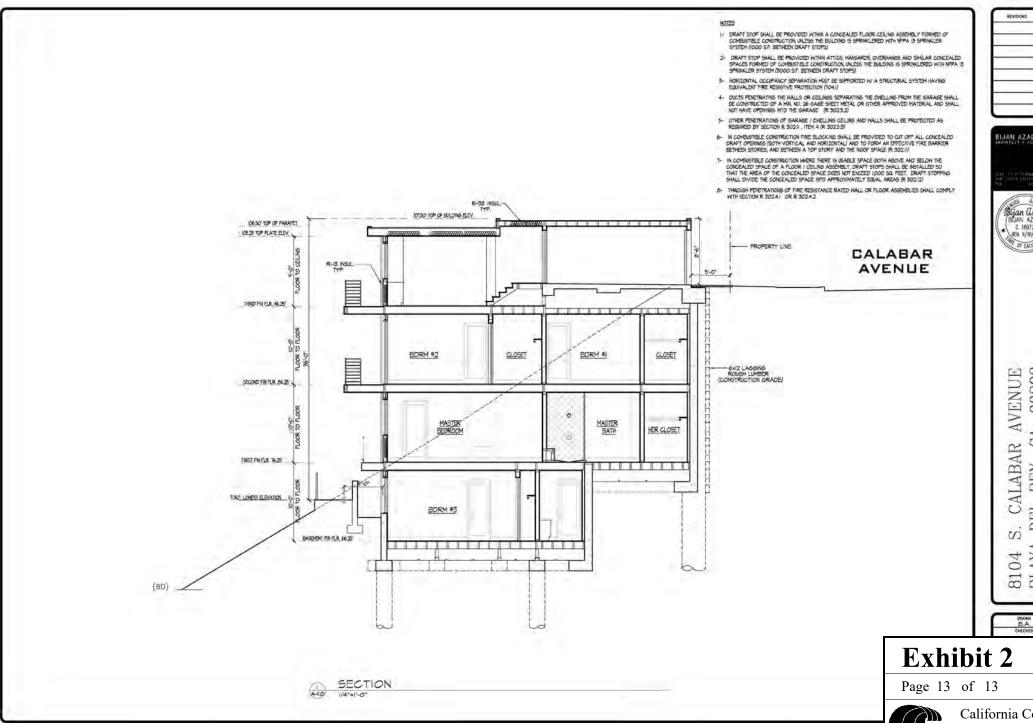
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AVENUE A. 90293 REY. > Y PI





Streetscape from Top of Slope (Calabar Ave)







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Streetscape from Toe of Slope (Falmouth Ave)







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