

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4830
(562) 590-5071



F15a

5-21-0558-A1 (Michaelson)

May 12, 2023

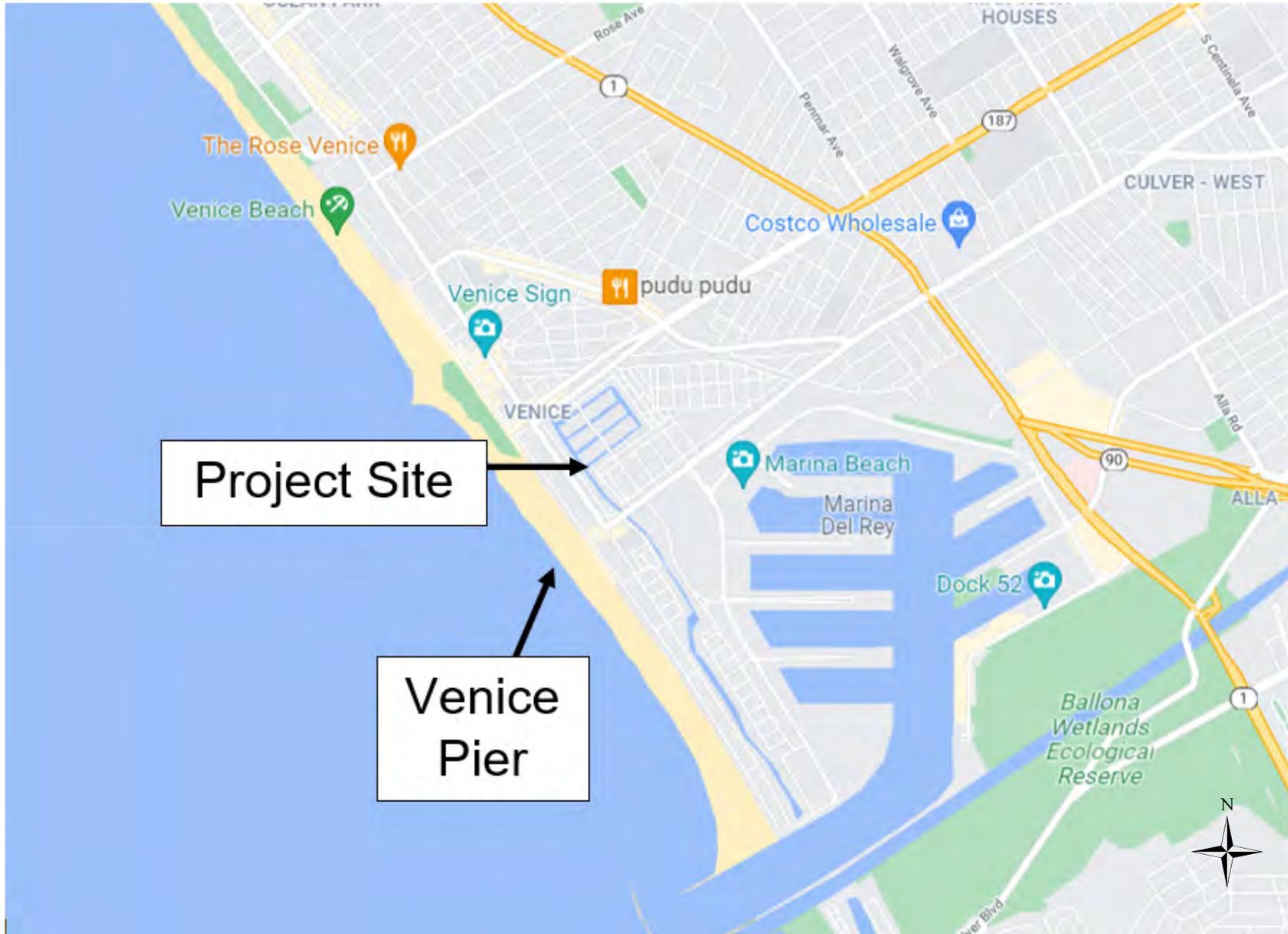
EXHIBITS

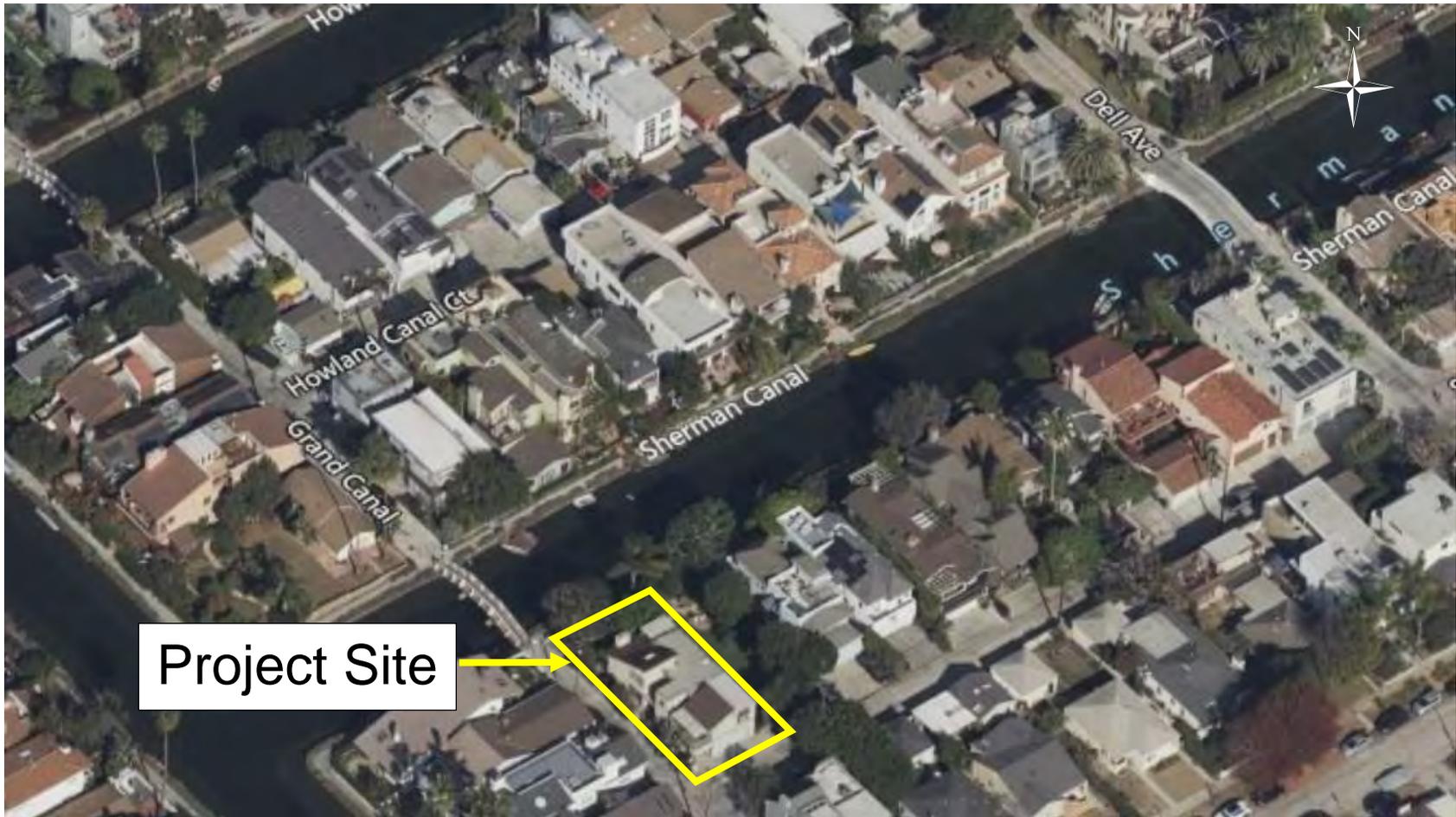
EXHIBIT 1 - VICINITY MAP AND PROJECT SITE

EXHIBIT 2 - PROJECT PLANS

EXHIBIT 3 - PERMEABLE YARD AREA

EXHIBIT 4 - FEMA MAP





**LOT 29 -
212 SHERMAN CANAL
VENICE, CA 90291**

**LEGAL DESCRIPTION:
TR SHORT LINE BEACH VENICE CANAL
BLOCK 40, LOT 29
CANAL SUBDIVISION NO. 1**

OWNER:

ANDREA MICHAELSON
OWNER
212 SHERMAN CANAL
310.908.2800
andrea@andreamichaelsondesign.com

ARCHITECT:

ANDREA MICHAELSON
OWNER
212 SHERMAN CANAL
310.908.2800
andrea@andreamichaelsondesign.com

STRUCTURAL ENGINEER:

PETER T. ERDELYI & ASSOCIATES, INC.
2999 OVERLAND AVE., SUITE #103
CULVER CITY, CA 90064
TEL. NO.: (310) 553-9339
CONTACT: XXX
LICENSE # 26962

SOILS & GEOTECHNICAL ENGINEER:

RALPH STONE AND COMPANY, INC.
10954 SANTA MONICA BOULEVARD
LOS ANGELES, CA 90025
(310) 478-1501

SURVEYOR:

JACK LITTLE COMPANY
17620 SHERMAN WAY #218
VAN NUYS, CA 91406
(818) 342-3277

TITLE 24 ENGINEER:

ENERGLO 24
4826 ALLEN COURT
EUREKA, CA 95503
(818) 655-4156
CONTACT: CHRIS KAYE

CIVIL ENGINEER:

PALOS VERDES ENGINEERING
550 DEEP VALLEY DRIVE, SUITE 273
ROLLING HILLS ESTATES, CA 90274
(310) 541-5055
CONTACT: HARRY LIND

SHEET INDEX

- A001 SURVEY
- A100 SITE PLAN
- A101 DEMO PLAN
- A102 FLOOR PLAN LEVEL 1
- A103 FLOOR PLAN LEVEL 2
- A104 ROOF PLAN
- A105 OPEN SPACE AREAS L1 L2
- A106 OPEN SPACE ROOF
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS
- A300 SECTIONS
- A900 CONCEPT RENDERINGS
- L100 LANDSCAPE DEMO/PLAN

SCOPE OF WORK

RENOVATION OF EXISTING TWO STORY SINGLE FAMILY DWELLING

OCCUPANCY

SINGLE FAMILY RESIDENCE

BUILDING AREA

LOT AREA: 3517.8 SQ. FT
REQUIRED YARD AREA: 450 = 2896.96
FAR: 3517/2897 = 1.21
ALLOWABLE FLOOR AREA: 2896.96 X 1.21 = 3505 SF

EXISTING: 1865 SF

PROPOSED:
GROUND LEVEL: 1133 GROSS SQ. FT.
SECOND LEVEL: 1465 GROSS SQ. FT.
TOTAL PROPOSED: 2598 GROSS SQ. FT.

BUILDING HEIGHT: 23'-2" A.S.L.

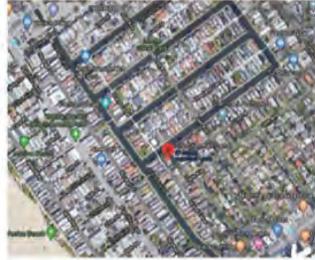
OPEN SPACE AREA

TOTAL LOT SQ. FT.: 3517.8 @ 10% P.F. MINIMUM
TOTAL OPEN SPACE REQ.: 351.78 x 2 = 703.5

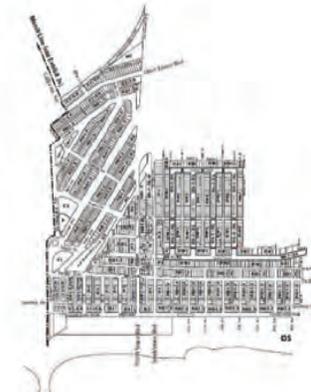
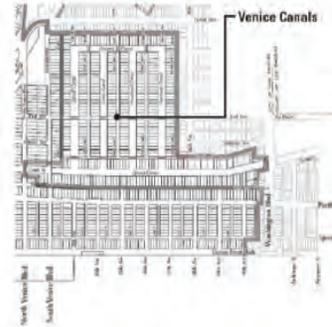
GROUND LEVEL: 414 SQ. FT. OPEN TO SKY
SECOND LEVEL: 199 SQ. FT. OPEN TO SKY
ROOF DECK: 820 SQ. FT. 675 SQ. FT. OPEN TO SKY

TOTAL OPEN SPACE: 1288 SQ. FT OPEN TO SKY

PROJECT SITE



ZIMAS MAP



ZONING RW1-1-0

ANDREA MICHAELSON DESIGN
212 SHERMAN CANAL, VENICE, CA 90291
310.908.2800
andrea@andreamichaelsondesign.com
www.andreamichaelsondesign.com

CLIENT
212 SHERMAN CL
VENICE, CA 90291

PLAN REVISION LOG

NO	DATE	DESCRIPTION

DRAWING PRINT LOG

NO	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:
COVER SHEET

PROJECT NO:

PRINT DATE: 2/12

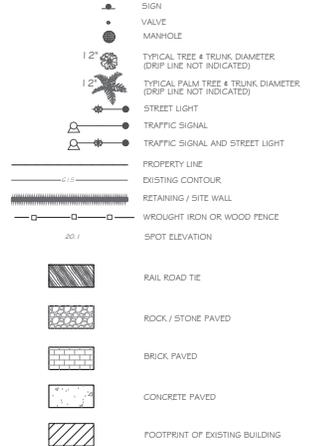
SHEET NO: 06/01/22

SHEET NO:

A001

LEGEND

- CBFW CONCRETE BLOCK FINDER WALL
- C.E.F.B. CITY ENGINEER FIELD BOOK
- CL CENTERLINE
- CONC CONCRETE
- ELEV ELEVATION
- FD FOUND
- FF FRESH FLOOR
- FL FLOW LINE
- GA GUY ANCHOR
- GM GAS METER
- L.A.C.E. LOS ANGELES CITY ENGINEER
- LT LEAD & TACK
- PP POWER POLE
- SMH SEWER MANHOLE
- SS SANITARY SEWER
- SSDM STANDARD SURVEY DISK MONUMENT
- SSHC SANITARY SEWER HOUSE CONNECTION STATION
- STA TOP OF CURB
- WBW WOOD BOARD FENCE
- WBG WOOD BOARD GATE
- WM WATER METER
- WV WATER VALVE



PROJECT INFORMATION

TOPOGRAPHIC DATA:
 THE TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY BY JACK LITTLE COMPANY III, JAV., 2012.

BASIS OF BEARINGS:
 THE BEARING N 53°20'00" E OF THE SIDELINE OF SHERMAN CANAL SHOWN AS LOT H ON MAP OF SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1, AS PER MAP RECORDED IN BOOK 7 PAGES 126 & 127 OF MAPS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

ZONING:
 THIS PROJECT IS IN THE RW1-1-O.

DEFINITIVE INFORMATION SHOULD BE OBTAINED FROM THE ZONING CODE ITSELF AND FROM CONSULTATION WITH THE DEPARTMENT OF BUILDING AND SAFETY.

PROJECT BENCHMARK:
 PROJECT BENCHMARK - THE ELEV. = 3.90' ON SMH LD @ SMH STA. 0+95.00 AS SHOWN HEREON PER L.A. SEWER WYE MAP NO. 7188-3.

SITE AREA:
 NET AREA: 6,364.47 SQ. FT. OR 0.1461 ACRES

SUBSTRUCTURES:
 UNDERGROUND UTILITIES SHOWN HEREON ARE PER CITY OF LOS ANGELES RECORDS AND CANNOT BE GUARANTEED FOR COMPLETENESS OR ACCURACY. THEIR LOCATION SHOULD BE VERIFIED IN THE FIELD BEFORE ANY EXCAVATING.

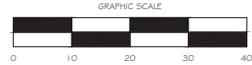
LEGAL DESCRIPTION:
 LOTS 28 & 29, BLOCK 40 OF SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1, AS PER MAP RECORDED IN BOOK 7 PAGES 126 & 127 OF MAPS, OFFICIAL RECORDS IN THE COUNTY OF LOS ANGELES. ASSESSORS PARCEL NO. S 4227-016-015 & 016.

TITLE REPORT INFORMATION:
 THIS PROJECT WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND ANY EASEMENTS THAT MAY BE CONTAINED WITHIN SAID REPORT ARE NOT SHOWN HEREON.

NOTE:
 ONLY A SIGNED AND SEALED COPY OF THIS SURVEY REPRESENTS A TRUE COPY OF OUR WORK PRODUCT. ANY COPIES CREATED FROM ELECTRONIC FILES OR OTHER METHODS MUST BE COMPARED TO A SIGNED AND SEALED COPY TO ASSURE ITS ACCURACY AND COMPLETENESS.

PREPARED UNDER THE DIRECTION OF:

ERIK G. BOWERS, L.S. 8571



PLAN REVISION LOG	
NO.	DESCRIPTION

DRAWING PRINT LOG		
NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

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ARCHITECTURE SURVEY PLAN

PROJECT NO:

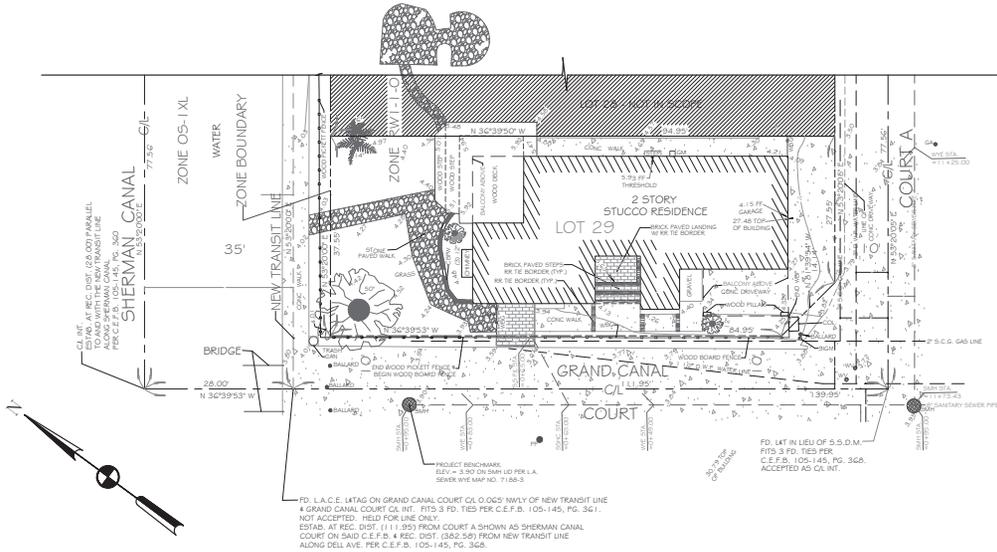
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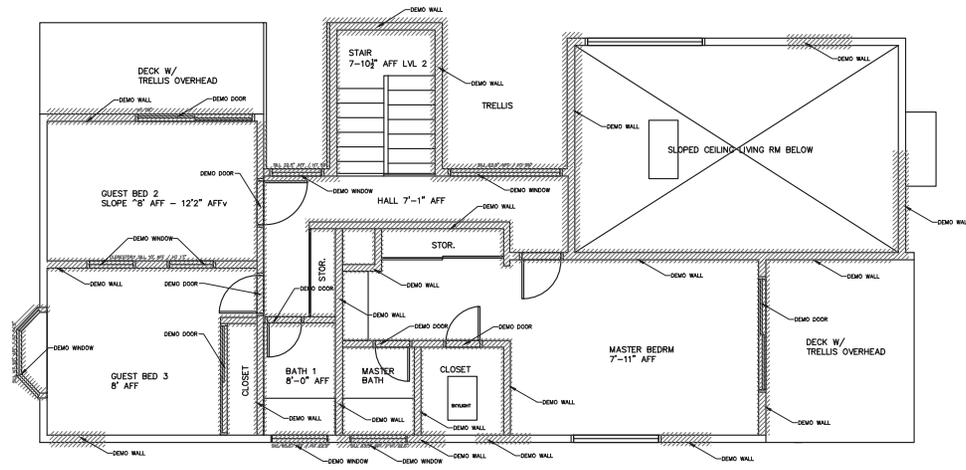
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06/01/22

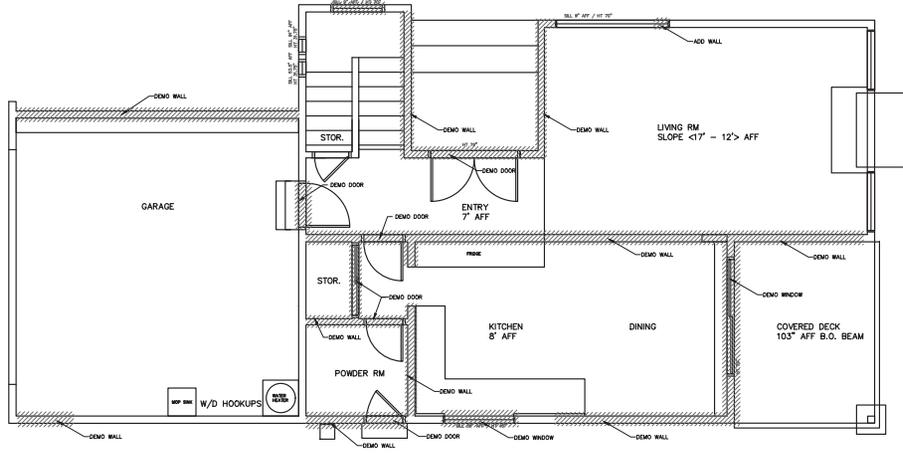
SHEET NO:

A001





02 2ND FLOOR DEMO PLAN
 SCALE: 1/4" = 1'-0"



01 1ST FLOOR DEMO PLAN
 SCALE: 1/4" = 1'-0"

LEGEND

DEMO WALL/WINDOW/DOOR

PLAN REVISION LOG

NO.	DATE	DESCRIPTION

DRAWING PRINT LOG

NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:
 EXISTING PLAN
 DEMO

PROJECT NO:

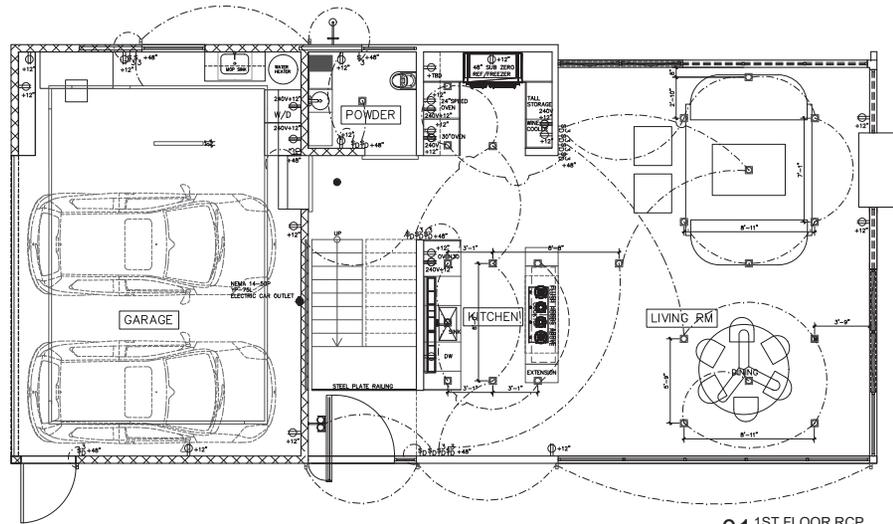
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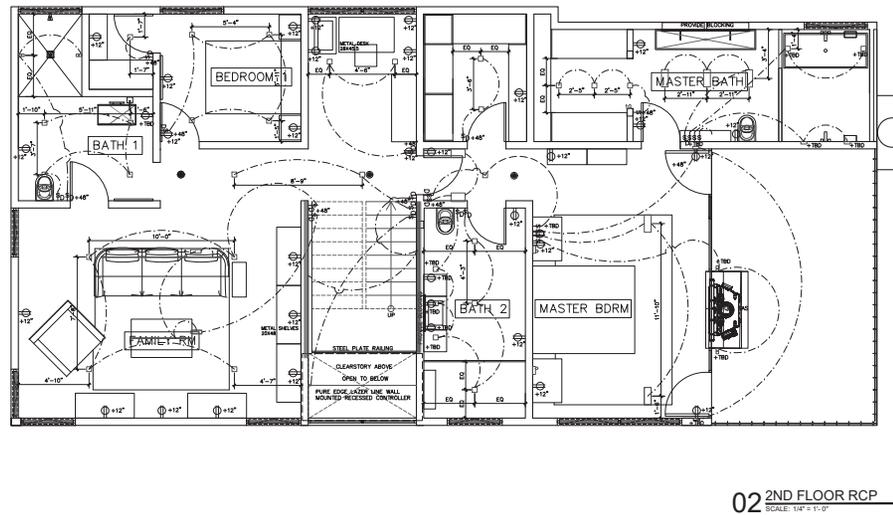
06/01/22

SHEET NO:

A101



- ⊞ CEILING MOUNTED AIR REGISTER
- ⊞ WALL MOUNTED AIR REGISTER
- ⊞ CEILING MOUNTED EXHAUST FAN
- ⊞ RECESSED DOWNLIGHT
- ⊞ RECESSED DOWNLIGHT
- ⊞ CEILING MOUNTED TRACK LIGHT
- ⊞ CONCEALED FIRE SPRINKLER HEAD
- ⊞ WALL MOUNTED SPEAKER
- ⊞ CEILING MOUNTED SPEAKER
- ⊞ STRIP LIGHTING
- ⊞ GARDER OUTLET
- ⊞ GROUND FAULT INTERRUPTOR OUTLET
- ⊞ GUARDLEX OUTLET
- ⊞ 120 VOLT OUTLET
- ⊞ LIGHTING SWITCH
- ⊞ LIGHTING SWITCH W/ DIMMER
- ⊞ SWITCH FOR BLACKOUT SHADE/SHEER
- ⊞ HVAC THERMOSTAT
- ⊞ HAVY SWITCH
- ⊞ PHONE JACK
- ⊞ ETHERNET/DATA OUTLET
- ⊞ CABLE TV OUTLET
- ⊞ CEILING MOUNTED FEATURES OF BROADS DANCE TERS
- ⊞ WALL MOUNTED LIGHTING FIXTURE
- ⊞ PENDANT LIGHTING FIXTURE
- ⊞ SWITCH FOR ELECTRONIC SHADE
- ⊞ WALL MOUNT CUBE
- ⊞ WALL MOUNTED NANO
- ⊞ WALL MOUNTED FOL
- ⊞ ATTIC/EN GARAGE DISPOSAL
- ⊞ SCOFFER/STRIP LIGHTING
- ⊞ CEILING MOUNTED SMOKE DETECTOR
- ⊞ WALL MOUNTED SMOKE DETECTOR
- ⊞ CARBON MONOXIDE ALARM (BATTERY)



- ⊞ CEILING MOUNTED AIR REGISTER
- ⊞ WALL MOUNTED AIR REGISTER
- ⊞ CEILING MOUNTED EXHAUST FAN
- ⊞ RECESSED DOWNLIGHT
- ⊞ RECESSED DOWNLIGHT
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- ⊞ WALL MOUNTED FOL
- ⊞ ATTIC/EN GARAGE DISPOSAL
- ⊞ SCOFFER/STRIP LIGHTING
- ⊞ CEILING MOUNTED SMOKE DETECTOR
- ⊞ WALL MOUNTED SMOKE DETECTOR
- ⊞ CARBON MONOXIDE ALARM (BATTERY)

PLAN REVISION LOG

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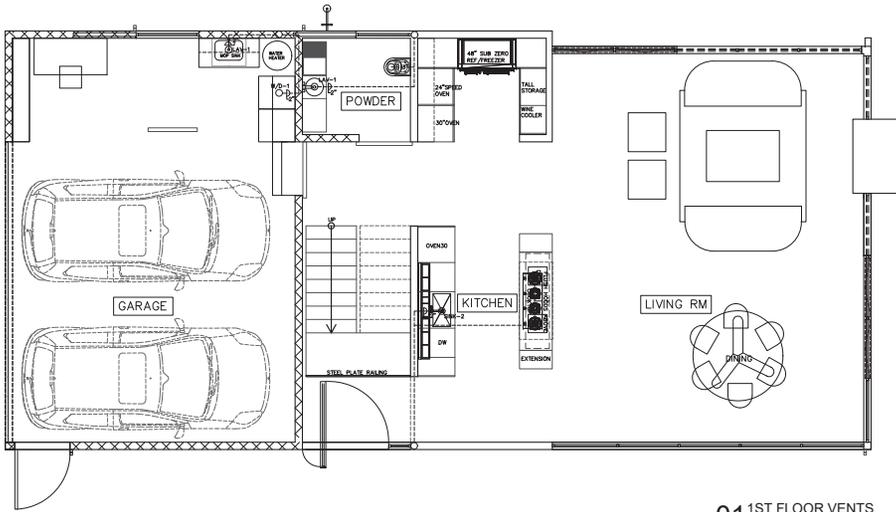
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2	01/24/2022	RESUBMITTAL

SHEET TITLE:
ARCHITECTURE
 RCP
 LEVEL 1 AND 2

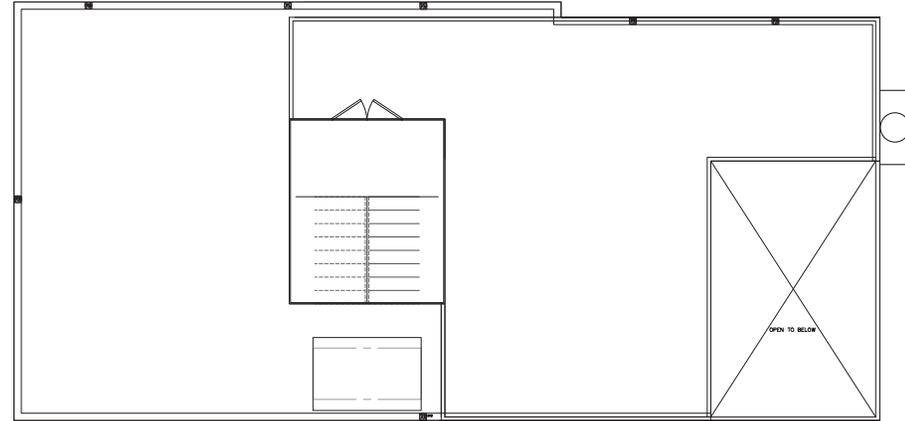
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 212

PRINT DATE:
 06/01/22

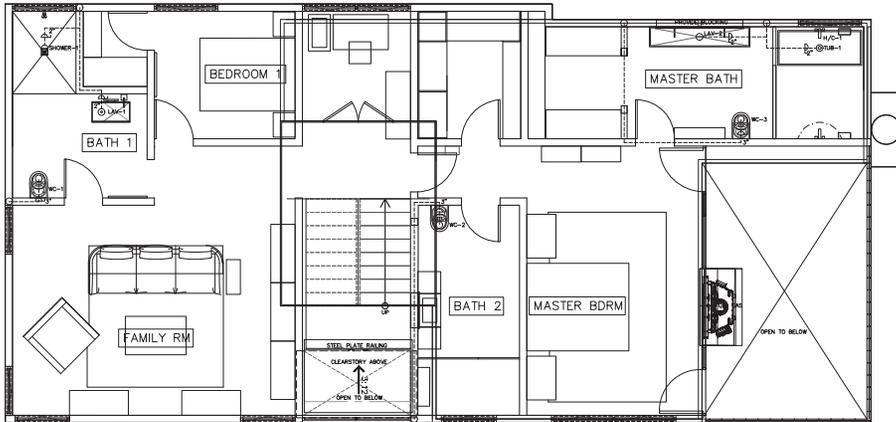
SHEET NO:
A104



01 1ST FLOOR VENTS
 SCALE: 1/4" = 1'-0"



01 ROOF VENT PLAN
 SCALE: 1/4" = 1'-0"



02 2ND FLOOR VENTS
 SCALE: 1/4" = 1'-0"

PLAN REVISION LOG

NO.	DATE	DESCRIPTION

DRAWING PRINT LOG

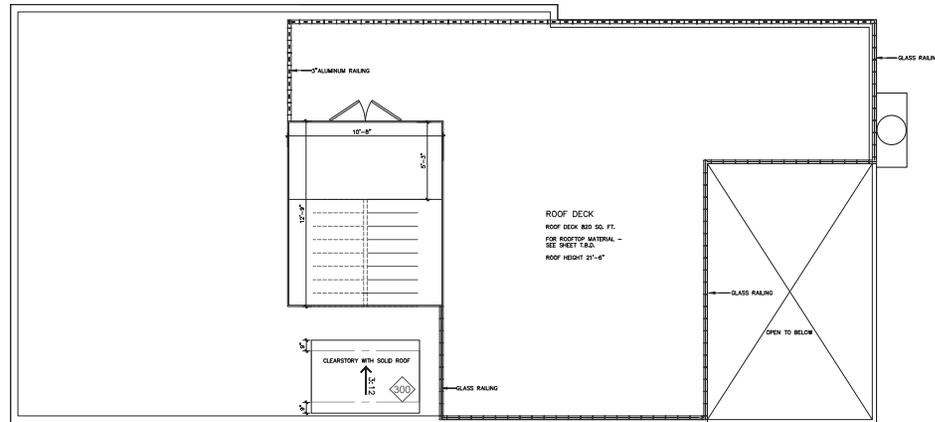
NO.	DATE	DESCRIPTION
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2	01/24/2022	RESUBMITTAL

SHEET TITLE:
 ARCHITECTURE
 VENT PLAN
 LEVEL 1, 2 AND
 ROOF

PROJECT NO: 212

PRINT DATE: 06/01/22

SHEET NO: A105



01 ROOF PLAN
 SCALE: 1/4" = 1'-0"

PLAN REVISION LOG

NO.	DATE	DESCRIPTION

DRAWING PRINT LOG

NO.	DATE	DESCRIPTION
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2	01/24/2022	RESUBMITTAL

SHEET TITLE:
 ARCHITECTURE
 ROOF PLAN

PROJECT NO:

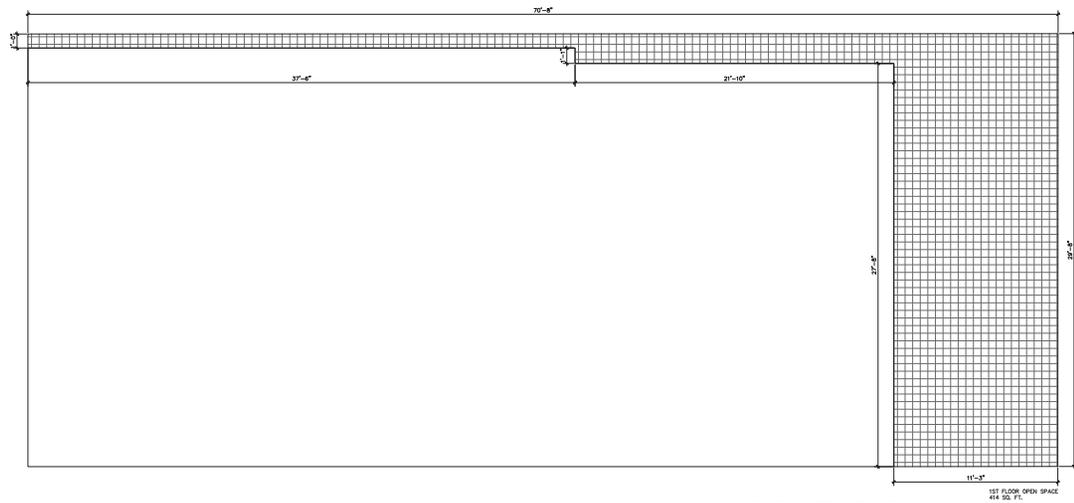
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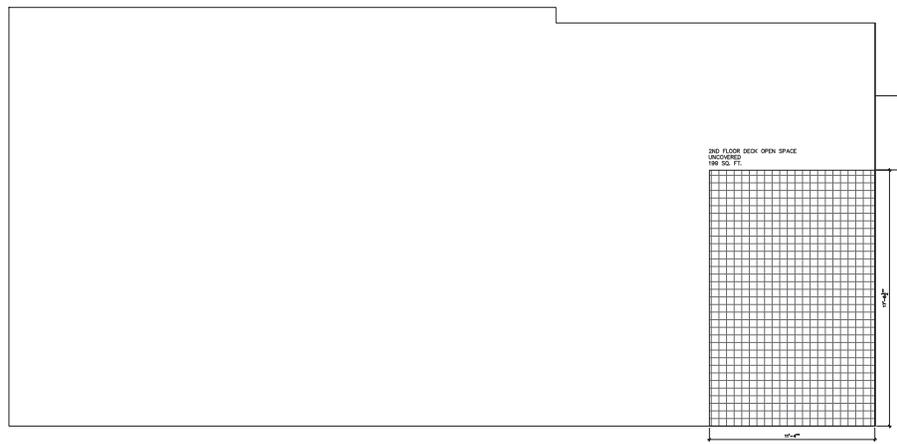
06/03/22

SHEET NO:

A106



01 LEVEL 1 OPEN SPACE
SCALE: 1/4" = 1'-0"



02 LEVEL 2 OPEN SPACE
SCALE: 1/4" = 1'-0"

ANDREA MICHELSON DESIGN
212 SHERMAN CL. VENICE, CA 90291
310.300.1000
andrea@andreamichelson.com
www.andreamichelson.com

CLIENT
212 SHERMAN CL
VENICE, CA 90291

PLAN REVISION LOG

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DRAWING PRINT LOG

NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:
OPEN SPACE PLAN
LEVEL 1&2

PROJECT NO: _____

212

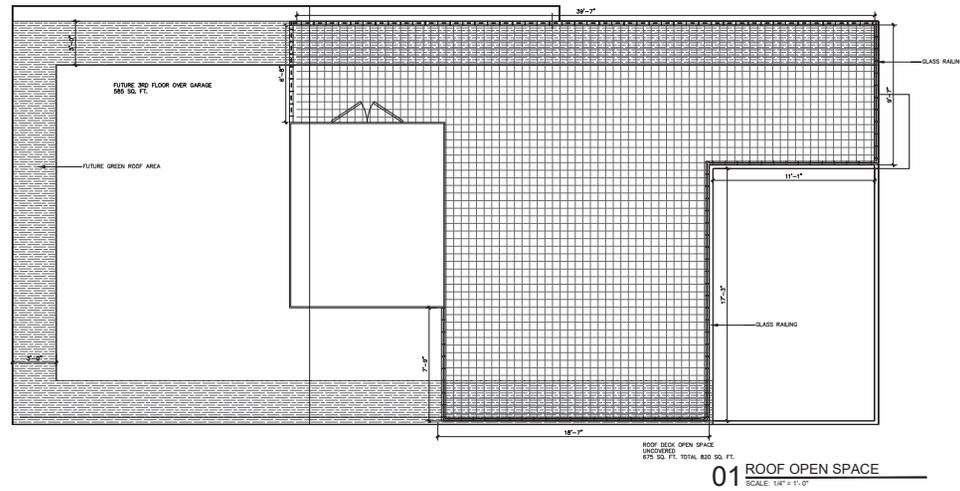
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06/01/22

SHEET NO: _____

A107

CLIENT
 212 SHERMAN CL
 VENICE, CA 90291



PLAN REVISION LOG	
NO.	DESCRIPTION

DRAWING PRINT LOG		
NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:
 OPEN SPACE PLAN
 LEVEL ROOF

PROJECT NO:

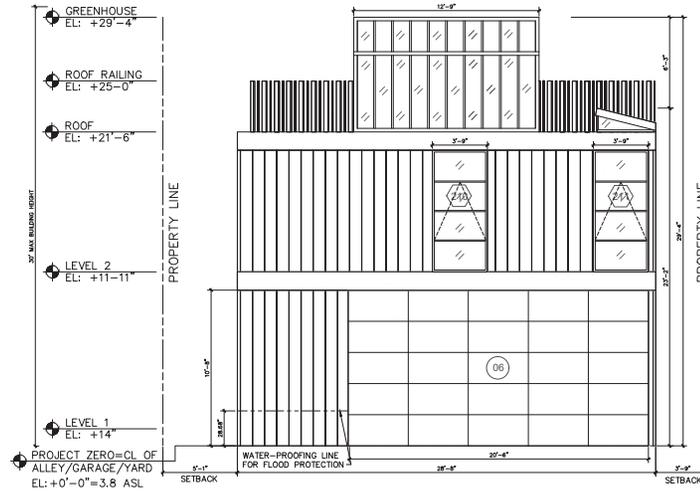
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PRINT DATE:

06/03/22

SHEET NO:

A108



03 SOUTH ELEVATION
 SCALE



04 EAST ELEVATION
 SCALE

PLAN REVISION LOG	
NO.	DESCRIPTION

DRAWING PRINT LOG		
NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT NO:

212

PRINT DATE:

06/03/22

SHEET NO:

A201

PLAN REVISION LOG

NO.	DATE	DESCRIPTION

DRAWING PRINT LOG

NO.	DATE	DESCRIPTION
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2	01/24/2022	RESUBMITTAL

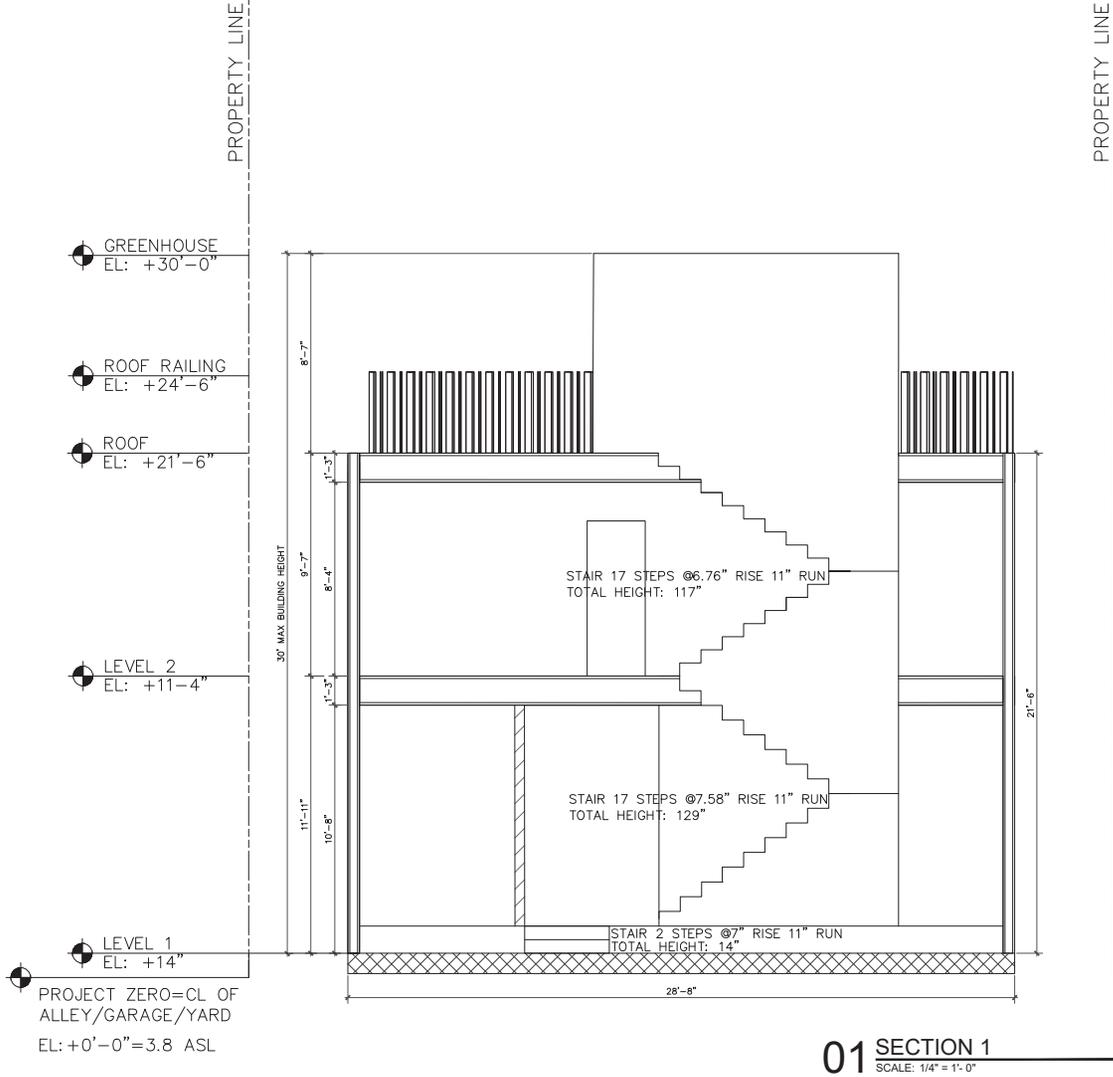
SHEET TITLE:
SECTIONS

PROJECT NO:

PRINT DATE: 212

SHEET NO: 06/01/22

A300



CLIENT
 212 SHERMAN CL
 VENICE, CA 90291



PLAN REVISION LOG

NO	DATE	DESCRIPTION

DRAWING PRINT LOG

NO	DATE	DESCRIPTION
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2	01/24/2022	RESUBMITTAL

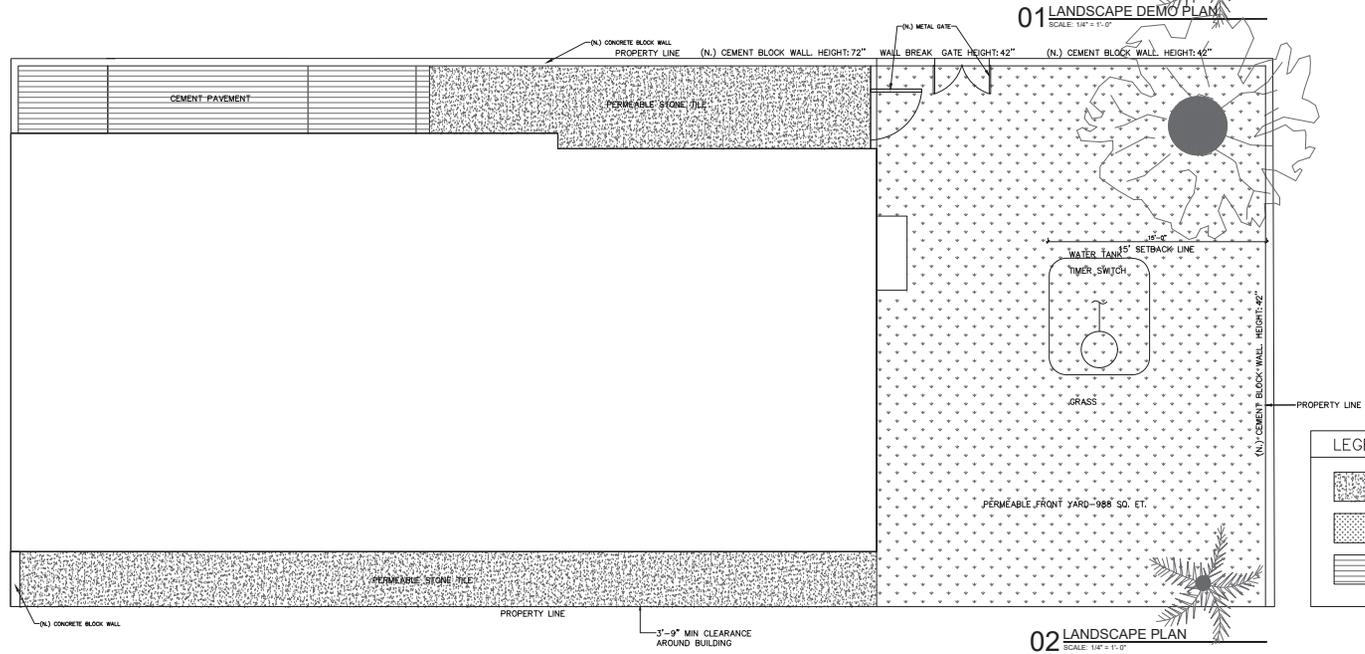
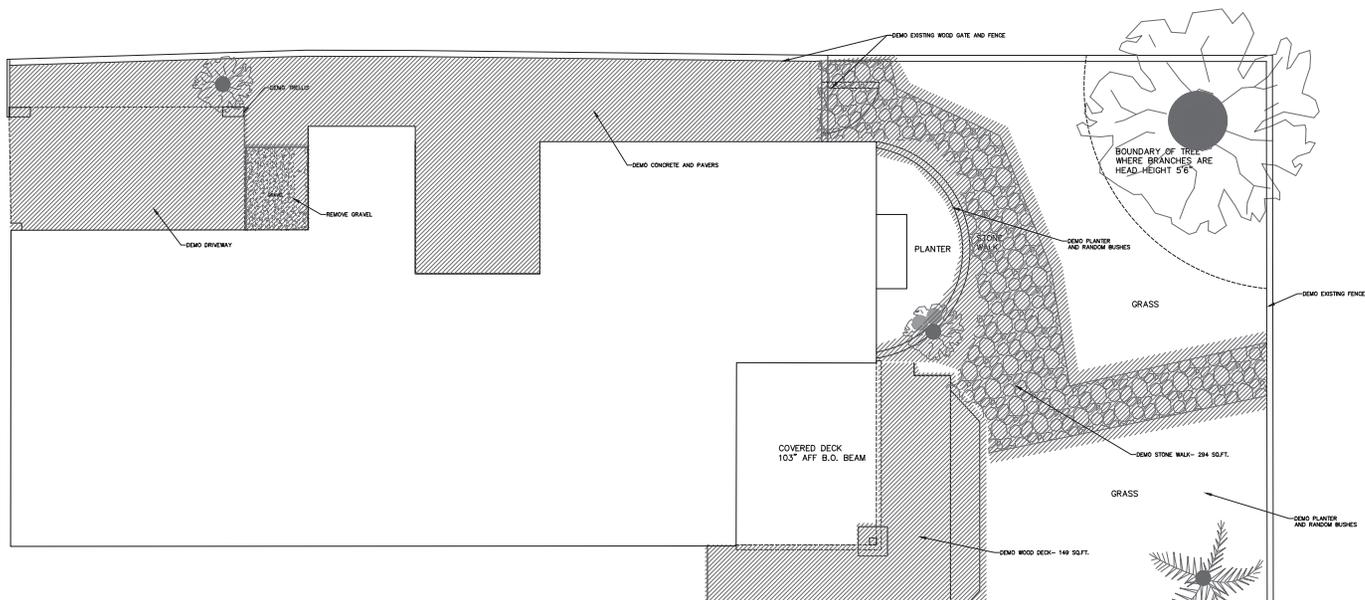
SHEET TITLE:
RENDERINGS

PROJECT NO:

PRINT DATE: 212

SHEET NO: 06/01/22

A900



LEGEND	
	PERMEABLE STONE TILE
	GRASS
	CEMENT PAVEMENT

ANDREA MICHAELSON DESIGN
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SHEET TITLE:
 LANDSCAPE
 DEMO/PLAN

PROJECT NO:

212

PRINT DATE:

06/01/22

SHEET NO:

L100

National Flood Hazard Layer FIRMette



FEMA's National Flood Hazard Layer (NFHL) Viewer

with Web AppBuilder for ArcGIS



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	
	Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
	With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
	Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
	Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
	Area with Flood Risk due to Levee <i>Zone D</i>

GENERAL STRUCTURES	
	NO SCREEN
	Area of Minimal Flood Hazard <i>Zone X</i>

MAP PANELS	
	Digital Data Available
	No Digital Data Available
	Unmapped

OTHER FEATURES	
	20.2
	17.5
	Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **4/19/2023 at 9:02 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.