

## **CALIFORNIA COASTAL COMMISSION**

South Coast District Office  
301 E Ocean Blvd., Suite 300  
Long Beach, CA 90802-4830  
(562) 590-5071



# **F15a**

**5-21-0558-A1 (Michaelson)**

**May 12, 2023**

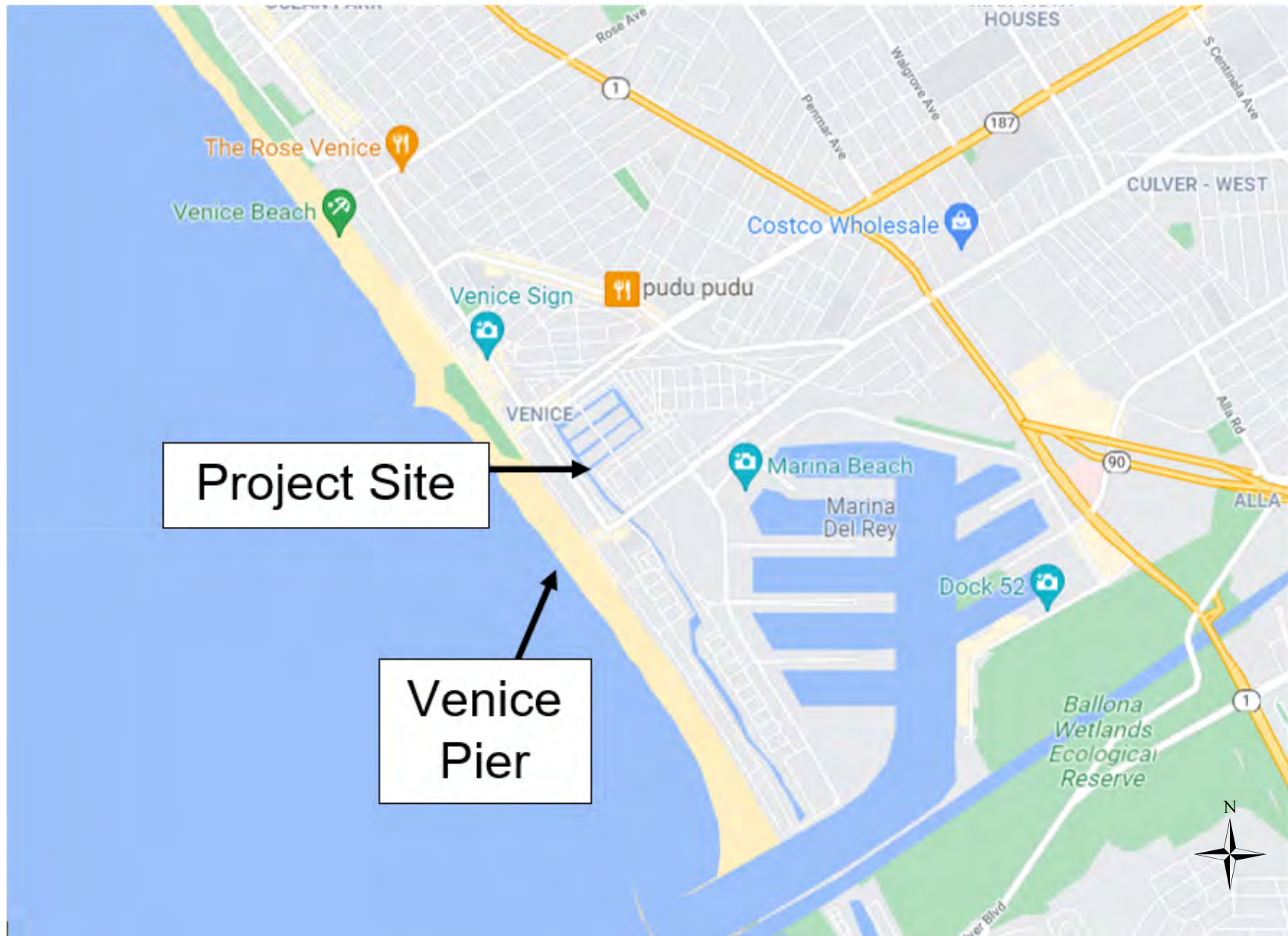
### **EXHIBITS**

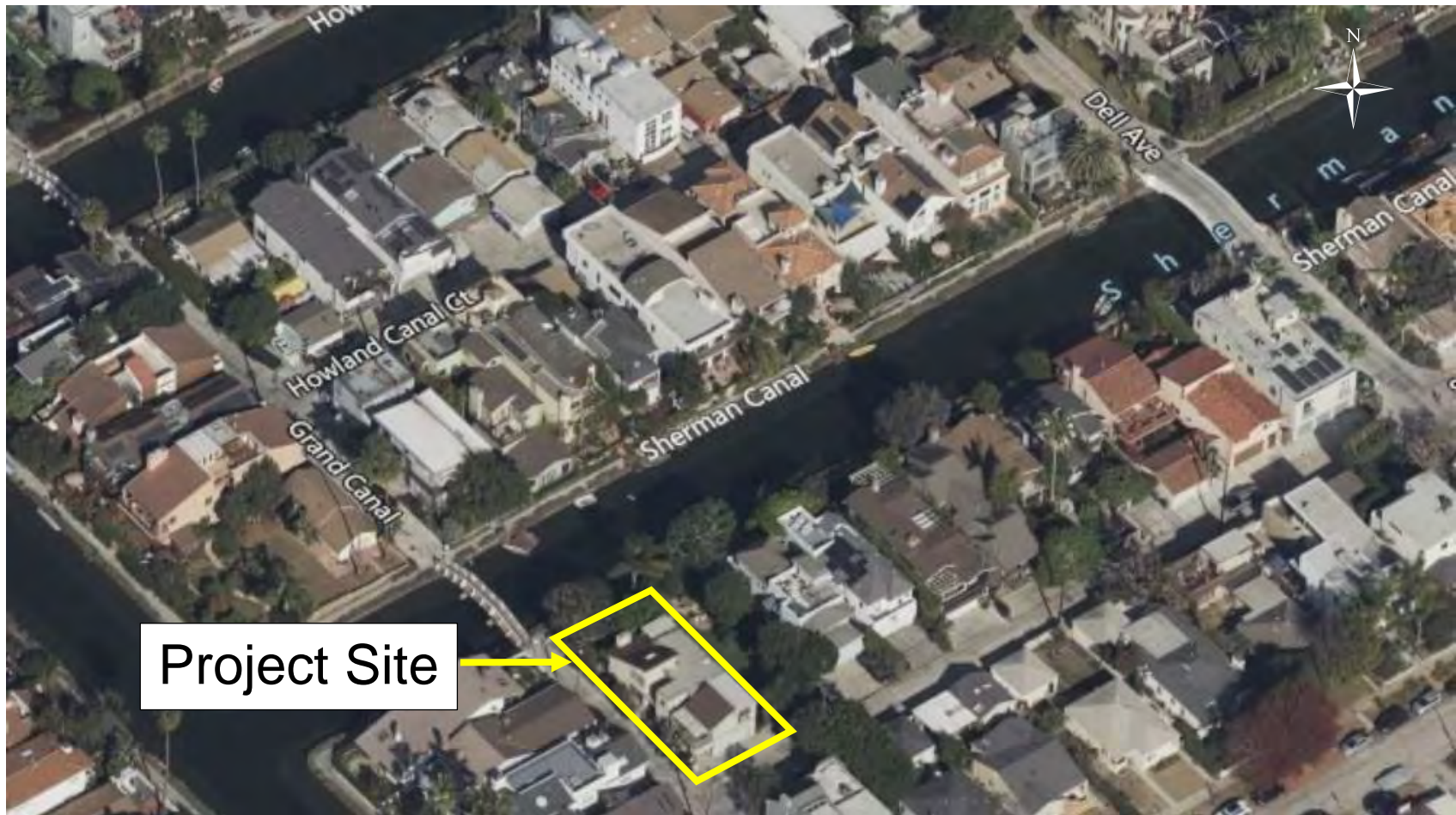
**EXHIBIT 1 - VICINITY MAP AND PROJECT SITE**

**EXHIBIT 2 - PROJECT PLANS**

**EXHIBIT 3 - PERMEABLE YARD AREA**

**EXHIBIT 4 - FEMA MAP**







LOT 29 -  
212 SHERMAN CANAL  
VENICE, CA 90291

LEGAL DESCRIPTION:  
TR SHORT LINE BEACH VENICE CANAL  
BLOCK 40, LOT 29  
CANAL SUBDIVISION NO. 1

**OWNER:**  
ANDREA MICHAELSON  
OWNER  
212 SHERMAN CANAL  
310.908.2800  
andrea@andreamichaelsondesign.com

**ARCHITECT:**  
ANDREA MICHAELSON  
OWNER  
212 SHERMAN CANAL  
310.908.2800  
andrea@andreamichaelsondesign.com

**STRUCTURAL ENGINEER:**  
PETER T. ERDELYI & ASSOCIATES, INC.  
2699 OVERLAND AVE., SUITE #103  
CULVER CITY, CA 90064  
TEL. NO.: (310) 553-9339  
CONTACT: XXX  
LICENSE # 20962

**SOILS & GEOTECHNICAL ENGINEER:**  
RALPH STONE AND COMPANY, INC.  
10954 SANTA MONICA BOULEVARD  
LOS ANGELES, CA 90025  
(310) 478-1501

**SURVEYOR:**  
JACK LITTLE COMPANY  
17620 SHERMAN WAY #218  
VAN NUYS, CA 91406  
(818) 342-3277

**TITLE 24 ENGINEER:**  
ENERGLO 24  
4826 ALLEN COURT  
EUREKA, CA 95503  
(818) 655-4156  
CONTACT: CHRIS KAYE

**CIVIL ENGINEER:**  
PALOS VERDES ENGINEERING  
550 DEEP VALLEY DRIVE, SUITE 273  
ROLLING HILLS ESTATES, CA 90274  
(310) 541-5055  
CONTACT: HARRY LIND

**SHEET INDEX**

A001	SURVEY
A100	SITE PLAN
A101	DEMO PLAN
A102	FLOOR PLAN LEVEL 1
A103	FLOOR PLAN LEVEL 2
A104	ROOF PLAN
A105	OPEN SPACE AREAS L1 L2
A106	OPEN SPACE ROOF
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A300	SECTIONS
A900	CONCEPT RENDERINGS
L100	LANDSCAPE DEMO/PLAN

**SCOPE OF WORK**

RENOVATION OF EXISTING TWO STORY SINGLE FAMILY DWELLING

**OCCUPANCY**

SINGLE FAMILY RESIDENCE

**BUILDING AREA**

LOT AREA: 3517.8 SQ. FT  
REQUIRED YARD AREA: 450 = 2896.96  
FAR: 3517/2897 = 1.21  
ALLOWABLE FLOOR AREA: 2896.96 X 1.21 = 3505 SF

EXISTING: 1865 SF

PROPOSED:  
GROUND LEVEL: 1133 GROSS SQ. FT.  
SECOND LEVEL: 1465 GROSS SQ. FT.  
TOTAL PROPOSED: 2598 GROSS SQ. FT.

BUILDING HEIGHT: 23'-2" A.S.L.

**OPEN SPACE AREA**

TOTAL LOT SQ. FT.: 3517.8@10% P.F. MINIMUM  
TOTAL OPEN SPACE REQ.: 351.78 x 2 = 703.5

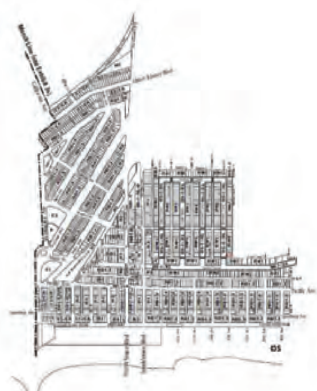
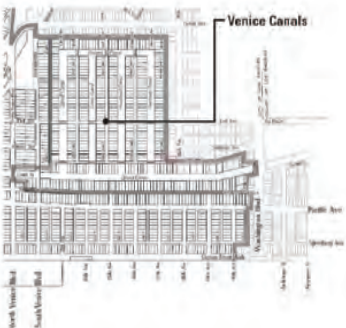
GROUND LEVEL: 414 SQ. FT. OPEN TO SKY  
SECOND LEVEL: 199 SQ. FT. OPEN TO SKY  
ROOF DECK: 820 SQ. FT. 675 SQ. FT. OPEN TO SKY

TOTAL OPEN SPACE: 1288 SQ. FT OPEN TO SKY

**PROJECT SITE**



**ZIMAS MAP**



**ZONING RW1-1-0**

ANDREA MICHAELSON DESIGN  
212 SHERMAN CANAL, VENICE, CA 90291  
310.908.2800  
andrea@andreamichaelsondesign.com  
www.andreamichaelsondesign.com

CLIENT  
212 SHERMAN CL  
VENICE, CA 90291

PLAN REVISION LOG	
NO	DATE DESCRIPTION
DRAWING PRINT LOG	
NO	DATE DESCRIPTION
1	11/30/2021 ORIGINAL SUBMITTAL
2	01/24/2022 RESUBMITTAL

SHEET TITLE:  
COVER SHEET

PROJECT NO:

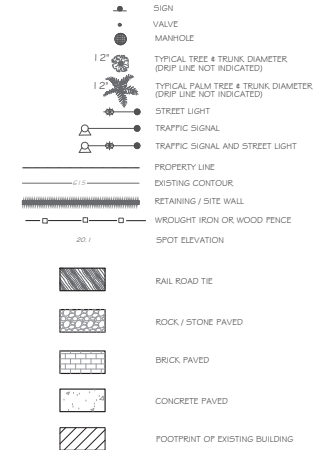
PRINT DATE: 212

SHEET NO: 06/01/22

A001

## LEGEND

CBPW	CONCRETE BLOCK PLANTER WALL
C.E.F.B.	CITY ENGINEER FIELD BOOK
CL	CENTERLINE
CONC	CONCRETE
ELEV	ELEVATION
FD	FOUND
FF	FRESH FLOOR
FL	FLOW LINE
GA	GUY ANCHOR
GM	GAS METER
L.A.C.E.	LOS ANGELES CITY ENGINEER
LT	LEAD & TACK
PP	POWER POLE
SMH	SEWER MANHOLE
SS	SANITARY SEWER
SSDM	STANDARD SURVEY DISK MONUMENT
SSHC	SANITARY SEWER HOUSE CONNECTION STATION
STA	STATION
TC	TOP OF CURB
WB/P	WOOD BOARD FENCE
WBS	WOOD BOARD GATE
WM	WATER METER
WV	WATER VALVE



## PROJECT INFORMATION

### TOPOGRAPHIC DATA:

THE TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY BY JACK, LITTLE COMPANY III JULY, 2019.

### BASIS OF BEARINGS:

THE BEARING N 53°20'00" E OF THE SIDELINE OF SHERMAN CANAL SHOWN AS LOT H ON MAP OF SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1, AS PER MAP RECORDED IN BOOK 7 PAGES 126 & 127 OF MAPS, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

### ZONING:

THIS PROJECT IS IN THE RW-1-1-Q

DEFINITIVE INFORMATION SHOULD BE OBTAINED FROM THE ZONING CODE ITSELF AND FROM CONSULTATION WITH THE DEPARTMENT OF BUILDING AND SAFETY.

### PROJECT BENCHMARK:

PROJECT BENCHMARK - THE ELEV. = 3.90' ON SMH LD @ SMH STA. 0+95.00 AS SHOWN HEREON PER L.A. SEWER WYE MAP NO. 71-68-3.

### SITE AREA:

NET AREA: 6,364.47 SQ. FT. OR 0.1461 ACRES

### SUBSTRUCTURES:

UNDERGROUND UTILITIES SHOWN HEREON ARE PER CITY OF LOS ANGELES RECORDS AND CANNOT BE GUARANTEED FOR COMPLETENESS OR ACCURACY. THEIR LOCATION SHOULD BE VERIFIED IN THE FIELD BEFORE ANY EXCAVATING.

### LEGAL DESCRIPTION:

LOTS 28 & 29, BLOCK 40 OF SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1, AS PER MAP RECORDED IN BOOK 7 PAGES 126 & 127 OF MAPS, OFFICIAL RECORDS IN THE COUNTY OF LOS ANGELES.

ASSESSORS PARCEL NO. 5 4227-016-015 & 016.

### TITLE REPORT INFORMATION:

THIS PROJECT WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND ANY EASEMENTS THAT MAY BE CONTAINED WITHIN SAID REPORT ARE NOT SHOWN HEREON.

### NOTE:

ONLY A SIGNED AND SEALED COPY OF THIS SURVEY REPRESENTS A TRUE COPY OF OUR WORK PRODUCT. ANY COPIES CREATED FROM ELECTRONIC FILES OR OTHER METHODS MUST BE COMPARED TO A SIGNED AND SEALED COPY TO ASSURE ITS ACCURACY AND COMPLETENESS.

PREPARED UNDER THE DIRECTION OF:

ERIK G. BOWERS, L.S. 8571







SHEET TITLE:  
**EXISTING PLAN  
DEMO**

06/01/2

A101

[illegible]

SHEET TITLE:  
ARCHITECTURE

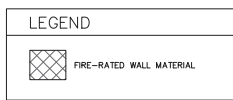
ARCHITECTURE  
FLOOR PLAN  
LEVEL 1

213

06/01/22

A 102

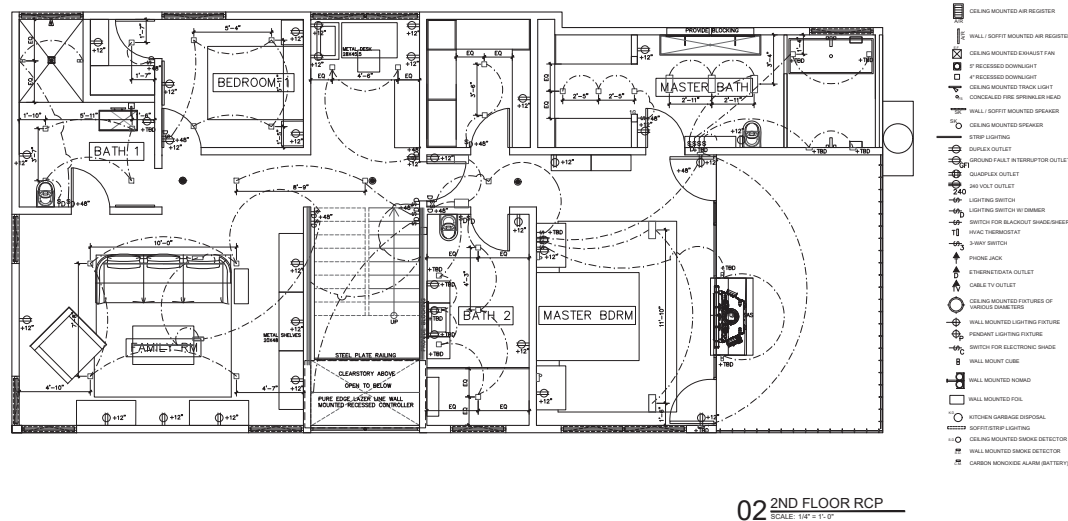
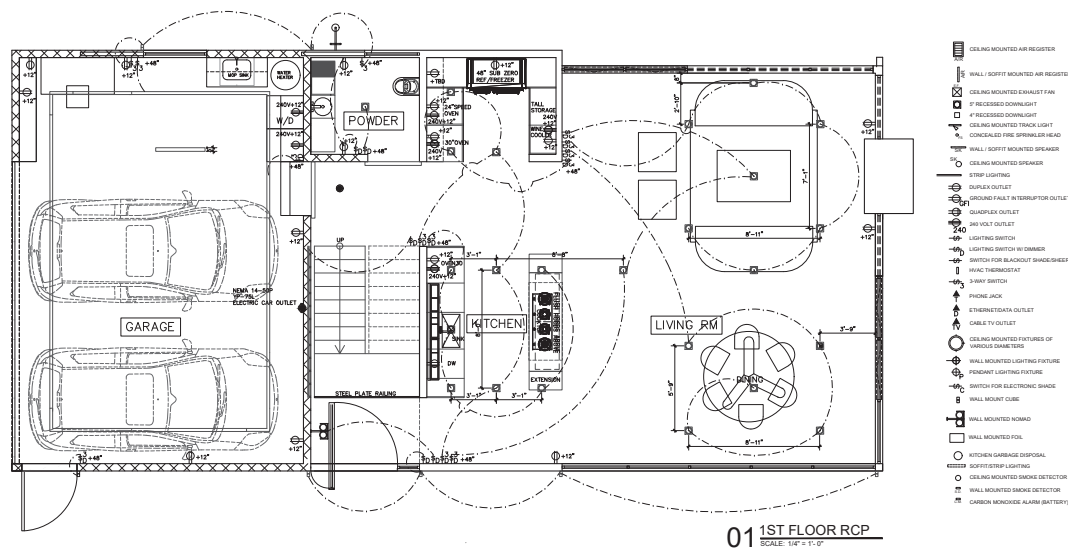
A102







California Coastal Commission  
5-21-0558-A1  
Exhibit 2  
Page 6 of 16

[illegible][illegible]

SHEET TITLE:  
ARCHITECTURE  
RCP  
LEVEL 1 AND 2

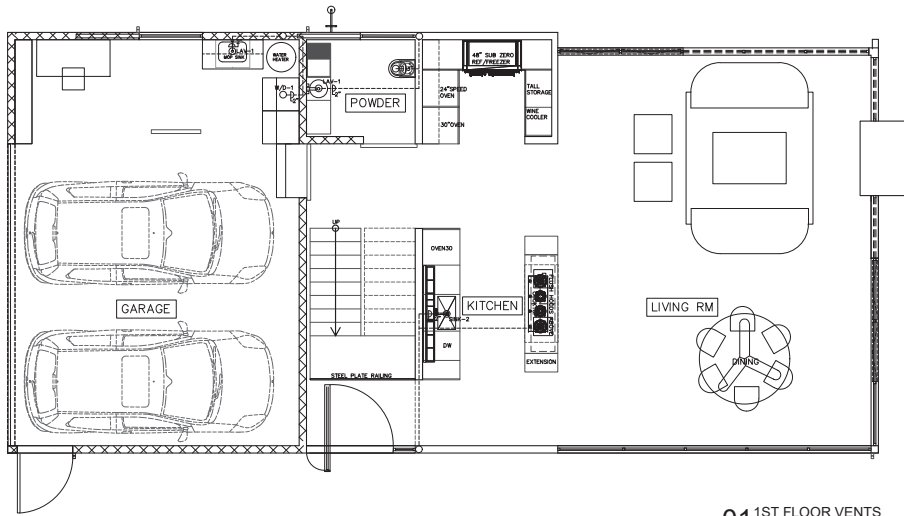
PROJECT NO: \_\_\_\_\_

PRINT DATE: 212

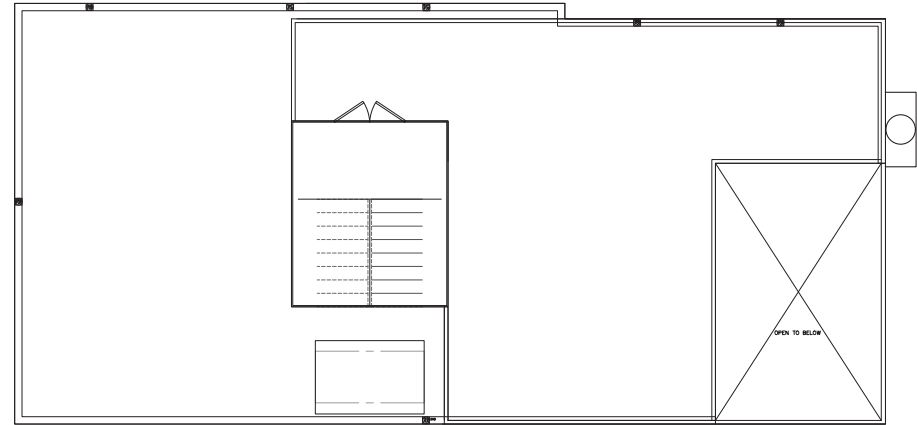
06/01/21

SHEET NO:

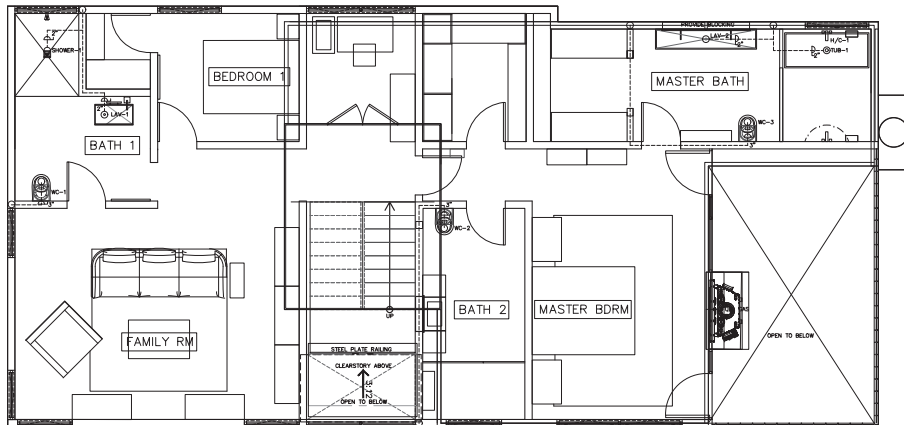
A104



01 1ST FLOOR VENTS  
SCALE: 1/4" = 1'-0"



01 ROOF VENT PLAN  
SCALE: 1/4" = 1'-0"



02 2ND FLOOR VENTS  
SCALE: 1/4" = 1'-0"

ANDREA MICHAELSON DESIGN  
212 SHERMAN CL. VENICE, CA 90291  
PH: 310.301.1111  
FAX: 310.301.1112  
WWW.ANDREAMICHAELSONDESIGN.COM

CLIENT  
212 SHERMAN CL  
VENICE, CA 90291

PLAN REVISION LOG

NO.	DATE	DESCRIPTION

DRAWING PRINT LOG

NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:  
ARCHITECTURE  
VENT PLAN  
LEVEL 1, 2 AND  
ROOF

PROJECT NO:

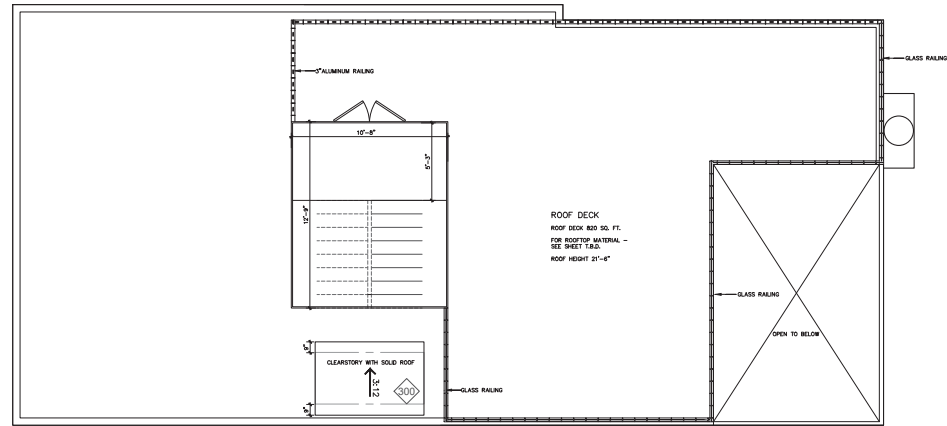
212

PRINT DATE:

06/01/22

SHEET NO:

A105



## 01 ROOF PLAN

PLAN REVISION LOG		
NO.	DATE	DESCRIPTION

[illegible]

SHEET TITLE:  
ARCHITECTURE  
ROOF PLAN

PROJECT NO: \_\_\_\_\_

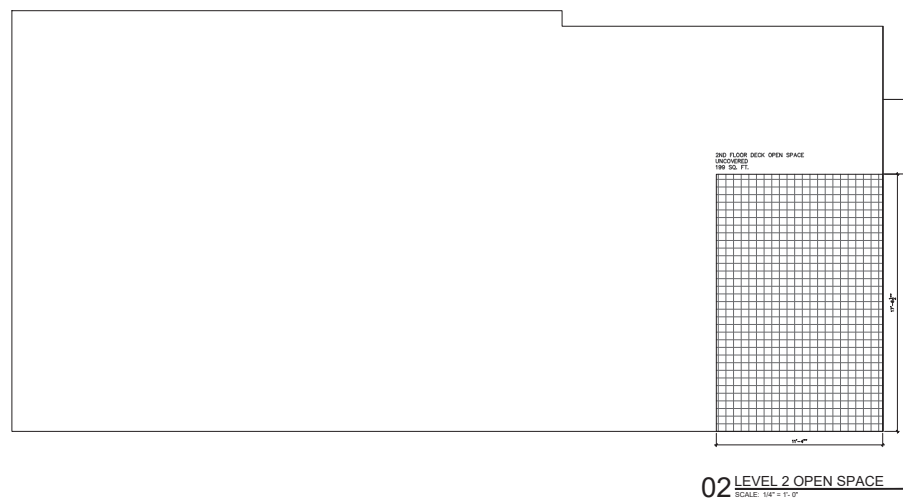
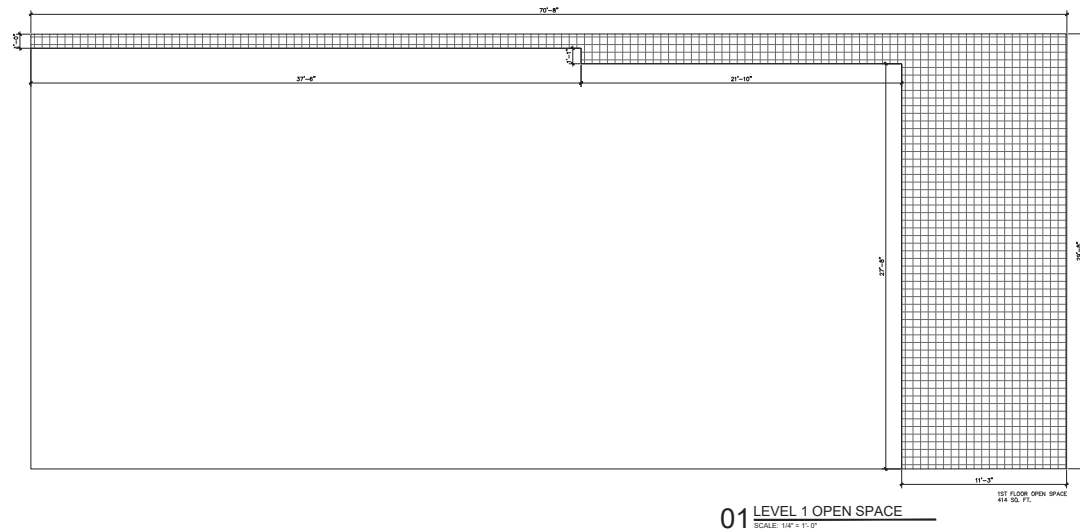
212  
PRINT DATE:

06/03/22

SHEET NO:

A106





**ANDREA MICHAELSON** DESIGN  
212 SHERMAN CANAL VENUE, CA 90291  
CONTACT 310.808.2800  
ANDREA@ANDREAMICHAELSONDESIGN.COM  
WWW.ANDREAMICHAELSONDESIGN.COM

CLIENT  
212 SHERMAN CL  
VENICE, CA 90291

[illegible][illegible]

SHEET TITLE:  
OPEN SPACE PLAN  
LEVEL 1&2

PROJECT NO:

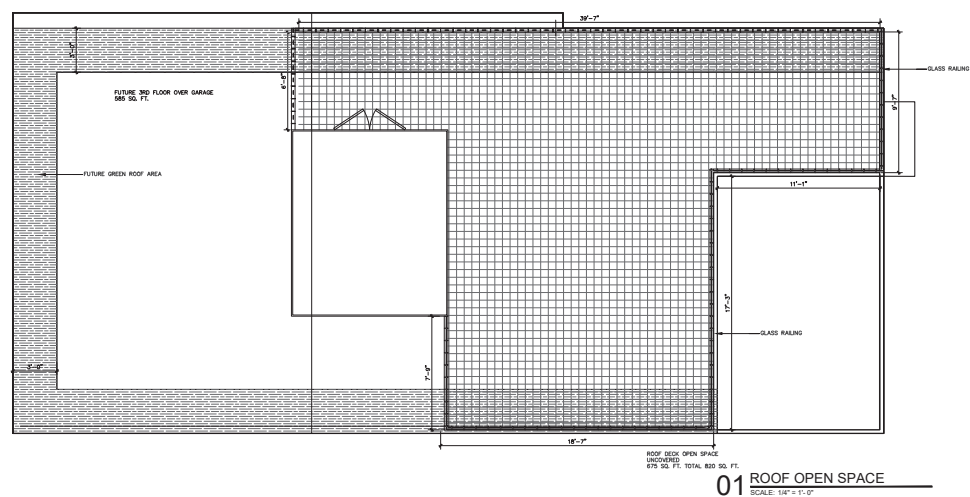
212

PRINT DATE:

6/01/22

SHEET NO: \_\_\_\_\_

A107

[illegible]

SHEET TITLE:  
OPEN SPACE PLAN  
LEVEL ROOF

PROJECT NO: \_\_\_\_\_

213

PRINT DATE: \_\_\_\_\_

06/03/21

SHEET NO:

\_\_\_\_\_

A 108

A100

\_\_\_\_\_

0

1. *Journal of Management Studies*, 1991, 28, 1, 1-14.

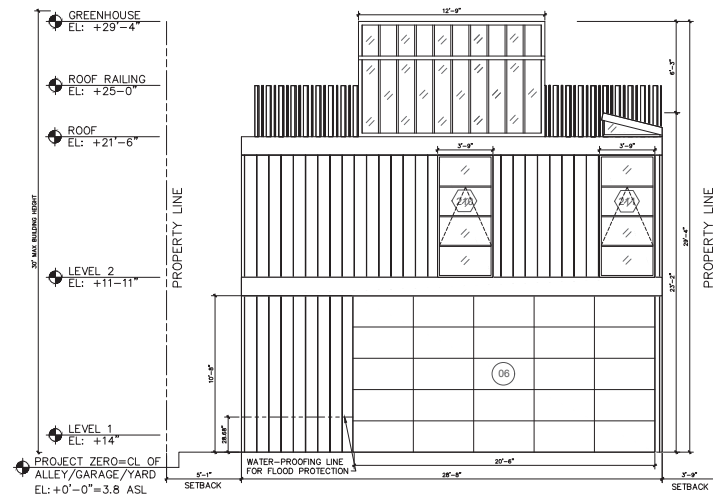
1. *Journal of Management Studies*, 1991, 28, 1.

2

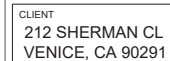
2. *Staphylococcus aureus*

0



[illegible]



[illegible][illegible]

SHEET TITLE:  
**SECTIONS**

PROJECT NO:

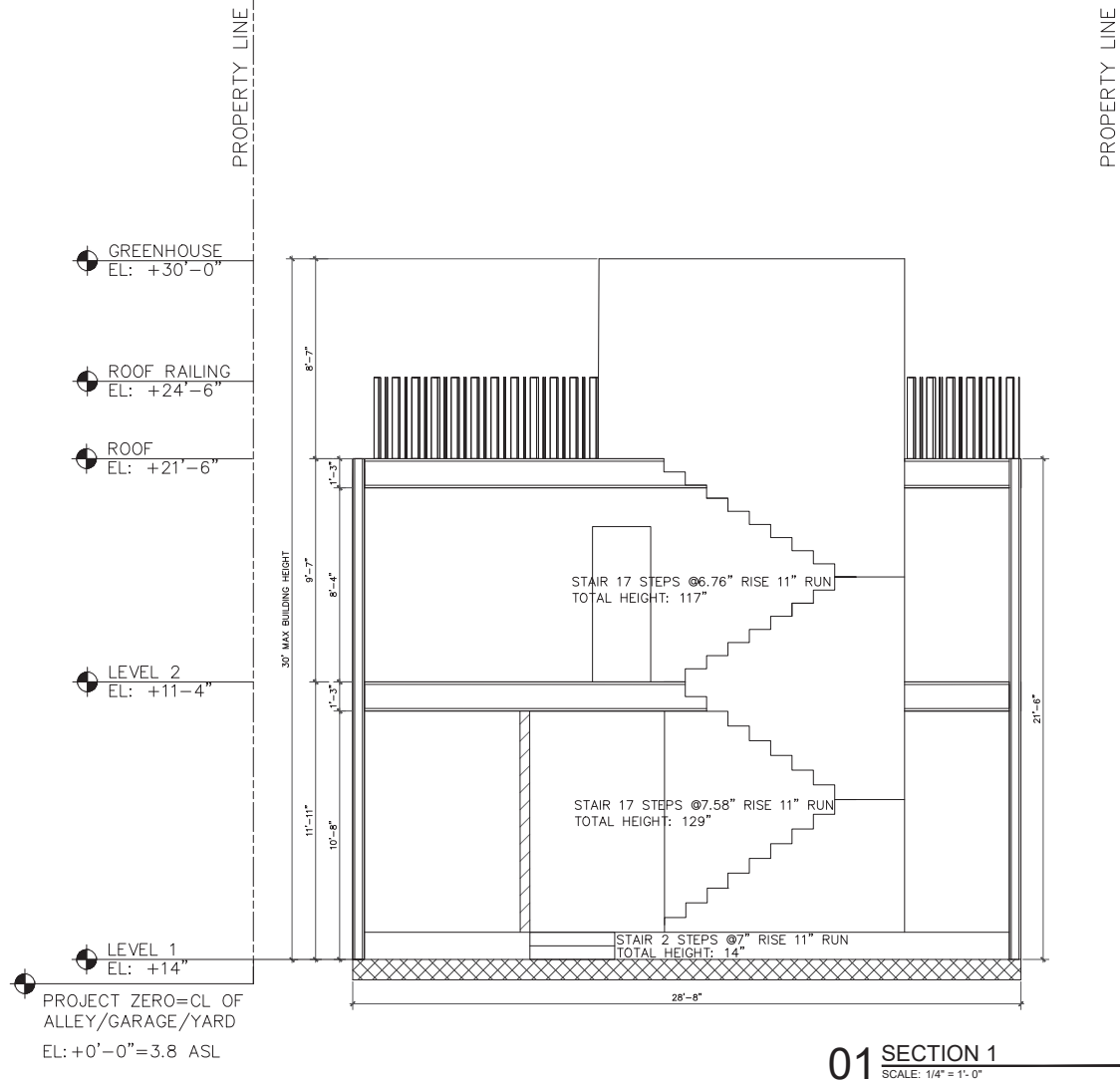
PRINT DATE:

06/01/22

SHEET NO:

SHEET NO:

**A300**





ANDREA MICHAELSON DESIGN  
212 SHERMAN CL, VENICE, CA 90291  
ANDREA@ANDREAMICHAELSONDESIGN.COM  
WWW.ANDREAMICHAELSONDESIGN.COM

CLIENT  
212 SHERMAN CL  
VENICE, CA 90291

PLAN REVISION LOG	
NO	DESCRIPTION

DRAWING PRINT LOG	
NO	DESCRIPTION
1	11/30/2021 ORIGINAL SUBMITTAL
2	01/24/2022 RESUBMITTAL

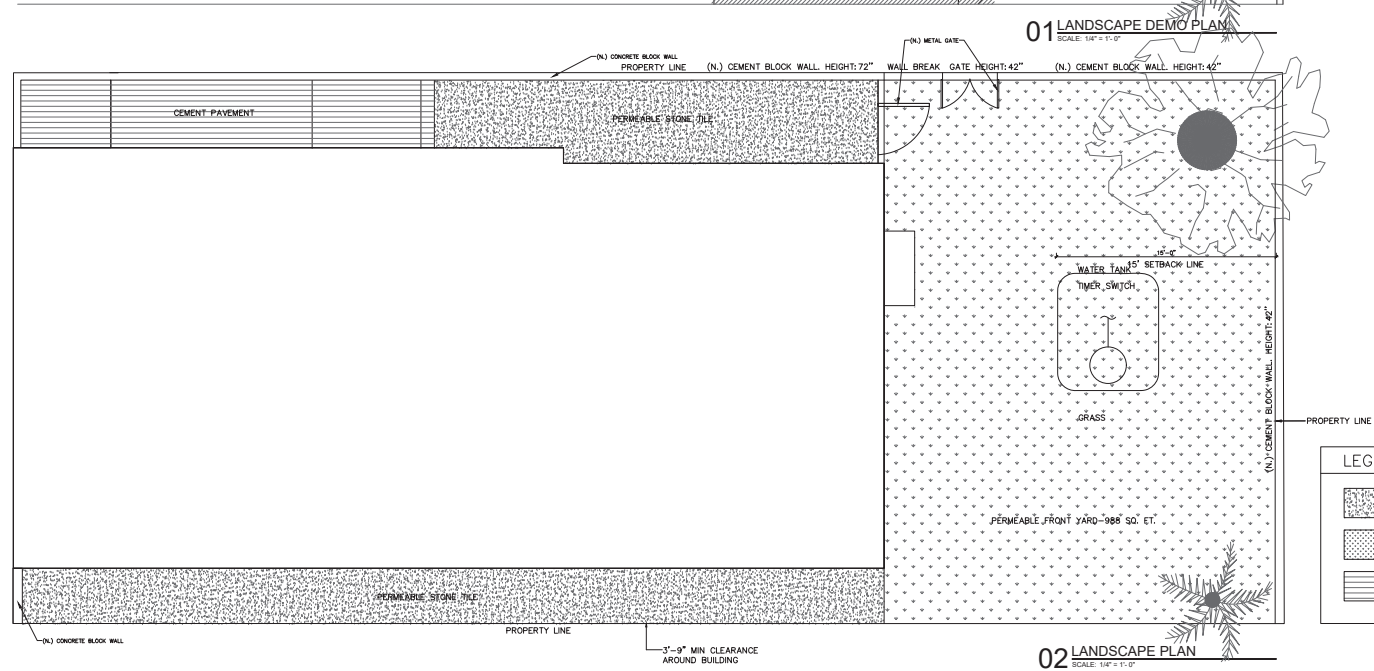
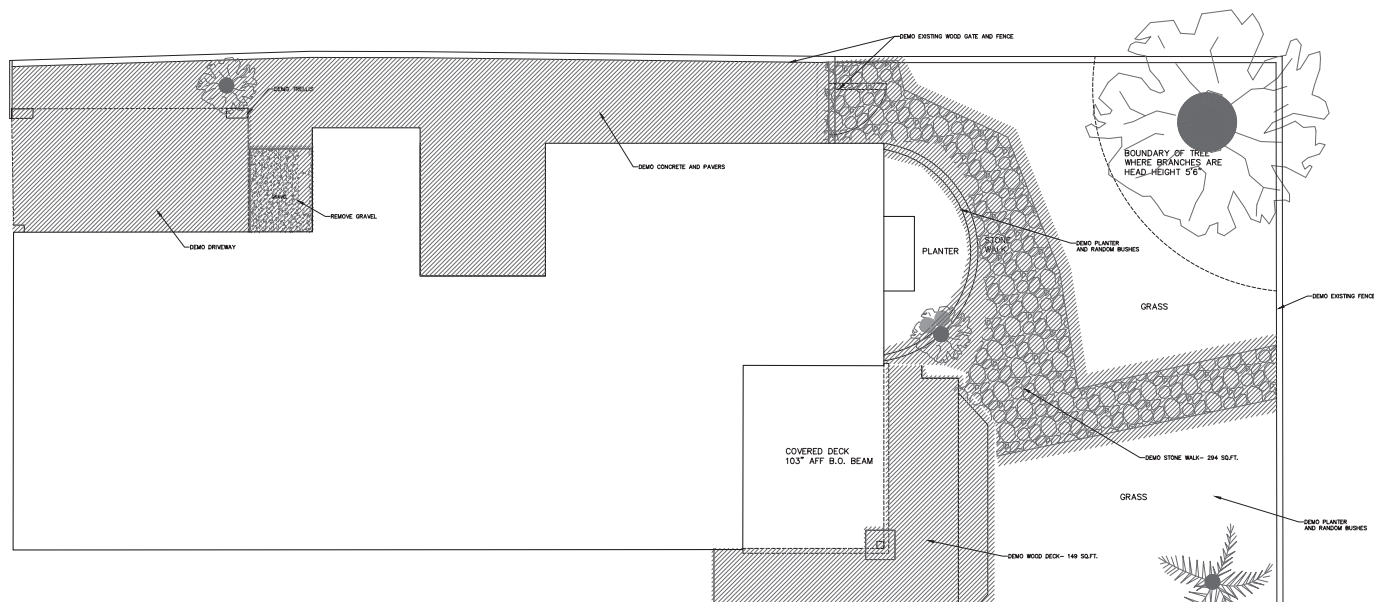
SHEET TITLE:  
RENDERINGS

PROJECT NO:

PRINT DATE: 212

SHEET NO: 06/01/22

A900



LEGEND	
	PERMEABLE STONE TILE
	GRASS
	CEMENT PAVEMENT

ANDREA MICHAELSON DESIGN  
 212 SHERMAN CL VENICE, CA 90291  
 310.333.3333  
 andrea@andreamichaelson.com  
 www.andreamichaelson.com

CLIENT  
 212 SHERMAN CL  
 VENICE, CA 90291

PLAN REVISION LOG		
NO.	DATE	DESCRIPTION

DRAWING PRINT LOG		
NO.	DATE	DESCRIPTION
1	11/30/2021	ORIGINAL SUBMITTAL
2	01/24/2022	RESUBMITTAL

SHEET TITLE:  
 LANDSCAPE  
 DEMO/PLAN

PROJECT NO:

212

PRINT DATE:

06/01/22

SHEET NO:

L100

CLIENT  
212 SHERMAN CL  
VENICE, CA 90291

[illegible]

SHEET TITLE:  
PERMEABLE YARD  
AREA

PROJECT NO: \_\_\_\_\_

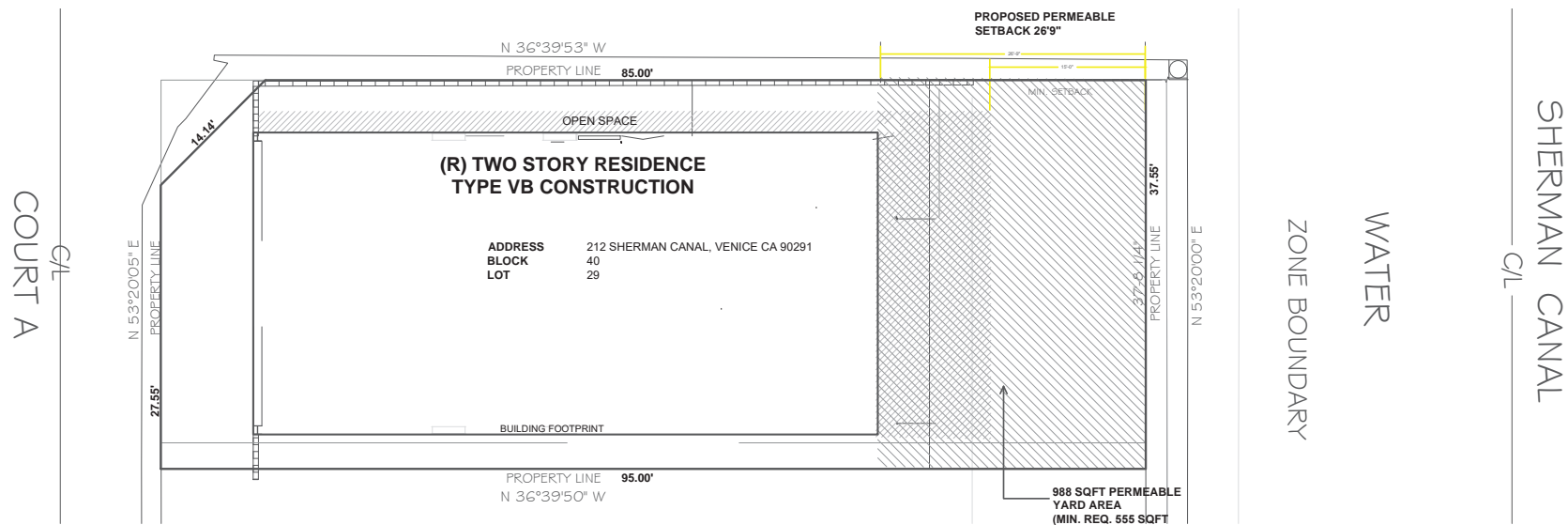
21

PRINT DATE: \_\_\_\_\_

11/29/2

SHEET NO: \_\_\_\_\_

C105



01 PERMEABLE YARD AREA  
SCM F: 3/16" = 1'-0"

SCALE: 3/16" = 1'



# National Flood Hazard Layer FIRMMette



FEMA's National Flood Hazard Layer (NFHL) Viewer

with Web AppBuilder for ArcGIS



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

## GENERAL STRUCTURES

	NO SCREEN
	Area of Minimal Flood Hazard Zone X
	MAP PANELS

## OTHER FEATURES

	Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

	Digital Data Available
	No Digital Data Available
	Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/19/2023 at 9:02 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.