

**CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD., SUITE 300  
LONG BEACH, CA 90802-4830  
(562) 590-5071



# Th13a

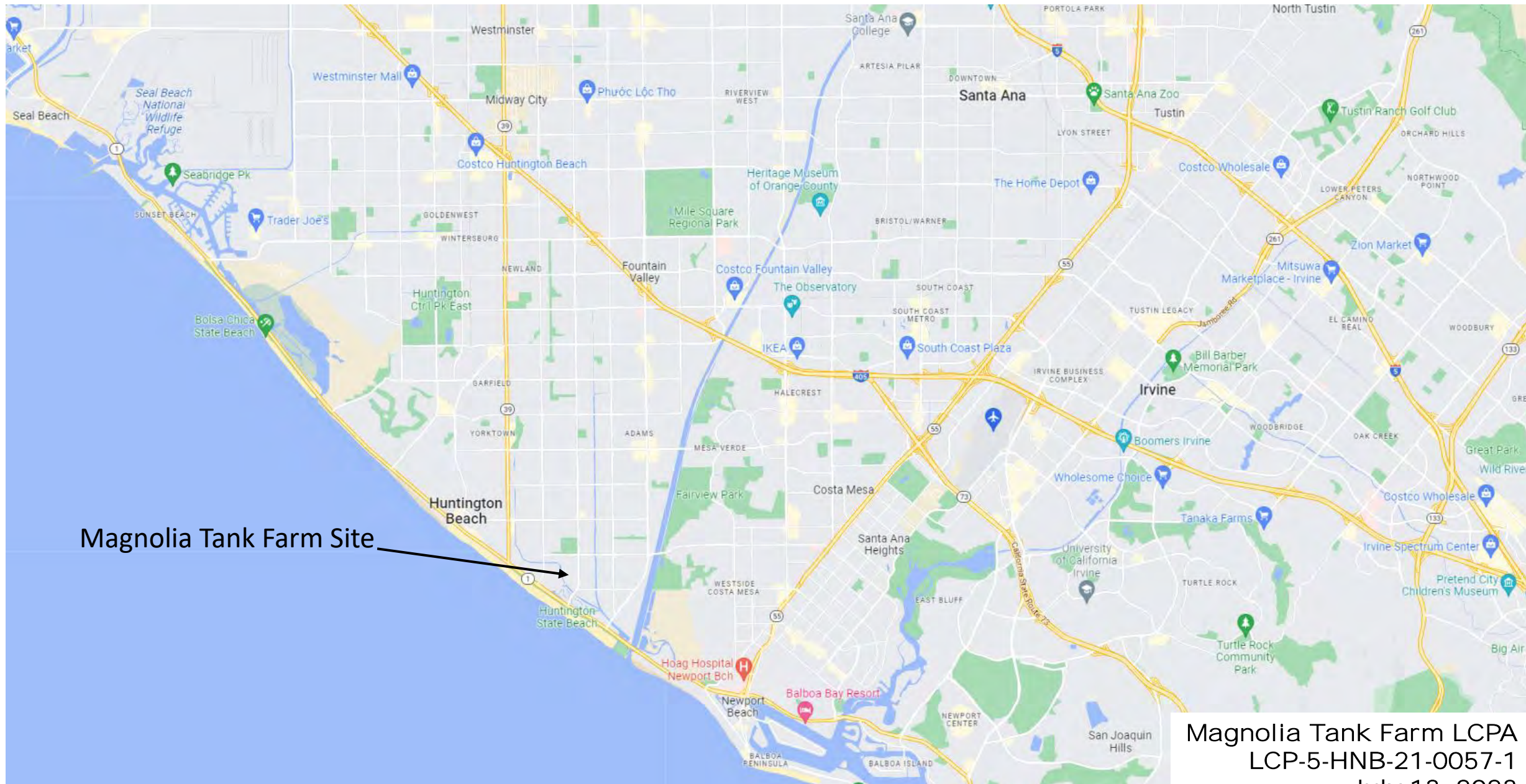
## **LCP-5-HNB-21-0057-1 (Magnolia Tank Farm LCPA)**

**July 13, 2023**

### **EXHIBITS**

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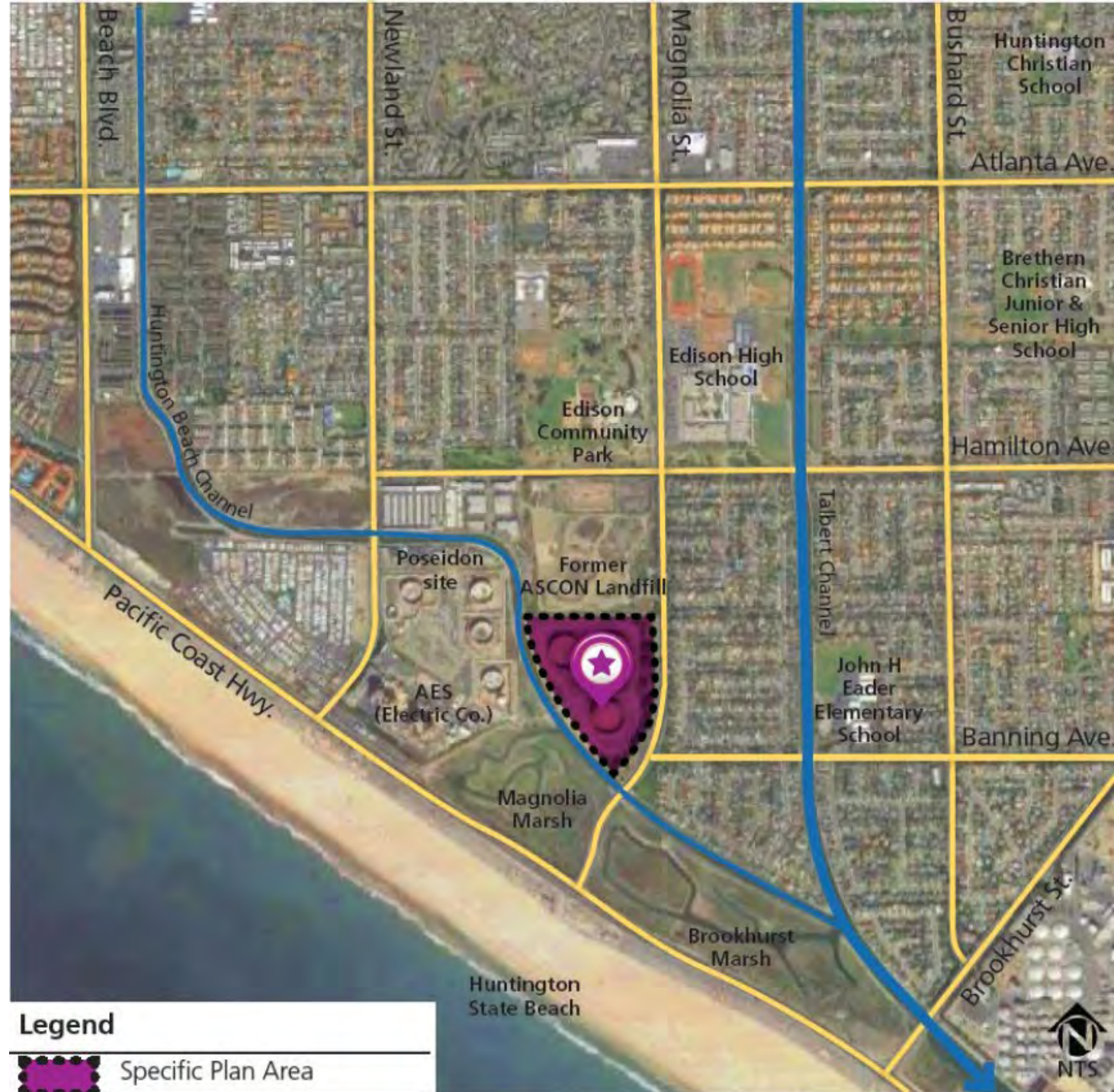
Magnolia Tank Farm Site

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 1



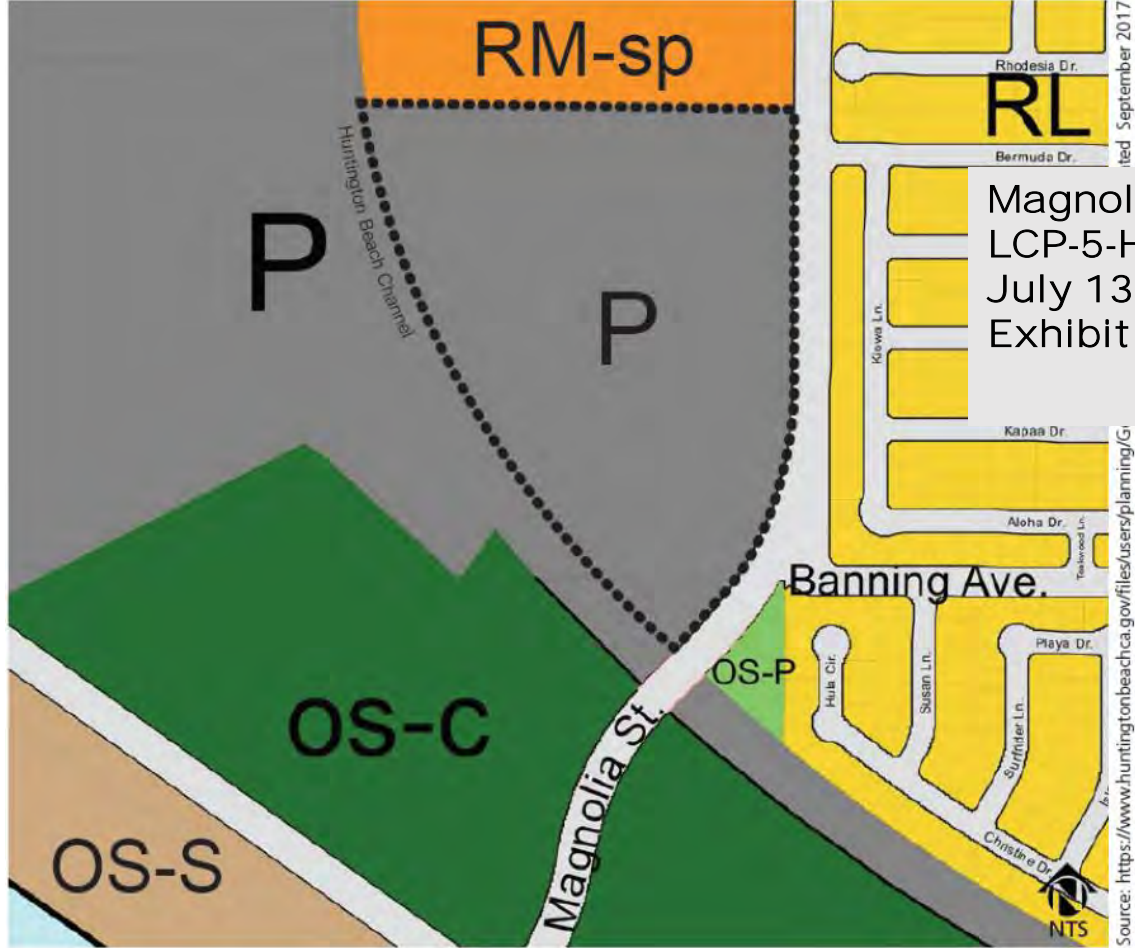






Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 1

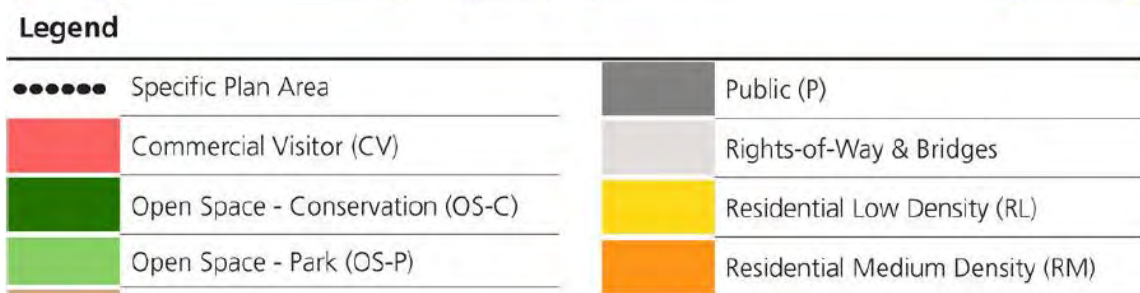




**Overlay Suffixes**

sp	Specific Plan Overlay
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**Existing Land Use Designation**

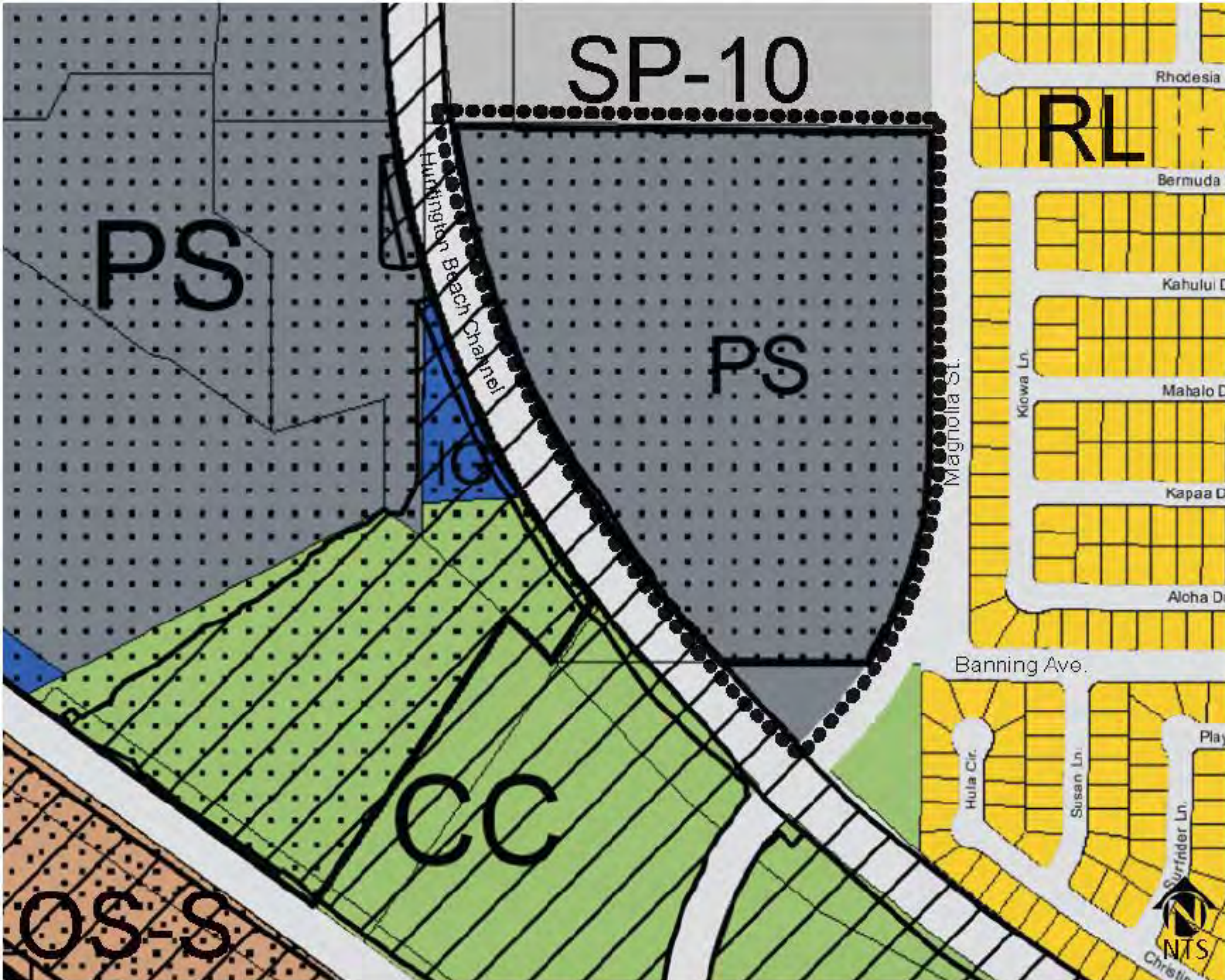


**Overlay Suffixes**

sp	Specific Plan Overlay
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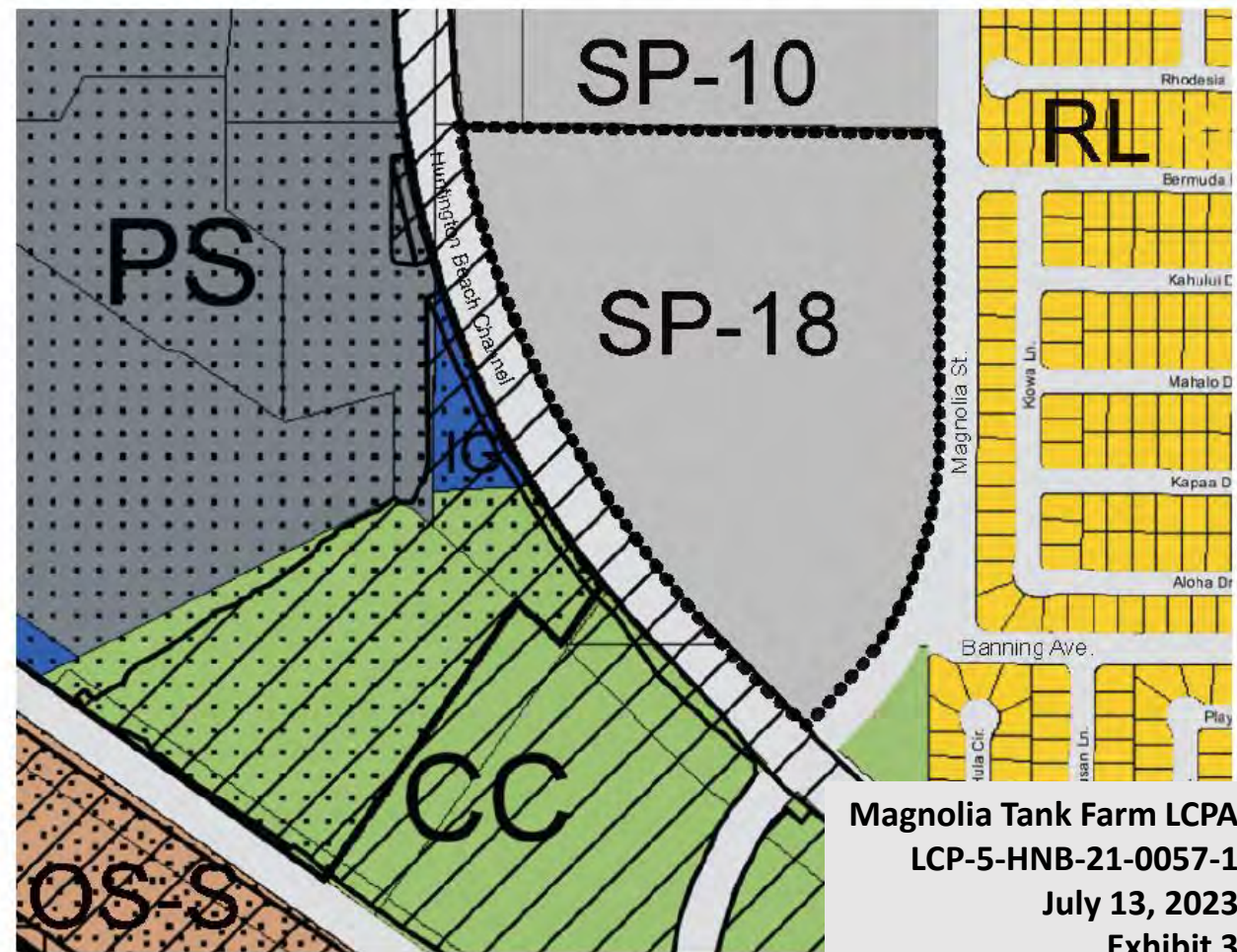
**Proposed Land Use Designations**





Legend	
.....	Specific Plan Area
	Coastal Conservation (CC)
	Industrial General (IG)
	Public-Semipublic (PS)
	Residential Low Density (RL)
	Rights-of-Way, Bridges & Channels
	Specific Plan Designations (SP)
	Oil Overlay (O)
	Shoreline Subdistrict (OS-S)
	FIRM Areas A & AE (FP-2)

**Existing Zoning**



Legend	
.....	Specific Plan Area
	Coastal Conservation (CC)
	Industrial General (IG)
	Public-Semipublic (PS)
	Residential Low Density (RL)
	Rights-of-Way, Bridges & Channels
	Specific Plan Designations (SP)
	Oil Overlay (O)
	Shoreline Subdistrict (OS-S)
	FIRM Areas A & AE (FP-2)

**Proposed Zoning**

**Magnolia Tank Farm LCPA**  
**LCP-5-HNB-21-0057-1**  
**July 13, 2023**  
**Exhibit 3**





**Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
Proposed MTF Specific Plan Land Uses  
Exhibit 4**



RESOLUTION NO. 2021-04

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HUNTINGTON  
BEACH ADOPTING LOCAL COASTAL PROGRAM AMENDMENT NO. 17-  
001 AND REQUESTING CERTIFICATION BY THE CALIFORNIA  
COASTAL COMMISSION

WHEREAS, the Planning Commission, after giving notice as prescribed by law, held at least one public hearing on the proposed Huntington Beach Local Coastal Program Amendment No. 17-001; and

Such amendment was recommended to the City Council for adoption; and

The City Council, after giving notice as prescribed by law, held at least one public hearing on the proposed Huntington Beach Local Coastal Program Amendment No. 17-001, and the City Council finds that the proposed amendment is consistent with the Huntington Beach General Plan, the Certified Huntington Beach Local Coastal Program (including the Land Use Plan), and Chapter 6 of the California Coastal Act; and

The City Council of the City of Huntington Beach intends to implement the Local Coastal Program in a manner fully consistent with the California Coastal Act,

NOW, THEREFORE, City Council of the City of Huntington Beach does hereby resolve as follows:

SECTION 1: That Huntington Beach Local Coastal Program Amendment No. 17-001 includes Resolution No. 2021-02 pertaining to General Plan Amendment No. 17-001 a copy of which is attached hereto as Exhibit A, and incorporated by this reference as though fully set forth herein.

SECTION 2: That Huntington Beach Local Coastal Program Amendment No. 17-001 includes Ordinance No. 4225 pertaining to Zoning Map Amendment No. 17-001 a copy of which is attached hereto as Exhibit B, and incorporated by this reference as though fully set forth herein.

SECTION 3: That Huntington Beach Local Coastal Program Amendment No. 17-001 includes Resolution No. 2021-03 pertaining to Zoning Text Amendment No. 17-005 a copy of which is attached hereto as Exhibit C, and incorporated by this reference as though fully set forth herein.

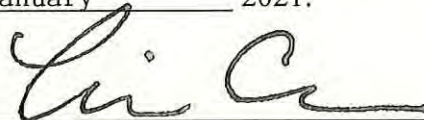
SECTION 4: That the Local Coastal Program (Coastal Element) is hereby changed to reflect a change in the land use designation for the subject property pursuant to General Plan Amendment No. 17-001 and to reflect text and figure amendments a copy of which is attached hereto as Exhibit D.



SECTION 4: That the California Coastal Commission is hereby requested to consider, approve and certify Huntington Beach Local Coastal Program Amendment No. 17-001.

SECTION 5: That pursuant to Section 13551(b) of the Coastal Commission Regulations, Huntington Beach Local Coastal Program Amendment No. 17-001 will take effect automatically upon Coastal Commission approval, as provided in *Public Resources Code* Sections 30512, 30513 and 30519.

PASSED AND ADOPTED by the City Council of the City of Huntington Beach at a regular meeting hereof held on the 19th day of January 2021.




Mayor

ATTEST:



City Clerk

APPROVED AS TO FORM:



City Attorney

REVIEWED AND APPROVED:



City Manager

INITIATED AND APPROVED:



Director of Community Development

ATTACHMENTS:

Exhibit A: General Plan Amendment No. 17-001 Resolution No. 2021-02

Exhibit B: Zoning Map Amendment No. 17-001 Ordinance No. 4225

Exhibit C: Zoning Text Amendment No. 17-005 Resolution No. 2021-03

Exhibit D: Amended Coastal Element Land Use Plan (Extract of Figure C-9), Text, and Figures



RESOLUTION NO. 2021-02

A RESOLUTION OF THE CITY COUNCIL OF  
THE CITY OF HUNTINGTON BEACH APPROVING  
GENERAL PLAN AMENDMENT NO. 17-001

WHEREAS, General Plan Amendment No. 17-001 proposes to amend Figure LU-2 of the Land Use Element of the City's General Plan to change the land use designation of the real property consisting of an approximately 29-acre site generally located on the west side of Magnolia Street at Banning Avenue, as more particularly described in Exhibits A through C attached hereto, from Public (P) to:

1. Commercial Visitor-Specific Plan Overlay (CV-sp) (max 1.5 Floor Area Ratio) on an approximately 4.4-acre portion;
2. Residential Medium Density-Specific Plan Overlay (RM-sp) (max 15 dwelling units/acre) on an approximately 19-acre portion;
3. Open Space Park-Specific Plan Overlay (OS-P-sp) on an approximately 2.8-acre portion; and
4. Open Space Conservation-Specific Plan Overlay (OS-C-sp) on an approximately 2.8-acre portion.

Pursuant to California Government Code, the Planning Commission of the City of Huntington Beach, after notice duly given, held a public hearing to consider General Plan Amendment No. 17-001 and recommended approval of said entitlement to the City Council; and

Pursuant to California Government Code, the City Council of the City of Huntington Beach, after notice duly given, held a public hearing to consider General Plan Amendment No. 17-001; and

The City Council finds that said General Plan Amendment No. 17-001 is necessary for the changing needs and orderly development of the community, is necessary to accomplish refinement of the General Plan, and is consistent with other elements of the General Plan.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Huntington Beach as follows:

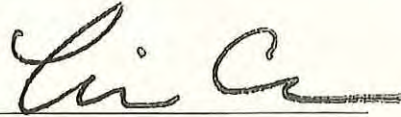
SECTION 1: That the real property that is the subject of this Resolution (hereinafter referred to as the "Subject Property") is generally located on the west side of Magnolia Street at Banning Avenue and is more particularly described in the legal description and maps attached hereto as Exhibits A through C and incorporated by this reference as though fully set forth herein.

SECTION 2: That General Plan Amendment No. 17-001 is hereby approved. The Director of Community Development is hereby directed to prepare and file an amended Land Use Map and Figure LU-3. A copy of said map and figure, as amended, shall be available for inspection in the Community Development Department. This resolution shall take effect



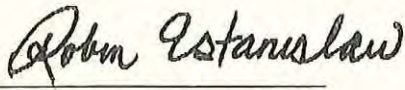
immediately upon certification of Local Coastal Program Amendment No. 17-001 by the California Coastal Commission.

PASSED AND ADOPTED by the City Council of the City of Huntington Beach at a regular meeting thereof held on the 19th day of January, 2021.



Mayor

ATTEST:



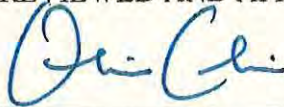
City Clerk

APPROVED AS TO FORM:



City Attorney *mv*

REVIEWED AND APPROVED:



City Manager

INITIATED AND APPROVED:



Community Development Director

ATTACHMENTS

- Exhibit A: Legal Description
- Exhibit B: Planning Areas Map
- Exhibit C: Proposed General Plan Map (Extract of Figure LU-2)
- Exhibit D: Amended Figure LU-3



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

THOSE CERTAIN PORTIONS OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO LAS BOLSAS, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA TOGETHER WITH THOSE CERTAIN PORTIONS OF THE NORTHEAST QUARTER OF FRACTIONAL SECTION 24, TOWNSHIP 6 SOUTH, RANGE 11 WEST, BOTH AS SHOWN ON A MAP RECORDED IN BOOK 51, PAGE 14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

#### **PA 1:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 70.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4847.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 43°39'13" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID NORTHEASTERLY LINE;

THENCE NORTHWESTERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING THREE (3) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE 94.00 FEET THROUGH A CENTRAL ANGLE OF 01°09'32";
2. NORTH 45°11'15" WEST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET;
3. NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 1395.10 FEET THROUGH A CENTRAL ANGLE OF 35°33'56" TO A POINT OF NON-TANGENCY, SAID POINT BEING ON THE NORTHERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, AS SHOWN ON SAID RECORD OF SURVEY, A RADIAL LINE TO SAID POINT BEARS SOUTH 80°22'41" WEST;

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 70.88 FEET TO A POINT ON THE NORTHEASTERLY LINE OF SAID 145.00 FEET WIDE RIGHT OF WAY, SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2317.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 80°39'27" WEST;

THENCE ALONG SAID NORTHEASTERLY LINE, THE FOLLOWING THREE (3) COURSES:

1. SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE 1449.86 FEET THROUGH A CENTRAL ANGLE OF 35°50'42";
2. SOUTH 45°11'15" EAST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4717.50;
3. SOUTHEASTERLY ALONG SAID CURVE 96.20 FEET THROUGH A CENTRAL ANGLE OF 01°10'06" TO THE POINT OF BEGINNING.

CONTAINING 123,544 SQUARE FEET OR 2.836 ACRES, MORE OR LESS.



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

**PA 2A:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 70.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4647.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 43°39'13" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID NORTHEASTERLY LINE;

THENCE NORTHWESTERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING THREE (3) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE 94.00 FEET THROUGH A CENTRAL ANGLE OF 01°09'32";
2. NORTH 45°11'15" WEST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET;
3. NORTHWESTERLY ALONG SAID CURVE 372.06 FEET THROUGH A CENTRAL ANGLE OF 09°29'06" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 54°17'51" WEST; SAID POINT BEING THE **TRUE POINT OF BEGINNING**;

THENCE NORTH 00°08'22" EAST 80.25 FEET;

THENCE NORTH 59°57'36" EAST 138.52 FEET;

THENCE NORTH 37°05'21" WEST 2.64 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 16.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE 12.74 FEET THROUGH A CENTRAL ANGLE OF 45°36'42" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 49.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 07°38'12" WEST;

THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 90.79 FEET THROUGH A CENTRAL ANGLE OF 106°09'23" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 454.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 41°30'29" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE 184.90 FEET THROUGH A CENTRAL ANGLE OF 23°20'05" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 58°25'50" WEST, SAID POINT BEING ON SAID PARALLEL AND CONCENTRIC LINE;

THENCE SOUTHEASTERLY ALONG SAID CURVE 162.12 FEET THROUGH A CENTRAL ANGLE OF 04°07'59" TO THE **TRUE POINT OF BEGINNING**.

CONTAINING 16,131 SQUARE FEET OR 0.370 ACRES, MORE OR LESS.



**EXHIBIT "A"**  
**PLANNING AREAS**  
**LEGAL DESCRIPTIONS**

**PA 2B:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAID INTERSECTION ALSO BEING THE NORTHEAST CORNER OF THAT CERTAIN LAND AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 75.00 FEET TO A LINE PARALLEL WITH AND 75 FEET WESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 00°40'51" EAST 93.84 FEET;

THENCE NORTH 89°19'09" EAST 50.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID WESTERLY LINE, NORTH 00°40'51" WEST 68.52 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 6,892 SQUARE FEET OR 0.158 ACRES, MORE OR LESS.



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

**PA 2C:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAID INTERSECTION ALSO BEING THE NORTHEAST CORNER OF THAT CERTAIN LAND AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 75.00 FEET TO A LINE PARALLEL WITH AND 75 FEET WESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 00°40'51" EAST 93.84 FEET;

THENCE NORTH 89°19'09" EAST 50.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID WESTERLY LINE, SOUTH 00°40'51" EAST 118.00 FEET TO A POINT OF CUSP ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 25.00 FEET, SAID POINT ALSO BEING THE **TRUE POINT BEGINNING**;

THENCE NORTHERLY, NORTHWESTERLY AND WESTERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE SOUTH 89°19'09" WEST 50.00 FEET TO A LINE 75.00 FEET WESTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°40'51" EAST 638.76 FEET TO THE BEGINNING OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 875.00 FEET;
2. SOUTHERLY ALONG SAID CURVE, 250.17 FEET THROUGH A CENTRAL ANGLE OF 16°22'54" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 74°17'57" EAST;

THENCE SOUTH 89°19'09" WEST 112.29 FEET;

THENCE SOUTH 10°48'29" EAST 68.67 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 92.00 FEET;

THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE 84.16 FEET THROUGH A CENTRAL ANGLE OF 52°24'43";

THENCE SOUTH 63°13'12" EAST 48.69 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 26.00 FEET;

THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY ALONG SAID CURVE 42.31 FEET THROUGH A CENTRAL ANGLE OF 93°13'50" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET, SAID POINT BEING THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 950.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 66°27'02" EAST;

THENCE ALONG SAID WESTERLY LINE, THE FOLLOWING TWO (2) COURSES:

1. NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 401.75 FEET THROUGH A CENTRAL ANGLE OF 24°13'49";
2. NORTH 00°40'51" WEST 613.76 FEET TO THE **TRUE POINT BEGINNING**.

CONTAINING 88,010 SQUARE FEET OR 2.020 ACRES, MORE OR LESS.

M:\MAPPING\1203\007\LEGALS\PLANNING AREAS\1203-007LOX-EXH A&B-PA.DWG (08-20-18)

**PAGE 4 OF 9**



**EXHIBIT "A"**  
**PLANNING AREAS**  
**LEGAL DESCRIPTIONS**

**PA 2D:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 70.00 FEET TO THE **TRUE POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 10.56 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 950 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE 202.51 FEET THROUGH A CENTRAL ANGLE OF 12°12'49" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 25.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 59°11'41" EAST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE 41.03 FEET THROUGH A CENTRAL ANGLE OF 94°01'31";

THENCE NORTH 63°13'12" WEST 28.61 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 895.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 60°39'47" EAST, SAID CURVE BEING 55.00 FEET NORTHWESTERLY OF AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHWESTERLY ALONG SAID CURVE 213.72 FEET THROUGH A CENTRAL ANGLE OF 13°40'55" TO A POINT OF TANGENCY WITH A LINE PARALLEL WITH AND 55.00 FEET NORTHWESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 43°01'08" WEST 9.62 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4847.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 44°19'54" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND CONCENTRIC WITH THE NORTHEASTERLY LINE OF SAID 145.00 FEET WIDE RIGHT OF WAY;

THENCE SOUTHEASTERLY ALONG SAID CURVE 55.00 FEET THROUGH A CENTRAL ANGLE OF 00°40'41" TO THE **TRUE POINT OF BEGINNING**.

CONTAINING 12,587 SQUARE FEET OR 0.289 ACRES, MORE OR LESS.



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 3:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAID INTERSECTION ALSO BEING THE NORTHEAST CORNER OF THAT CERTAIN LAND AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 75.00 FEET TO THE **TRUE POINT OF BEGINNING**, SAID POINT BEING ON A LINE PARALLEL WITH AND 75 FEET WESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 00°40'51" EAST 93.84 FEET;

THENCE NORTH 89°19'09" EAST 50.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID WESTERLY LINE, SOUTH 00°40'51" EAST 118.00 FEET TO A POINT OF CUSP ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE NORTHERLY, NORTHWESTERLY AND WESTERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE SOUTH 89°19'09" WEST 50.00 FEET TO A LINE 75.00 FEET WESTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°40'51" EAST 638.76 FEET TO THE BEGINNING OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 875.00 FEET;
2. SOUTHERLY ALONG SAID CURVE, 250.17 FEET THROUGH A CENTRAL ANGLE OF 16°22'54" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 74°17'57" EAST;

THENCE SOUTH 89°19'09" WEST 112.29 FEET;

THENCE SOUTH 80°36'12" WEST 29.01 FEET;

THENCE NORTH 15°37'33" WEST 25.50 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 40.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE 14.45 FEET THROUGH A CENTRAL ANGLE OF 20°42'06" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 81.00 FEET, A RADIAL LINE TO SAID POINT BEARS NORTH 53°40'21" EAST;

THENCE NORTHWESTERLY ALONG SAID CURVE 30.93 FEET THROUGH A CENTRAL ANGLE OF 21°52'41";

THENCE NORTH 58°12'20" WEST 317.23 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 200.00 FEET;



**EXHIBIT "A"**  
**PLANNING AREAS**  
**LEGAL DESCRIPTIONS**

**PA 3:**

(CONTINUATION)

THENCE NORTHWESTERLY ALONG SAID CURVE 69.42 FEET THROUGH A CENTRAL ANGLE OF 19°53'12" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 51°40'52" WEST;

THENCE SOUTH 59°57'36" WEST 24.23 FEET;

THENCE NORTH 37°05'21" WEST 2.64 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 16.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE 12.74 FEET THROUGH A CENTRAL ANGLE OF 45°36'42" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 49.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 07°38'12" WEST;

THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 90.79 FEET THROUGH A CENTRAL ANGLE OF 106°09'23" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 454.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 41°30'29" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE 184.90 FEET THROUGH A CENTRAL ANGLE OF 23°20'05" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 58°25'50" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND CONCENTRIC WITH THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 860.92 FEET THROUGH A CENTRAL ANGLE OF 21°56'51" TO A POINT OF NON-TANGENCY, SAID POINT BEING ON SAID NORTHERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, A RADIAL LINE TO SAID POINT BEARS SOUTH 80°22'41" WEST;

THENCE ALONG SAID NORTHERLY LINE, NORTH 89°33'26" EAST 1052.78 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINING 825,809 SQUARE FEET OR 18.958 ACRES, MORE OR LESS.



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 4:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 80.56 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 950 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE 202.51 FEET THROUGH A CENTRAL ANGLE OF 12°12'49" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 25.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 59°11'41" EAST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE 41.03 FEET THROUGH A CENTRAL ANGLE OF 94°01'31";

THENCE NORTH 63°13'12" WEST 28.61 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 895.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 60°39'47" EAST, SAID CURVE BEING 55.00 FEET NORTHWESTERLY OF AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHWESTERLY ALONG SAID CURVE 213.72 FEET THROUGH A CENTRAL ANGLE OF 13°40'55" TO A POINT OF TANGENCY WITH A LINE PARALLEL WITH AND 55.00 FEET NORTHWESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 43°01'08" WEST 9.62 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4647.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 44°19'54" WEST, SAID POINT BEING THE **TRUE POINT OF BEGINNING**, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND CONCENTRIC WITH THE NORTHEASTERLY LINE OF SAID 145.00 FEET WIDE RIGHT OF WAY;

THENCE NORTHWESTERLY ALONG SAID CURVE AND THE NORTHWESTERLY EXTENSION OF A LINE 70.00 FEET NORTHEASTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID 145.00 FEET WIDE RIGHT OF WAY, THE FOLLOWING THREE (3) COURSES:

1. NORTHWESTERLY ALONG SAID LAST MENTIONED CURVE 39.00 FEET THROUGH A CENTRAL ANGLE OF 00°28'51";
2. NORTH 45°11'15" WEST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET;
3. NORTHWESTERLY ALONG SAID CURVE 372.06 FEET THROUGH A CENTRAL ANGLE OF 09°29'06" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 54°17'51" WEST;

THENCE NORTH 00°08'22" EAST 80.25 FEET;

THENCE NORTH 59°57'36" EAST 162.74 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 200.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 51°40'52" WEST;

THENCE SOUTHEASTERLY ALONG SAID CURVE 69.42 FEET THROUGH A CENTRAL ANGLE OF 19°53'12";

THENCE SOUTH 58°12'20" EAST 317.23 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 81.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE 30.93 FEET THROUGH A CENTRAL ANGLE OF 21°52'41" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 40.00 FEET, A RADIAL LINE TO SAID POINT BEARS NORTH 53°40'21" EAST;



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

**PA 4:**

(CONTINUATION)

THENCE SOUTHEASTERLY ALONG SAID CURVE 14.45 FEET THROUGH A CENTRAL ANGLE OF 20°42'06";

THENCE SOUTH 15°37'33" EAST 25.50 FEET;

THENCE NORTH 80°36'12" EAST 29.01 FEET;

THENCE SOUTH 10°48'29" EAST 68.67 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 92.00 FEET;

THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE 84.16 FEET THROUGH A CENTRAL ANGLE OF 52°24'43";

THENCE SOUTH 63°13'12" EAST 48.69 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 26.00 FEET;

THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY ALONG SAID CURVE 42.31 FEET THROUGH A CENTRAL ANGLE OF 93°13'50" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET, SAID POINT BEING A POINT OF CUSP AND THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 950.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 66°27'02" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE 120.31 FEET THROUGH A CENTRAL ANGLE OF 07°15'21" TO A POINT OF CUSP ON A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 25.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 59°11'41" EAST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE 41.03 FEET THROUGH A CENTRAL ANGLE OF 94°01'31";

THENCE NORTH 63°13'12" WEST 28.61 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 895.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 60°39'47" EAST, SAID CURVE BEING 55.00 FEET NORTHWESTERLY OF AND CONCENTRIC WITH SAID WESTERLY LINE;

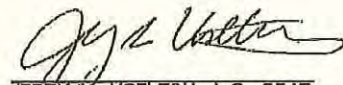
THENCE SOUTHWESTERLY ALONG SAID CURVE 213.72 FEET THROUGH A CENTRAL ANGLE OF 13°40'55" TO A POINT OF TANGENCY WITH A LINE PARALLEL WITH AND 55.00 FEET NORTHWESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 43°01'08" WEST 9.62 FEET TO **TRUE POINT OF BEGINNING**.

CONTAINING 189,964 SQUARE FEET OR 4.361 ACRES, MORE OR LESS.

ALL AS SHOWN ON EXHIBIT "B" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.

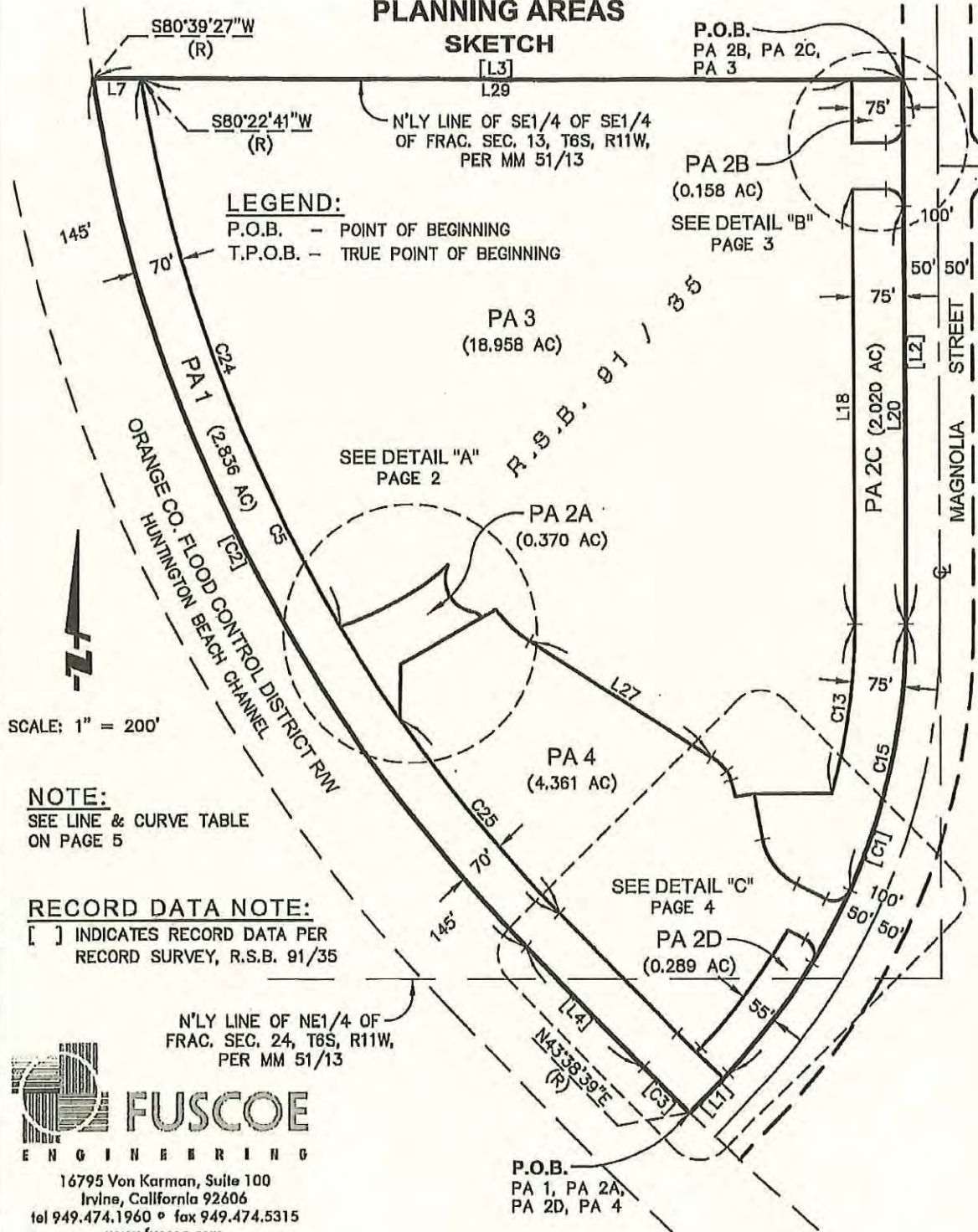
DATED THIS 20TH DAY OF JUNE, 2018.

  
JERRY L. USELTON, L.S. 5347





### SKETCH



SCALE: 1" = 200'

**NOTE:**  
SEE LINE & CURVE TABLE  
ON PAGE 5

**RECORD DATA NOTE:**  
**[ ]** INDICATES RECORD DATA PER  
 RECORD SURVEY, R.S.B. 91/35



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Page C-12

August 2019 Draft

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 5



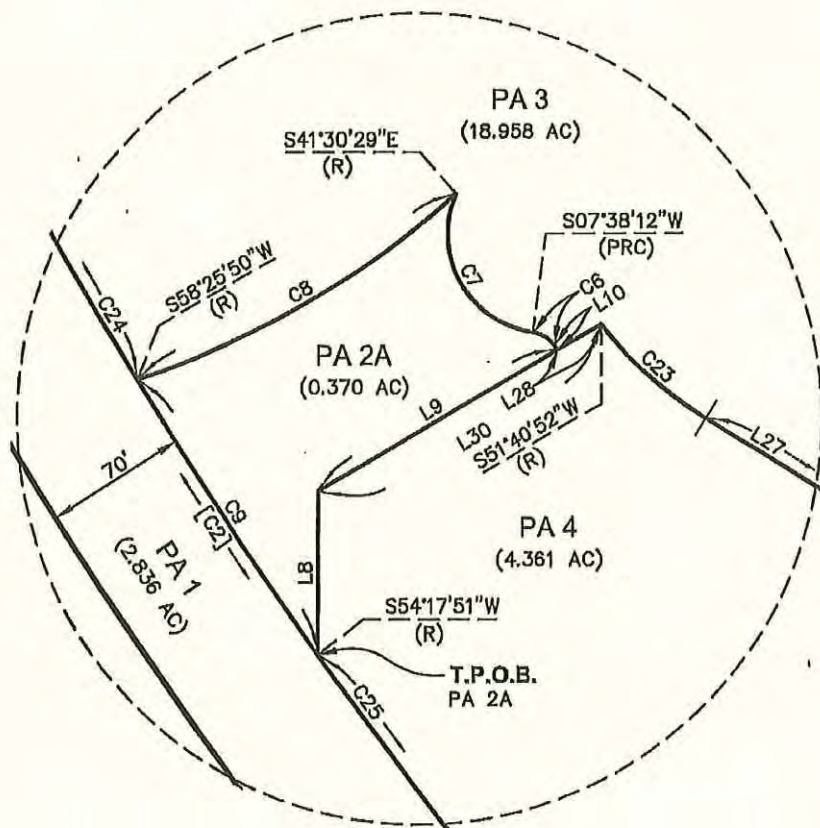
# EXHIBIT "B"

## PLANNING AREAS

### SKETCH



SCALE: 1" = 80'



DETAIL "A"

**FUSCOE**  
ENGINEERING  
16795 Van Karman, Suite 100  
Irvine, California 92606  
tel 949.474.1960 • fax 949.474.5315  
www.fuscoe.com

**NOTE:**  
SEE LINE & CURVE TABLE  
ON PAGE 5

M:\MAPPING\1293\007\LEGALS\PLANNING AREAS\1293-007LOX-EXH A&amp;B-PA.DWG (06-20-18)

PAGE 2 OF 5

August 2019 Draft

Page C-13

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 5



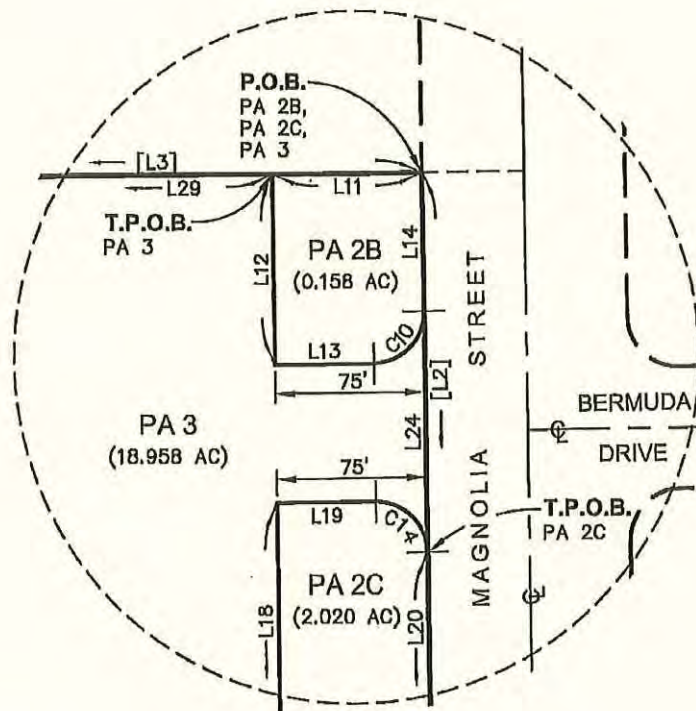
# EXHIBIT "B"

## PLANNING AREAS

### SKETCH



SCALE: 1" = 80'



DETAIL "B"

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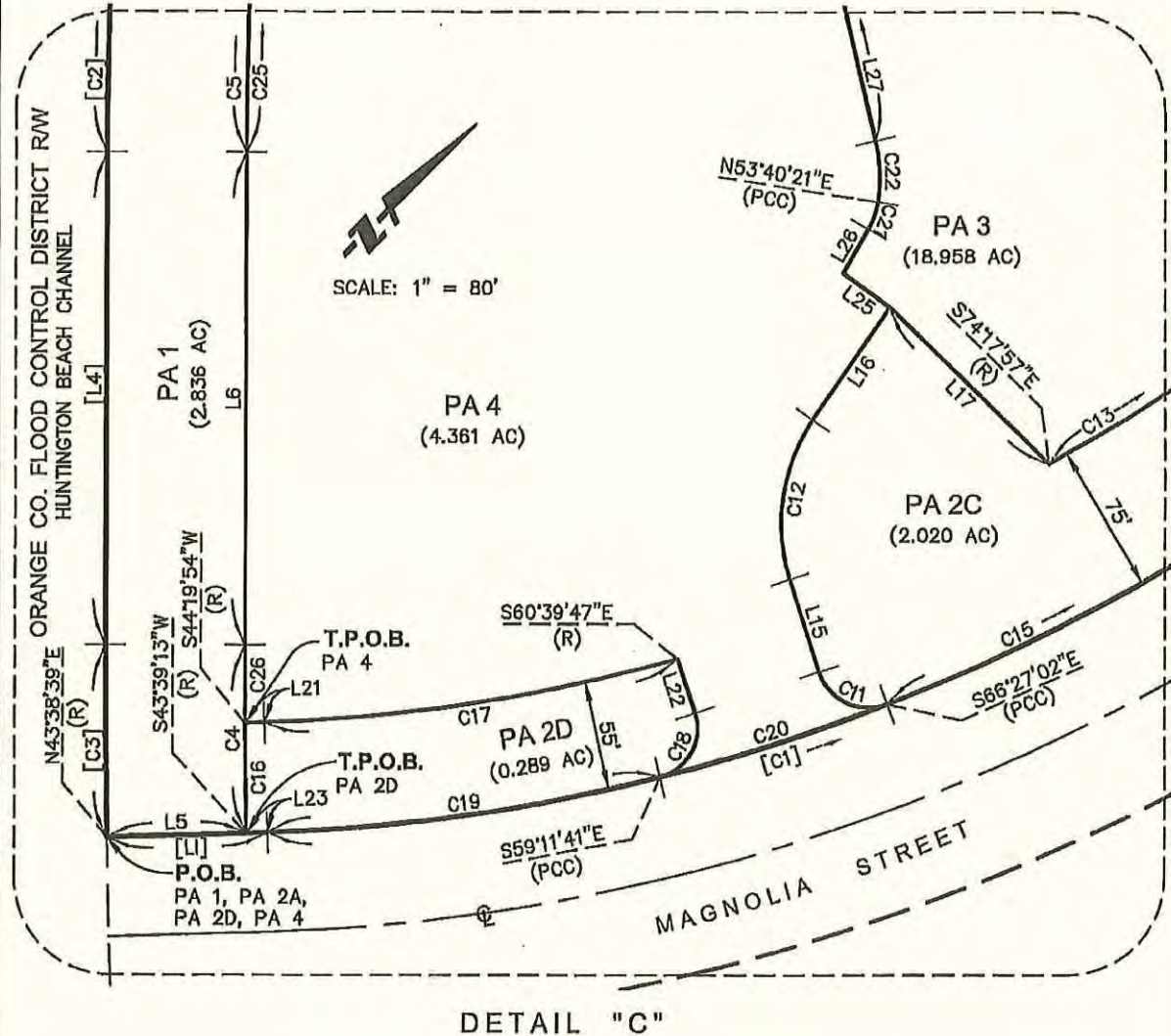
**NOTE:**  
SEE LINE & CURVE TABLE  
ON PAGE 5



# EXHIBIT "B"

## PLANNING AREAS

### SKETCH



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**NOTE:**  
SEE LINE & CURVE TABLE  
ON PAGE 5

M:\MAPPING\1203\007\LEGALS\PLANNING AREAS\1203-007L0X-EXH A&B-PA.DWG (06-20-18)

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August 2019 Draft

Page C-15

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 5



# EXHIBIT "B"

## PLANNING AREAS

### SKETCH

LINE TABLE		
NO.	BEARING	LENGTH
[L1]	N43°01'08"E	80.56'
[L2]	N00°40'51"W	800.28'
[L3]	N89°33'26"E	1198.66'
[L4]	S45°11'15"E	247.34'
L5	N43°01'08"E	70.00'
L6	N45°11'15"W	247.34'
L7	S89°33'26"W	70.88'
L8	N00°08'22"E	80.25'
L9	N59°57'36"E	138.52'
L10	N37°05'21"W	2.64'
L11	S89°33'26"W	75.00'
L12	S00°40'51"E	93.84'
L13	N89°19'09"E	50.00'
L14	N00°40'51"W	68.52'
L15	S83°13'12"E	48.69'
L16	S10°48'29"E	68.67'
L17	S89°19'09"W	112.29'
L18	S00°40'51"E	636.76'
L19	S89°19'09"W	50.00'
L20	N00°40'51"W	613.76'
L21	S43°01'08"W	9.62'
L22	N63°13'12"W	28.61'
L23	N43°01'08"E	10.56'
L24	S00°40'51"E	118.00'
L25	S80°36'12"W	29.01'
L26	N15°37'33"W	25.50'
L27	N58°12'20"W	317.23'
L28	S59°57'36"W	24.23'
L29	N89°33'26"E	1052.78'
L30	N59°57'36"E	162.74'

CURVE TABLE			
NO.	DELTA	RADIUS	LENGTH
[C1]	43°41'59"	950.00'	724.57'
[C2]	35°50'42"	2317.50'	1449.86'
[C3]	01°10'06"	4717.50'	96.20'
C4	01°09'32"	4647.50'	94.00'
C5	35°33'56"	2247.50'	1395.10'
C6	45°36'42"	16.00'	12.74'
C7	106°09'23"	49.00'	90.79'
C8	23°20'05"	454.00'	184.90'
C9	04°07'59"	2247.50'	162.12'
C10	90°00'00"	25.00'	39.27'
C11	93°13'50"	26.00'	42.31'
C12	52°24'43"	92.00'	84.16'
C13	16°22'54"	875.00'	250.17'
C14	90°00'00"	25.00'	39.27'
C15	24°13'49"	950.00'	401.75'
C16	00°40'41"	4647.50'	55.00'
C17	13°40'55"	895.00'	213.72'
C18	94°01'31"	25.00'	41.03'
C19	12°12'49"	950.00'	202.51'
C20	07°15'21"	950.00'	120.31'
C21	20°42'06"	40.00'	14.45'
C22	21°52'41"	81.00'	30.93'
C23	19°53'12"	200.00'	69.42'
C24	21°56'51"	2247.50'	860.92'
C25	09°29'06"	2247.50'	372.06'
C26	00°28'51"	4647.50'	39.00'

PREPARED UNDER MY SUPERVISION:

*Jerry L. Uelton*  
06-20-2018  
JERRY L. USELTON, L.S. 5347



16795 Von Karman, Suite 100  
Irvine, California 92606  
tel 949.474.1960 • fax 949.474.5315  
www.fuscoeng.com

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PAGE 5 OF 5



Exhibit C  
Proposed General Plan Map



Legend

●●●●●●	Specific Plan Area		Public (P)
	Commercial Visitor (CV)		Rights-of-Way & Bridges
	Open Space - Conservation (OS-C)		Residential Low Density (RL)
	Open Space - Park (OS-P)		Residential Medium Density (RM)
	Open Space - Shore (OS-S)		
<b>Overlay Suffixes</b>			
	sp	Specific Plan Overlay	





Land Use

## Exhibit D

Resolution No. 2021-02  
Exhibit "D"





Res. No. 2021-02

STATE OF CALIFORNIA  
COUNTY OF ORANGE                     ) ss:  
CITY OF HUNTINGTON BEACH         )

I, ROBIN ESTANISLAU, the duly elected, qualified City Clerk of the City of Huntington Beach, and ex-officio Clerk of the City Council of said City, do hereby certify that the whole number of members of the City Council of the City of Huntington Beach is seven; that the foregoing resolution was passed and adopted by the affirmative vote of at least a majority of all the members of said City Council at a **Regular** meeting thereof held on **January 19, 2021** by the following vote:

**AYES:**       Kalmick, Ortiz, Posey, Moser, Delgleize  
**NOES:**       Peterson, Carr  
**ABSENT:**   None  
**RECUSE:**   None



\_\_\_\_\_  
City Clerk and ex-officio Clerk of the  
City Council of the City of  
Huntington Beach, California



ORDINANCE NO. 4225

AN ORDINANCE OF THE CITY OF HUNTINGTON BEACH AMENDING  
THE HUNTINGTON BEACH ZONING AND SUBDIVISION ORDINANCE TO REZONE  
THE REAL PROPERTY GENERALLY LOCATED ON THE WESTSIDE OF MAGNOLIA  
STREET AT BANNING AVENUE FROM PS-O-CZ (PUBLIC-SEMIPUBLIC - OIL  
PRODUCTION OVERLAY – COASTAL ZONE OVERLAY) TO SP-18-CZ (SPECIFIC PLAN  
– COASTAL ZONE OVERLAY)  
(ZONING MAP AMENDMENT NO. 17-001)

WHEREAS, pursuant to California State Planning and Zoning Law, the Huntington Beach Planning Commission and Huntington Beach City Council have held separate, duly noticed public hearings to consider Zoning Map Amendment No. 17-001, which rezones the property generally located on the westside of Magnolia Street at Banning Avenue from PS-O-CZ (Public-Semipublic – Oil Production Overlay – Coastal Zone Overlay) to SP-18-CZ (Specific Plan – Coastal Zone Overlay); and

After due consideration of the findings and recommendations of the Planning Commission and all other evidence presented, the City Council finds that the aforesaid amendment is proper and consistent with the General Plan;

NOW, THEREFORE, the City Council of the City of Huntington Beach does hereby ordain as follows:

SECTION 1: That the real property that is the subject of this ordinance is generally located on the westside of Magnolia Street at Banning Avenue and is more particularly described in the legal description and map attached hereto as Exhibit A and, incorporated herein by this reference.

SECTION 2: That the zoning designation of the Subject Property is hereby changed from PS-O-CZ (Public-Semipublic – Oil Production Overlay – Coastal Zone Overlay) to SP-18-CZ (Specific Plan – Coastal Zone Overlay) (Exhibit B).

SECTION 3: That the Huntington Beach Zoning and Subdivision Ordinance is hereby amended to reflect Zoning Map Amendment No. 17-001 as described herein. The Director of Community Development is hereby directed to prepare and file an amended zoning map. A copy of said amended map shall be available for inspection in the Office of the City Clerk.

SECTION 4: This ordinance shall become effective immediately upon certification of Local Coastal Program Amendment No. 17-001 by the California Coastal Commission but not less than 30 days after its adoption.

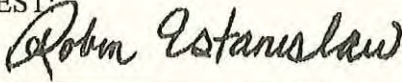


PASSED AND ADOPTED by the City Council of the City of Huntington Beach at a regular meeting thereof held on the 1st day of February, 2021.



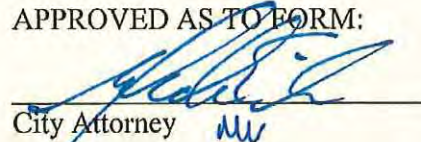
Mayor

ATTEST:



City Clerk

APPROVED AS TO FORM:



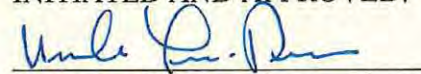
City Attorney

REVIEWED AND APPROVED:



City Manager

INITIATED AND APPROVED:



Director of Community Development

ATTACHMENTS:

- Exhibit A: Legal Description and Map  
Exhibit B: Amended Zoning Map



## Exhibit A

### Legal Description and Map

The land referred to in this policy is situated in the County of Orange, State of California, and is described as follows:

**Parcel 1: (A.P.N. 114-150-36)**

That portion of the southeast quarter of the southeast quarter of Section 13, Township 6 South, Range 11 West, San Bernardino Base and Meridian, in the Rancho Las Bolsas, in the City of Huntington Beach, County of Orange, State of California, as shown on a map recorded in Book 51 page 14 of miscellaneous maps, in the office of the County Recorder of said County, lying easterly of the easterly line of that certain strip of land 145.00 feet wide, described and designated as Parcel D1-104 in the final order of condemnation had in Case No. 80955 of the Superior Court of the State of California, in and for the County of Orange, a certified copy of which was recorded September 8, 1961 in Book 5842 page 7 of Official Records.

Except therefrom the "severed property" as described in Part B of the Grant Deed from the Southern California Edison Company, a corporation, recorded August 4, 2003 as Instrument No. 2003000931976 of Official Records.

Also excepting therefrom: "All oil, gas, petroleum and other mineral or hydrocarbon substances in and under or which may be produced from that certain portion of the hereinabove described as Parcels 1 and 2 together with the right to use those portions only of said lands which underlie a plane parallel to and five hundred (500) feet below the present surface of said lands, for the purpose of prospecting for, developing and/or extracting said oil, gas, petroleum and other mineral or hydrocarbon substances from said lands by means of wells drilled into said subsurface of said land from drill sites located on other land, it being expressly understood and agreed that said grantor, their successors and assigns, shall have no right to enter upon the surface of said lands or to use said lands or any portion thereof to said depth of five hundred (500) feet, for any purpose whatsoever", as reserved in the Deed from Dorothy Constance Smith recorded July 30, 1962 in Book 6194 page 470 of Official Records.



**Parcel 2: (A.P.N. 114-481-32)**

That portion of the northeast quarter of fractional Section 24, Township 6 South, Range 11 West, San Bernardino Base and Meridian, in the Rancho Las Bolsas, in the City of Huntington Beach, County of Orange, State of California, as shown on a map recorded in Book 51 page 14, in the office of the County Recorder of said County, described as follows:

Beginning at the intersection of the northerly line of said fractional Section 24 with the northeasterly right of way line of the Orange County Flood Control District's "Huntington Beach Channel" as described in the final order of condemnation recorded in Book 5591 page 500, et seq. of Official Records in the office of the County Recorder of said County; thence north  $89^{\circ} 32' 40''$  east along said northerly line of fractional Section 24 a distance of 360.17 feet to the southwesterly corner of that certain real property described and designated as "Parcel Two" in that certain road easement to the City of Huntington Beach recorded October 13, 1967 in Book 8418 page 439 of said Official Records, said southwesterly corner being also a point in a curve concave to the northwest having a radius of 950.00 feet from which point a radial line of said curve bears north  $57^{\circ} 33' 35''$  west; thence southwesterly along said curve through a central angle of  $10^{\circ} 37' 14''$  an arc distance of 176.10 feet; thence tangent to said last mentioned curve 80.37 feet to a point in a curve in said northeasterly right of way line of the Orange County Flood Control District's "Huntington Beach Channel", said last mentioned curve being concave to the northeast and having a radius of 4,717.50 feet from which point a radial line of said curve bears north  $43^{\circ} 40' 03''$  east; thence northwesterly along said last mentioned curve, through a central angle of  $01^{\circ} 10' 00''$  an arc distance of 96.06 feet; thence tangent to said curve north  $45^{\circ} 09' 57''$  west 181.36 feet to the point of beginning.

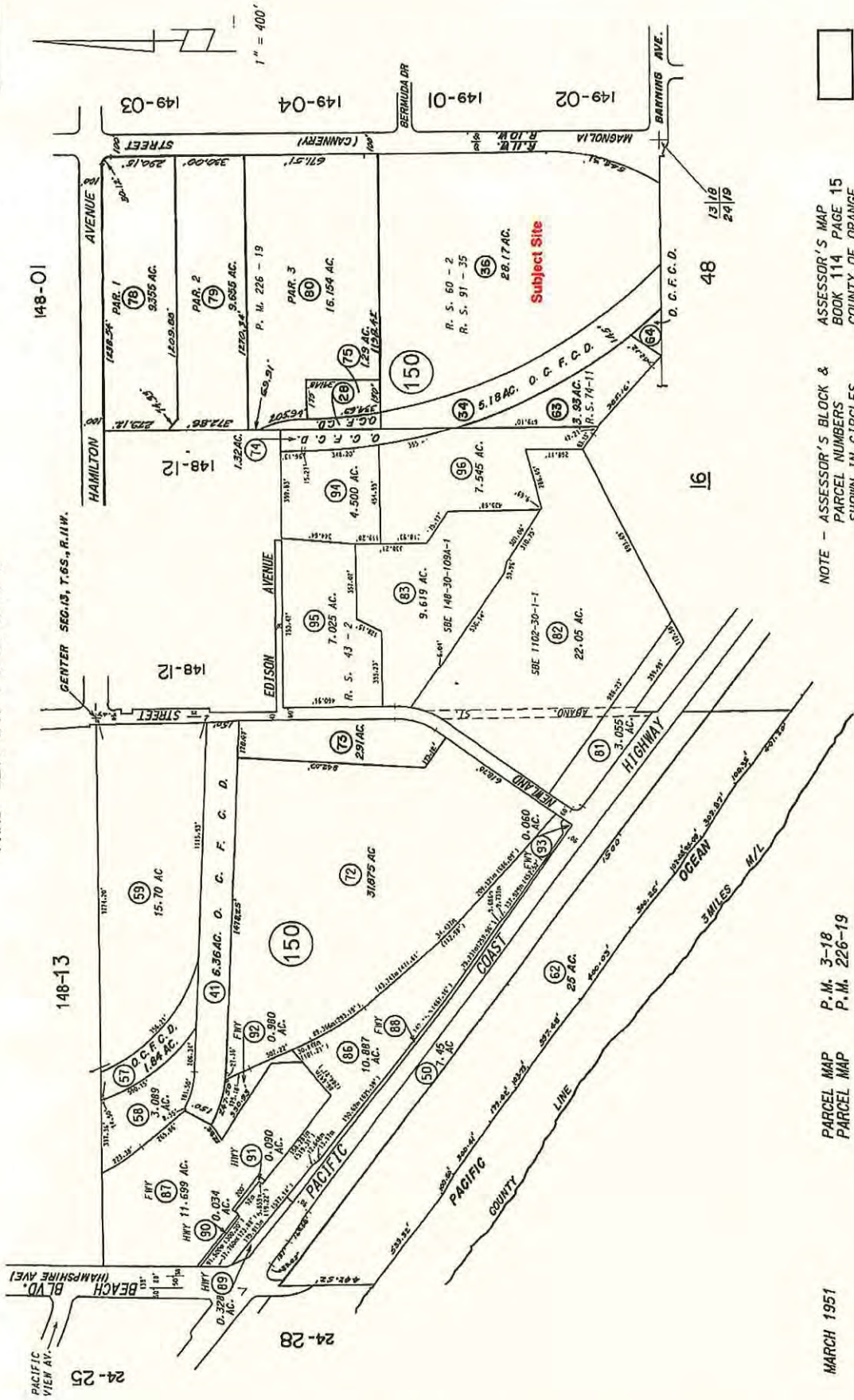
Except therefrom the "Severed Property" as described in Part B of the Grant Deed from the Southern California Edison Company, a corporation, recorded August 4, 2003 as Instrument No. 2003000931976 of Official Records.

**Basis of Bearing:**

Bearings shown hereon are based upon the centerline of Magnolia Street being north  $00^{\circ} 17' 10''$  west as shown on Record of Survey 2005-1075 filed in Book 232 pages 1-10, of Records of Survey, Records of Orange County, California.



S 1/2, SEC. 13, T 6 S, R 11 W  
FRAC. SEC. 24, T 6 S, R 11 W



NOTE - ASSESSOR'S BLOCK &  
PARCEL NUMBERS  
SHOWN IN CIRCLES

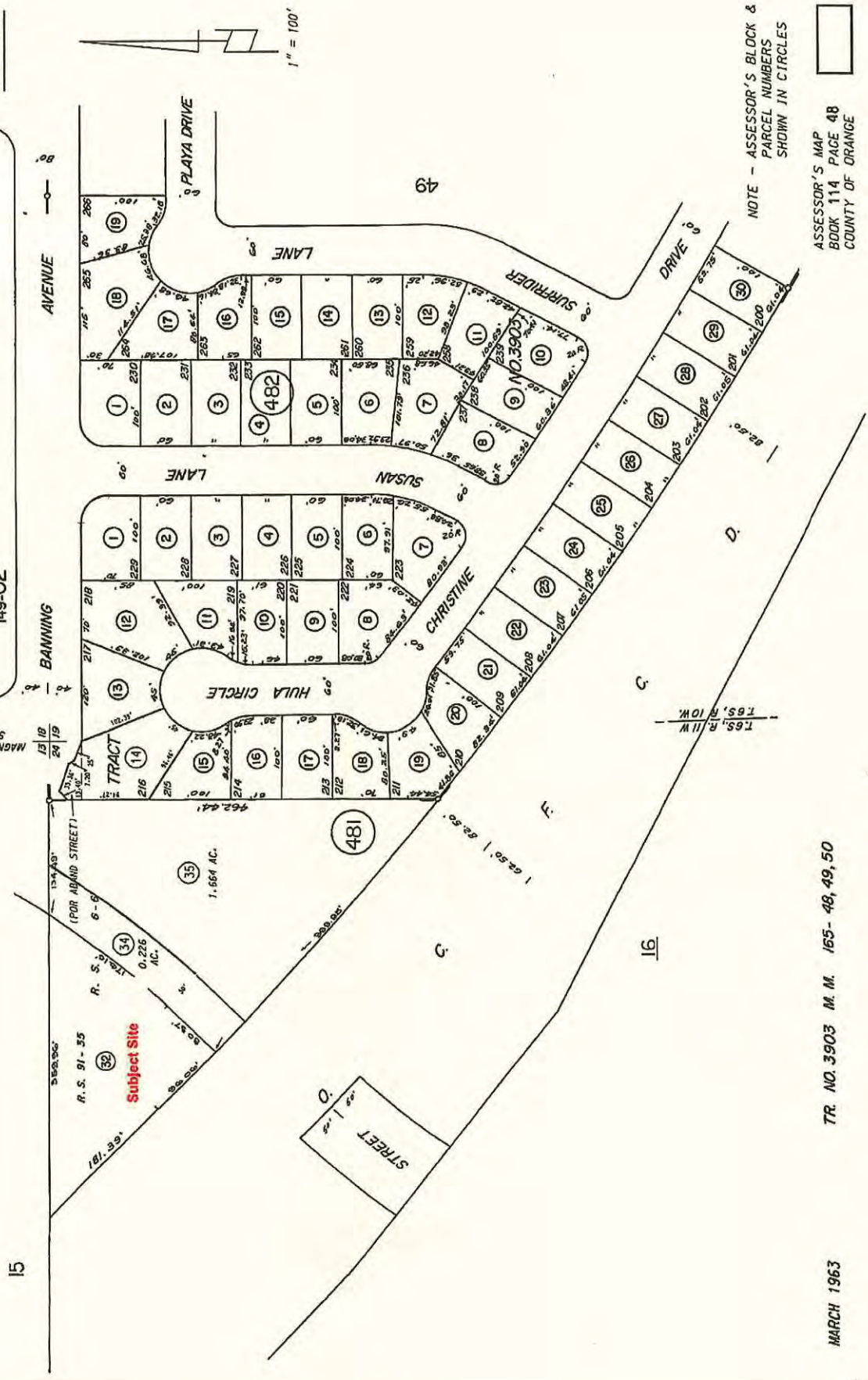
PARCEL MAP P.M. 3-18  
PARCEL MAP P.M. 226-19

MARCH 1951



POR NE1/4, NE1/4, NE1/4, FRAC. SEC. 24, T6S, R11W

149-02



NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

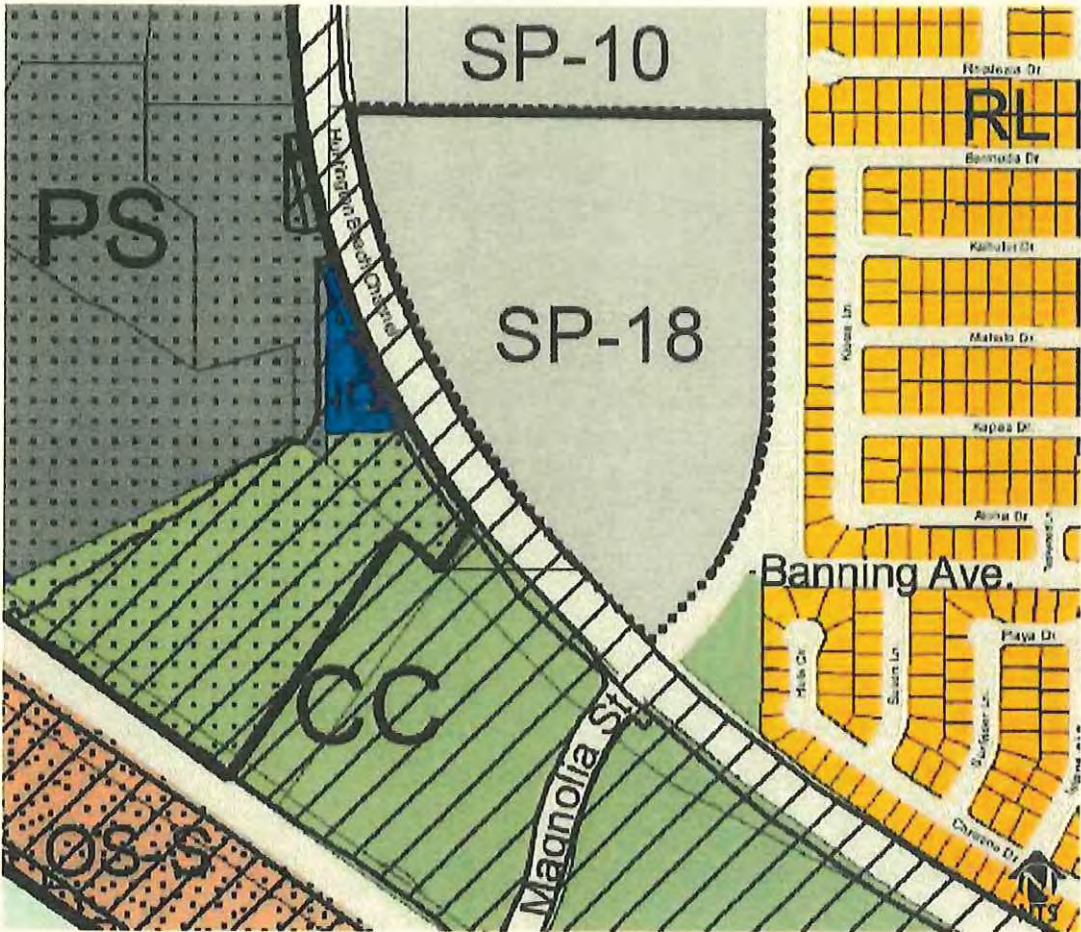
ASSESSOR'S MAP  
BOOK 114 PAGE 48  
COUNTY OF ORANGE







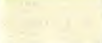



TR. NO. 3903 M. M. 165-48, 49, 50

MARCH 1963



Exhibit B  
Amended Zoning Map  
Excerpt of District Maps 14 and 29



Legend	
	Specific Plan Area
	Coastal Conservation (CC)
	Open Space - Shoreline Subdistrict (OS-S)
	Industrial General (IG)
	Public-Semipublic (PS)
	Residential Low Density (RL)
	Rights-of-Way, Bridges & Channels
	Specific Plan Designations (SP)
	Oil Overlay (O)
	FIRM Areas A & AE (FP-2)



STATE OF CALIFORNIA           )  
COUNTY OF ORANGE           ) ss:  
CITY OF HUNTINGTON BEACH )

I, ROBIN ESTANISLAU, the duly elected, qualified City Clerk of the City of Huntington Beach, and ex-officio Clerk of the City Council of said City, do hereby certify that the whole number of members of the City Council of the City of Huntington Beach is seven; that the foregoing ordinance was read to said City Council at a **Regular** meeting thereof held on **January 19, 2021**, and was again read to said City Council at a **Regular** meeting thereof held on **February 1, 2021**, and was passed and adopted by the affirmative vote of at least a majority of all the members of said City Council.

**AYES:**           Kalmick, Posey, Moser, Delgleize

**NOES:**           Peterson, Ortiz, Carr

**ABSENT:**       None

**ABSTAIN:**      None

I, Robin Estanislau, CITY CLERK of the City of Huntington Beach and ex-officio Clerk of the City Council, do hereby certify that a synopsis of this ordinance has been published in the Huntington Beach Wave on February 11, 2021.

In accordance with the City Charter of said City.

\_\_\_\_\_  
Robin Estanislau, City Clerk

\_\_\_\_\_  
Deputy City Clerk



\_\_\_\_\_  
City Clerk and ex-officio Clerk  
of the City Council of the City  
of Huntington Beach, California



RESOLUTION NO. 2021-03

A RESOLUTION OF THE CITY COUNCIL OF THE  
CITY OF HUNTINGTON ADOPTING ZONING TEXT  
AMENDMENT NO. 17-005 BY CREATING THE  
MAGNOLIA TANK FARM SPECIFIC PLAN (SP-18) TO APPLY TO REAL PROPERTY ON  
THE WEST SIDE OF MAGNOLIA STREET AT BANNING AVENUE

WHEREAS, pursuant to the California State Planning and Zoning Law, the Huntington Beach Planning Commission and Huntington Beach City Council have held separate public hearings relative to Zoning Text Amendment No. 17-005, wherein both bodies have carefully considered all information presented at said meetings, and after due consideration of the findings and recommendations of the Planning Commission and all other evidence presented to the City Council, the City Council finds that such zone change is proper and consistent with the General Plan.

NOW, THEREFORE, BE IT RESOLVED, the City Council of the City of Huntington Beach does hereby resolves as follows:

SECTION 1: The Magnolia Tank Farm Specific Plan is consistent with the adopted Land Use Element of the General Plan, and other applicable policies and is compatible with surrounding development.

SECTION 2: The Magnolia Tank Farm Specific Plan enhances the potential for superior urban design in comparison with the development standards under the base district provisions that would apply if the Plan were not approved.

SECTION 3: The deviations from the base district provisions that otherwise would apply are justified by the compensating benefits of the Magnolia Tank Farm Specific Plan, which guide the creation of a mixed-use community that provides visitor serving commercial uses, new residential product types, and opportunities for coastal access as well as passive recreation.

SECTION 4: The Magnolia Tank Farm Specific Plan includes adequate provisions for utilities, services, and emergency vehicle and public service demands and will not exceed the capacity of existing and planned systems.

SECTION 5: That the real property subject to this Resolution is west of Magnolia Street at Banning Avenue and is more particularly described in the legal description and sketch collectively attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.

SECTION 6: The Magnolia Tank Farm Specific Plan, attached herein as Exhibit B and incorporated by this reference as though fully set forth herein, is hereby adopted and approved. This resolution shall take effect immediately upon certification of Local Coastal Program Amendment No. 17-001 by the California Coastal Commission.



PASSED AND ADOPTED by the City Council of the City of Huntington Beach at a regular meeting thereof held on the 19th day of January 2021.



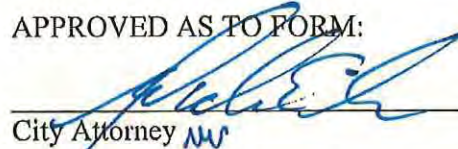
Mayor

ATTEST:



City Clerk

APPROVED AS TO FORM:



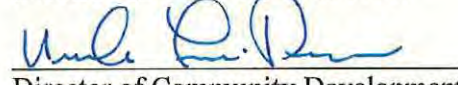
City Attorney *mv*

REVIEWED AND APPROVED:



City Manager

INITIATED AND APPROVED:



Director of Community Development

ATTACHMENTS:

Exhibit A: Legal Description and Map

Exhibit B: Specific Plan No. 18 – Magnolia Tank Farm Specific Plan



## Exhibit A

### Legal Description and Map

The land referred to in this policy is situated in the County of Orange, State of California, and is described as follows:

**Parcel 1: (A.P.N. 114-150-36)**

That portion of the southeast quarter of the southeast quarter of Section 13, Township 6 South, Range 11 West, San Bernardino Base and Meridian, in the Rancho Las Bolsas, in the City of Huntington Beach, County of Orange, State of California, as shown on a map recorded in Book 51 page 14 of miscellaneous maps, in the office of the County Recorder of said County, lying easterly of the easterly line of that certain strip of land 145.00 feet wide, described and designated as Parcel D1-104 in the final order of condemnation had in Case No. 80955 of the Superior Court of the State of California, in and for the County of Orange, a certified copy of which was recorded September 8, 1961 in Book 5842 page 7 of Official Records.

Except therefrom the "severed property" as described in Part B of the Grant Deed from the Southern California Edison Company, a corporation, recorded August 4, 2003 as Instrument No. 2003000931976 of Official Records.

Also excepting therefrom: "All oil, gas, petroleum and other mineral or hydrocarbon substances in and under or which may be produced from that certain portion of the hereinabove described as Parcels 1 and 2 together with the right to use those portions only of said lands which underlie a plane parallel to and five hundred (500) feet below the present surface of said lands, for the purpose of prospecting for, developing and/or extracting said oil, gas, petroleum and other mineral or hydrocarbon substances from said lands by means of wells drilled into said subsurface of said land from drill sites located on other land, it being expressly understood and agreed that said grantor, their successors and assigns, shall have no right to enter upon the surface of said lands or to use said lands or any portion thereof to said depth of five hundred (500) feet, for any purpose whatsoever", as reserved in the Deed from Dorothy Constance Smith recorded July 30, 1962 in Book 6194 page 470 of Official Records.



**Parcel 2: (A.P.N. 114-481-32)**

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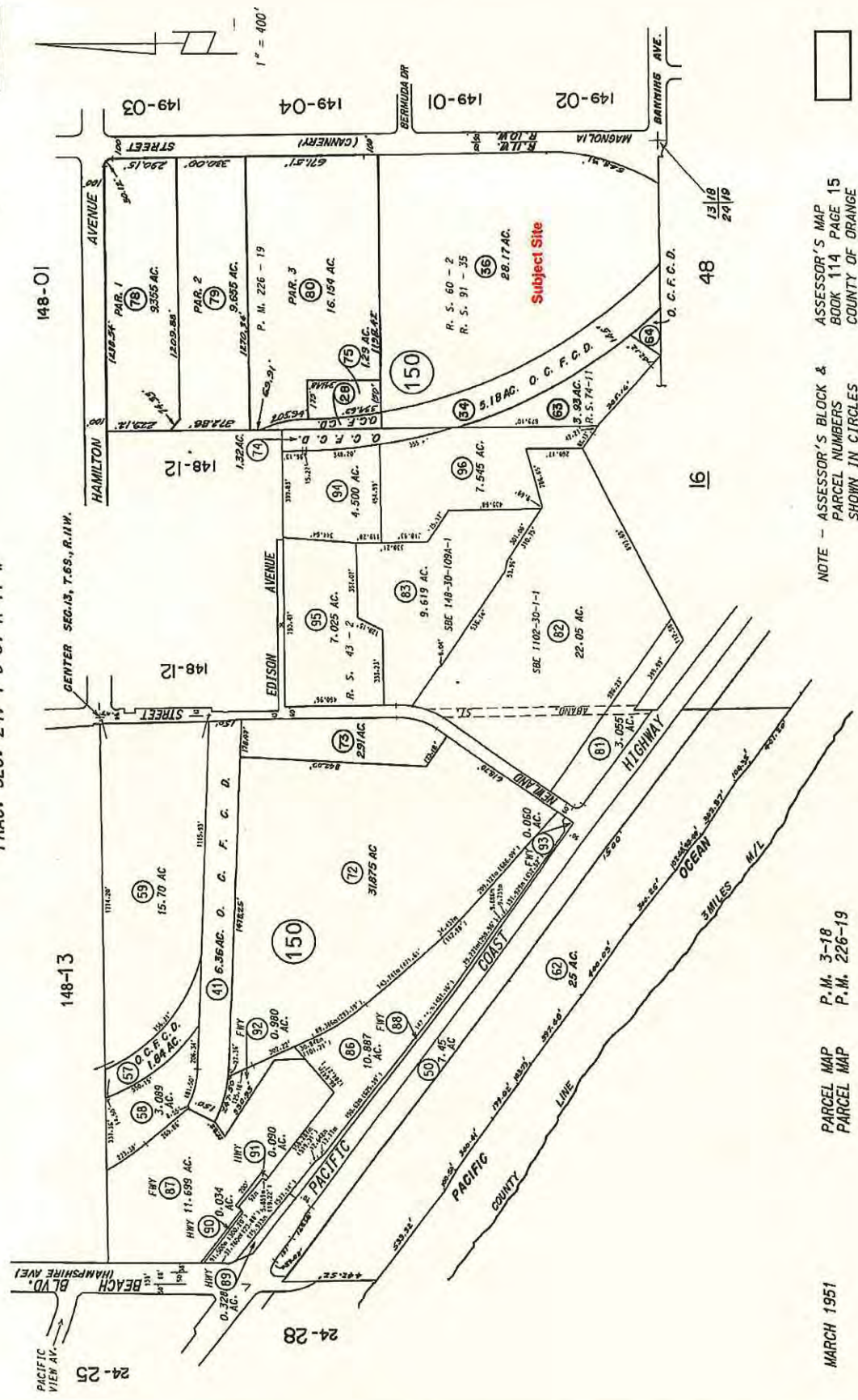
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S 1/2, SEC. 13, T 6 S, R 11 W  
FRAC. SEC. 24, T 6 S, R 11 W



NOTE - ASSASSOR'S BLOCK &  
PARCEL NUMBERS  
SHOWN IN CIRCLES

PARCEL MAP  
PARCEL MAP  
P.M. 3-18  
P.M. 226-19

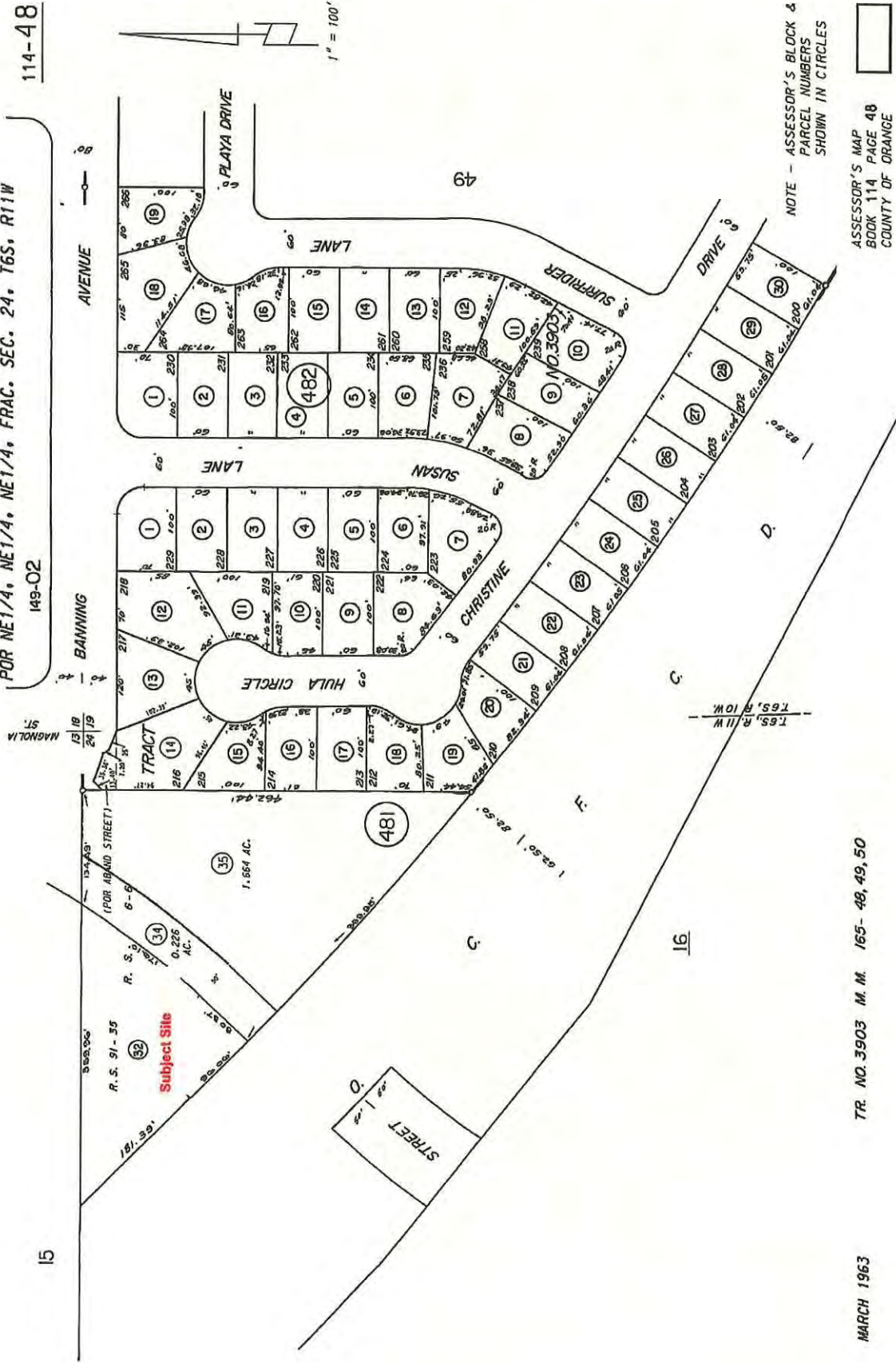
MARCH 1951



POR NE1/4, NE1/4, NE1/4, FRAC. SEC. 24, T6S, R11W

149-02

15



NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

ASSESSOR'S MAP  
BOOK 114 PAGE 48  
COUNTY OF ORANGE

TR. NO. 3903 M. M. 165-48, 49, 50

MARCH 1963





**Jared Blumenfeld**  
Secretary for  
Environmental Protection



## Department of Toxic Substances Control

Meredith Williams, Ph.D.  
Director  
9211 Oakdale Avenue  
Chatsworth, California 91311



**Gavin Newsom**  
Governor

August 12, 2021

Mr. Michael Gregg  
Development Manager  
Shopoff Realty Investments, L.P.  
2 Park Plaza, Suite 700  
Irvine, California 92614

NOTICE OF DECISION FOR CORRECTIVE ACTION COMPLETION WITHOUT CONTROLS FOR UNRESTRICTED LAND USE, MAGNOLIA TANK FARMS A.K.A. SHOPOFF PORTION OF THE FORMER SCE – HUNTINGTON BEACH GENERATING STATION SITE, 21730 NEWLAND STREET, HUNTINGTON BEACH, 92464 HUNTINGTON BEACH, CALIFORNIA (EPA ID NUMBER: CAD 00631085)

Dear Mr. Gregg:

The Department of Toxic Substances Control (DTSC) has made a final decision to approve the RCRA Corrective Action Completion Determination without controls for Unrestricted Land Use for the Magnolia Tank Farms (MTF) a.k.a. Shopoff portion of the former SCE – Huntington Beach Generating Station (HBGS) site. The remaining portion of HBGS (not part of MTF) is still active site under corrective action with DTSC oversight.

The decision to terminate corrective action was public noticed for 30 days, commencing on June 16, 2021 and continuing through July 16, 2021. DTSC received one comment from the public (see attachment).

HBGS and the Huntington Beach Channel were constructed to the east of the Site in the late 1950s/early 1960s. The MTF Site was undeveloped and/or used for agriculture before the 1960s. In 1955, three oil wells were drilled at the Site, which were abandoned in 1972. SCE constructed three (3) 25 million-gallon fuel oil aboveground storage tanks (ASTs) in the late 1960s/early 1970s as part of HBGS. In 2017, SLF HB-Magnolia acquired the Site from AES, the current owner of the HBGS, and the ASTs and all associated aboveground and below ground structures and pipelines were removed.

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1



Mr. Michael Gregg  
August 12, 2021  
Page 2 of 3

Numerous environmental investigations have been conducted at the Site under the oversight of the DTSC. During the investigations, hundreds of samples (soil, soil vapor, and groundwater) were collected from throughout the Site. Concentrations of Hydrocarbons (oily soils), Volatile Organic Compounds, and Metals in soil and groundwater, and PCBs in soil to appropriate commercial/industrial and residential regulatory screening levels were reported. During AST demolition and removal in 2017, oily soils beneath the ASTs and along associated piping were removed from the Site.

In addition, a limited soil excavation and export was conducted at the former primary fuel oil pumping area in 2020. A post-excavation risk assessment concluded that the calculated risk for the residential scenario were acceptable and confirmed that all soils from the Site above acceptable risk thresholds had been removed. In July 2020, SCE prepared a comprehensive RFI Report summarizing all work conducted at the Site. The RFI Report concluded that the Site met the conditions for unrestricted closure, as long as it is subject to recording of a future land use covenant (LUC) restricting groundwater from being used as a potable source.

If you have any questions or need clarification regarding this letter, please contact the Project Manager, Mr. Steven Rounds at (818) 717-6602 or e-mail at [Steven.Rounds@dtsc.ca.gov](mailto:Steven.Rounds@dtsc.ca.gov).

Sincerely,



Haissam Y. Salloum, P.E.  
Branch Chief  
Site Mitigation & Restoration Program – Chatsworth

Attachment

cc: Mr. Mauricio H. Escobar, P.G  
Principal Geologist  
Roux, Inc.  
5150 East Pacific Coast Highway, Suite 450  
Long Beach, California 90804

Mr. John R. Johnson  
Sr. Environmental Science Advisor  
Southern California Edison  
Operational Services, Environmental Services Department  
2244 Walnut Grove Avenue  
GO-1, Quad 2C  
Rosemead, California 91770



Mr. Michael Gregg

August 12, 2021

Page 3 of 3

cc: Mr. Allan Plaza, P.E.  
Unit Chief  
Site Mitigation & Restoration Program  
Department of Toxic Substances Control  
9211 Oakdale Avenue  
Chatsworth, California 91311

Mr. Steven Rounds, P.E.  
Hazardous Substances Engineer  
Site Mitigation & Restoration Program – Office of Geology  
Department of Toxic Substances Control  
9211 Oakdale Avenue  
Chatsworth, California 91311

Mr. Jose Marcos, P.G.  
Senior Engineering Geologist  
Site Mitigation & Restoration Program  
Department of Toxic Substances Control  
9211 Oakdale Avenue  
Chatsworth, California 91311

Mr. Chawn (CY) Jeng  
Staff Toxicologist  
Site Mitigation & Restoration Program  
Cleanup Program Human and Ecological Reuse Office  
Department of Toxic Substances Control  
5796 Corporate Avenue  
Cypress, California 90630





**Jared Blumenfeld**  
Secretary for  
Environmental Protection



## Department of Toxic Substances Control

Meredith Williams, Ph.D.  
Director  
9211 Oakdale Avenue  
Chatsworth, California 91311



**Gavin Newsom**  
Governor

### **RESPONSE TO COMMENTS FOR TERMINATION OF CORRECTIVE ACTION WITHOUT CONTROLS FOR UNRESTRICTED LAND USE MAGNOLIA TANK FARM SITE**

**EPA ID NO. CAD 00631085**

The Magnolia Tank Farm (Site), which was formerly a portion of the larger Southern California Edison (SCE) Huntington Beach Generating Station (HBGS). The 28.9-acre Site is currently owned by SLF HB-Magnolia and leased to Surf City Beach Auto Group, Inc. for use as a temporary storage parking lot for new vehicles. In January 2021, SLF HB-Magnolia received certification of its California Environmental Quality Act (CEQA) Environmental Impact Report (EIR) from the City of Huntington Beach. The Site is planned for future redevelopment with residential and hospitality uses.

On February 1, 1995, SCE and DTSC entered into a Stipulated Judgment (Stipulation BC121219), regarding environmental issues at HBGS and ten other SCE facilities. In accordance with the Judgement, DTSC required that SCE perform corrective action under the Resource Conservation and Recovery Act (RCRA). Corrective action is the process of identifying any possible soil and groundwater contamination at hazardous waste facilities and, if necessary, remedy those releases if they pose a threat to human health and the environment. SCE prepared a RCRA Facility Investigation (RFI) Workplan in 2015 to evaluate environmental conditions across the entire HBGS, including the Site. In response to DTSC comments and requests, SCE conducted numerous investigations at the Site between 2016 and 2020.

Historical records show that off-Site to the west and northwest was a former private airport (Huntington Beach Airport) and a former sewage disposal plant (1930s/1940s), neither of which operated on-Site. Off-Site to the north is the former ASCON landfill which began operations in the late 1940s/early 1950s.

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1

Hazardous wastes were buried in various pits and lagoons at ASCON landfill, but those operations never extended onto the Site. HBGS and the Huntington Beach Channel were constructed to the east of the Site in the late 1950s/early 1960s. The Magnolia Tank Farm Site was undeveloped and/or used for agriculture before the 1960s. In 1955, three oil wells were drilled at the Site, which were abandoned in 1972. SCE constructed three (3) 25 million-gallon fuel oil aboveground storage tanks (ASTs) in the late 1960s/early 1970s as part of HBGS. In 2017, SLF HB-Magnolia acquired the Site from AES, the current owner of the HBGS, and the ASTs and all associated aboveground and below ground structures and pipelines were removed.

Numerous environmental investigations have been conducted at the Site under the oversight of the DTSC. During the investigations, hundreds of samples (soil, soil vapor, and groundwater) were collected from throughout the Site. Concentrations of Hydrocarbons (oily soils), Volatile Organic Compounds, and Metals in soil and groundwater, and PCBs in soil to appropriate commercial/industrial and residential regulatory screening levels were reported. During AST demolition and removal in 2017, oily soils beneath the ASTs and along associated piping were removed from the Site. In addition, a limited soil excavation and export was conducted at the former primary fuel oil pumping area in 2020. A post-excavation risk assessment concluded that the calculated risk for the residential scenario were acceptable and confirmed that all soils from the Site above acceptable risk thresholds had been removed. In July 2020, SCE prepared a comprehensive RFI Report summarizing all work conducted at the Site. The RFI Report concluded that the Site met the conditions for unrestricted closure, as long as it is subject to recording of a future land use covenant (LUC) restricting groundwater from being used as a potable source.

The proposed Remedy Selection package, comprised of the documentation pertaining to MTF and DTSC's corrective action approval, is at the DTSC's office located at 9211 Oakdale Avenue, Chatsworth, California 91311. Members of the public who are interested in reviewing LACDAC's administrative record, which includes documentation and correspondence associated with its permitting and enforcement history, may contact DTSC's representative, Mr. Glenn Castillo at (818) 717-6522 at the Chatsworth Office.



During the Public Comment Period, one comment was received.

The following is a written comment submitted by electronic mail from Kevin Jones:

“Thanks for allowing the community to reach out and inquire on the recent Termination of Corrective Action. My wife and I just moved off of Bermuda and Magnolia a few months back and just started to receive these updates for the Magnolia Tank Farm Site.

Our main questions revolve around the level of and geography of testing conducted on the site. Are you able to share what tests were conducted, when, and precisely where on the site they were conducted? Our concern is the minimum level of testing was conducted and the level of surety may not have been met to conclude the entire site has not been contaminated from the nearby contaminated site (Site F).

Thanks for being open with sharing,

Kevin P. Jones”

**Response 1:**

The level of and geography of testing used by DTSC is outlined in the following documents:

“RCRA Facility Investigation Report, Shopoff Realty Investments Portion of Former Southern California Edison Huntington Beach Generating Station 21730 Newland Street, Huntington Beach, California 92646”

July 23, 2020

Prepared by: Environmental Applications, Inc.

Prepared for: Southern California Edison and the Shopoff Realty Investments Portion of Former Southern California Edison Huntington Beach Generating Station (MTF)

“Revised Remedial Excavation Report”

21845 Magnolia Street Huntington Beach, California

May 15, 2020

Revised June 29, 2020

Prepared for: SLF-HB Magnolia, LLC

Prepared by: Roux Associates, Inc.

5150 E. Pacific Coast Highway, Suite 450

Long Beach, California, 90804

“Revised Human Health Screening Evaluation”

21845 Magnolia Street Huntington Beach, California

May 15, 2020

Revised June 29, 2020

Prepared for: SLF-HB Magnolia, LLC

Prepared by: Roux Associates, Inc.

5150 E. Pacific Coast Highway, Suite 450

Long Beach, California, 90804

These documents, which are public information and can be viewed, follow DTSC Guidance posted on the DTSC website and approved by United States Environmental Protection Agency. To view the documents, one may go to the internet weblink:

[https://envirostor.dtsc.ca.gov/public/profile\\_report?global\\_id=60001194](https://envirostor.dtsc.ca.gov/public/profile_report?global_id=60001194)

or may also make an appointment to view the documents in person at:

DTSC Regional Records Office (By appointment only)

5796 Corporate Drive

Cypress, CA 90630

Phone: (714) 484-5300

A total of 358 soil samples collected and analyzed, along with 14 soil gas samples and 12 groundwater samples. Where sample results were above standards for unrestricted land use the soil was removed. In their July 9, 2020, letter, DTSC determined that the removal action has achieved unrestricted land use standards for the Site.





County Administration South  
601 North Ross Street  
Santa Ana, CA 92701

P.O. Box 4048  
Santa Ana, CA 92702

(714) 667-8800

info@ocpw.ocgov.com

OCPublicWorks.com

November 19, 2021

Ms. Ursula Luna-Reynosa, Director  
2000 Main Street  
Community Development Department  
City of Huntington Beach, CA 92648

RE: CA Coastal Commission Response – OCFCD Flood Control System

Dear Ms. Luna-Reynosa:

I am responding to your October 26<sup>th</sup> letter requesting information from the Orange County Flood Control District (OCFCD) regarding the flood control infrastructure in the area of the Magnolia Tank Farm (MTF). Your letter contained four specific questions concerning the future of the system, flood control alternatives to the existing flood channel-wall system, quantifiable shoreline impacts caused by the existing flood wall system and funding sources used to maintain and improve flood control infrastructure now and into the future.

As background, the OCFCD was established in 1927 and operates and maintains 380 miles of flood control infrastructure throughout Orange County. OCFCD develops and maintains a seven-year capital improvement program that is approved annually by its Board of Supervisors and maintains an emergency reserve balance of funds. OCFCD's primary source of revenue is property taxes.

Outlined below are the questions from the City and our responses.

1. *What is OCFCD's policy regarding future (beyond 2060) maintenance of the current flood control channel/floodwall to continue providing necessary and adequate levels of flood protection that it currently provides. Does the Flood Control District plan on designing and implementing improvements to the flood control channel/floodwall as required by current and future State and Federal regulations to address flooding potentially caused by sea level rise (SLR)?*

OCFCD has provided flood control protection for Orange County since 1927. We continue to meet the challenge of flood risk, whatever the cause, and will evaluate the flood risks from sea level rise as part of our ongoing planning and capital improvement efforts moving forward. We do this with our federal and state partner agencies and incorporate FEMA standards as they develop. Most importantly, we need to protect critical infrastructure and residents as well as allow for continued economic development in Orange County.

Prior to the past series of channel improvement projects that resulted in removal of FEMA Special Flood Hazard Area (SFHA), hundreds of thousands of dollars were paid out in flood insurance premiums each year by home and business owners within the former Huntington Beach Channel and Talbert Channel FEMA floodplain.



Administrative Services



OC Development Services



OC Facilities Design & Construction Management



OC Facilities Maintenance & CUF



OC Fleet Services



OC Construction



OC Environmental Resources



OC Operations & Maintenance



OC Infrastructure Programs



OC Survey

OCFCD has and continues to maintain the integrity of the Huntington Beach Channel and Talbert Channel flood control systems. This includes a series of improvement projects from the early 1990s to about 2008 and follow up projects such as the current design-build (DB) major repair project, which work to meet regulatory requirements for FEMA such as levee accreditation and the U.S. Army Corps of Engineers' PL 84-99 program. Activities include repairing and replacing steel sheet piles that protect the levees and provide flood control capacity for this system. As stated above, OCFCD must also pass USACE PL 84-99 inspections every few years to continue eligibility for this program and also receive levee accreditation with FEMA every 10 years for floodplain purposes.

The reaccreditation process is stringent and requires that applicants provide data and analyses to support compliance for the following: structural stability, seismic integrity, hydraulics, and maintenance. The levee accreditation process means that the Huntington Beach Channel flood control system will continue to be evaluated and improved to meet updated standards of FEMA.

Orange County Public Works (OCPW) has a maintenance program for the Huntington Beach Channel and Talbert Channel systems that includes routine inspections and as-needed repairs. Construction for the DB project is planned to commence in January of 2022 and will help maintain the integrity of the existing Huntington Beach and Talbert Channels. The current project needs to be completed so that the levees can be accredited through FEMA. Although the State of California does not provide any specific guidance for design of flood control channels to meet SLR requirements, OCFCD is committed to improving and maintaining the system as prioritized resources allow and must meet FEMA standards that evolve over time to include the most updated science as implemented by the accreditation program. If and when the State of California does adopt guidance governing flood control channels as pertains to SLR, OCFCD will, of course, seek to improve and maintain the system in a manner consistent with that guidance to the extent that improvement beyond what is already required by federal regulations and certifications is necessary.

2. *CCC staff has raised the possibility of using private property, including the MTF site to "absorb" flood waters to obviate the need for the existing Huntington Beach Flood Wall. Has the Flood Control District analyzed alternatives, such as managed retreat to protect property? Would a limited managed retreat approach offer more flood control capacity and flexibility for future expansion than the current channel and wall system? What would be the implications of such a strategy on neighborhoods and property currently protected by the flood control system?*

OCFCD's facilities protect life and property beyond the existing channel system that includes flood walls and levees. The Huntington Beach and Talbert Channels were constructed to reduce the risk of flooding of critical regional infrastructure including roads, public facilities, schools, libraries, and thousands of residences that depend on this flood control system every day. In its approach to designing, operating, and maintaining its flood control system, OCFCD has not considered a managed retreat to provide flood protection. Such a strategy involves land use decisions which are under the purview of local municipalities, not OCFCD. Because those land use decisions do not fall within the purview of OCFCD, OCFCD has not examined the flood control and protection capacity that such a managed retreat approach may provide.

3. *Is there any evidence or information available that indicates that the flood control system has altered natural landforms, bluffs, or natural wetlands?*

It is likely that there was significant land alteration to the wetlands over the last 100 years starting with oil extraction, the construction and subsequent improvements to Pacific Coast Highway and State Beach improvements. The construction of the channel back in the early 1960's and the construction of the Talbert Outlet (1989) assisted with the restoration of the degraded wetlands by the Huntington Beach Wetlands Conservancy (HBWC), California Coastal Conservancy, and OCFCD. The improvements to the flood control system played a



positive role in restoration of the degraded wetlands. Portions of the earthen levees were removed to facilitate tidal flushing. Construction of the new ocean outlet also played a major role in protection of the California least tern preserve and provided the major tidal prism feeding the upstream wetlands.

There was an agreement (D87-240) for construction of the Talbert Outlet in 1988-89 and restoration of the Brookhurst Marsh, and there was a more recent agreement between OCFCD and the HBWC for the additional wetlands' restoration project. OCFCD contributed financially to the restoration somewhere around \$1,184,900 million via Agreement No. D08-070 executed on September 16, 2008. It may be possible the original construction of the flood control channels in the early 1960's did alter landforms to some degree. However, we have no current evidence that indicates the channel system or its operation has had a negative impact on the shoreline or other coastal resources.

4. *Can you provide information on the various funding sources that are used to maintain and improve the flood control channels?*

OCFCD revenues are received from a portion of Orange County property taxes collected twice each year. These collected funds, budgeted each fiscal year, provide revenue for the design, construction, and maintenance of OCFCD facilities. In addition, OCFCD has and continues to receive Federal assistance and State reimbursements for the federally authorized project along the Santa Ana River (SAR) system and anticipates receiving similar assistance and reimbursements for the Westminster East Garden Grove (WEGG) projects via a similar federally authorized project. OCFCD also has applied for and received grant funding from sources such as federal Hazard Mitigation Grant Program (HMGP) and the California Department of Water Resources (DWR) grants that help with funding for design and construction of our flood control facilities.

We hope that the responses contained in this letter sufficiently address the questions that were posed in your letter. We also acknowledge that land use decisions remain the responsibility of the local municipality, such as Huntington Beach for the MTF.

If you need additional information or clarification of any points, please contact us.

Sincerely,



Kevin Onuma, County Engineer  
Orange County Public Works



# SLR Flood Hazard Map

## Taken From SLR Vulnerability Assessment



FIGURE 6-9: SUPPLEMENTAL 4.9FT SLR HAZARD BATHTUB ANALYSIS, STUDY AREAS





## Magnolia Tank Farm Specific Plan Existing Uses Protected by Orange County Flood Control System



Location:  
Magnolia St and Bermuda Dr.  
Huntington Beach, CA

APN:  
0114-15-209

Date of Preparation:  
1/12/2022

### Facility

- Beach Operations Yard
- Fire Station
- Library
- U.S. Post Office




- Roads
- Storm Water Channels
- Magnolia Tank Farm
- School
- Utilities
- Census Tract 2019
- Parks & Open Space

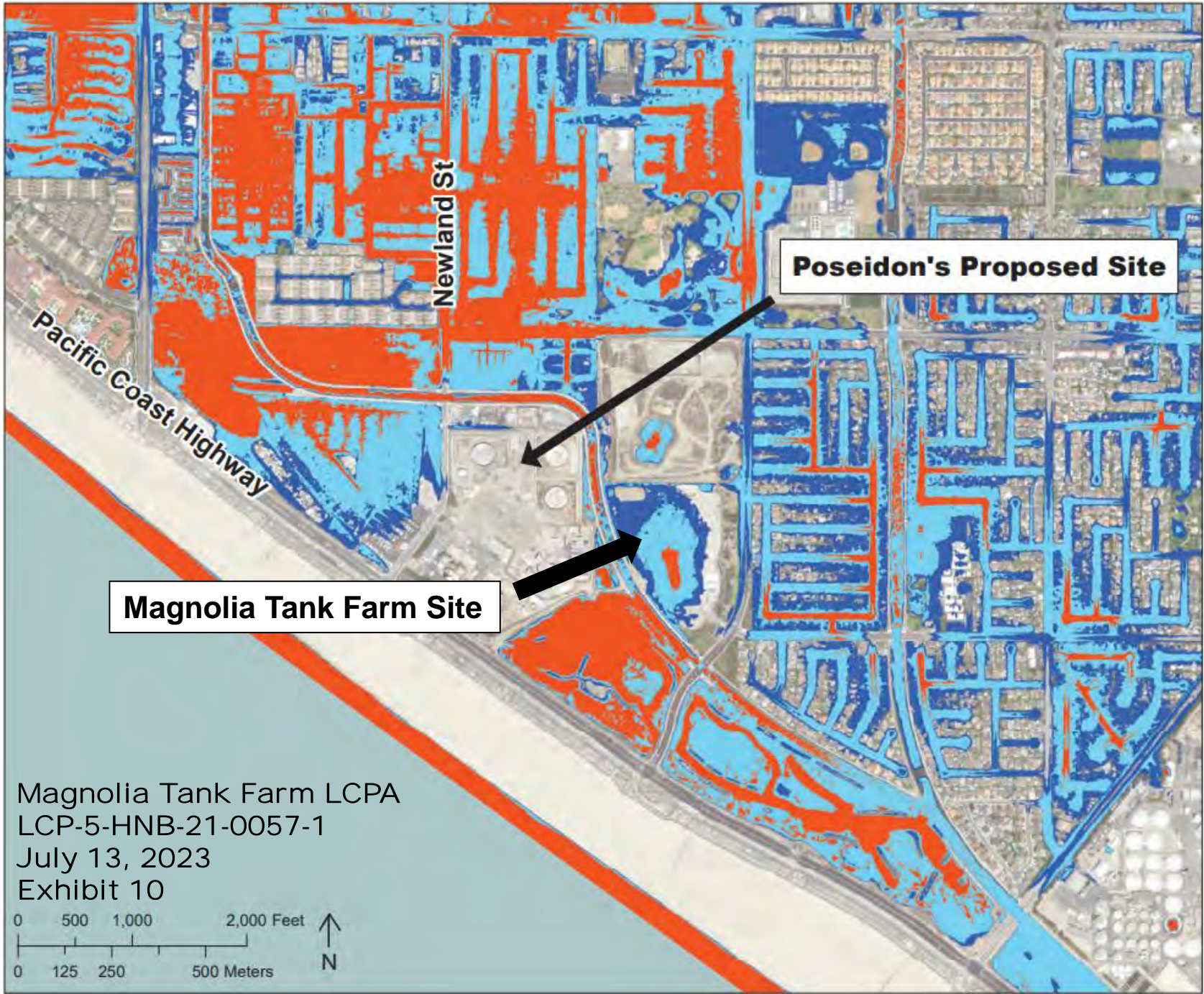


0 1,000 2,000  
Feet

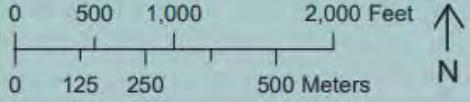


**Existing low-lying elevations**

-  Below daily average higher tide or MHHW (5.3 feet, NAVD88)
-  Below King Tide (7.0 feet, NAVD88)
-  Below 100-year return period water level (7.9 feet, NAVD88)

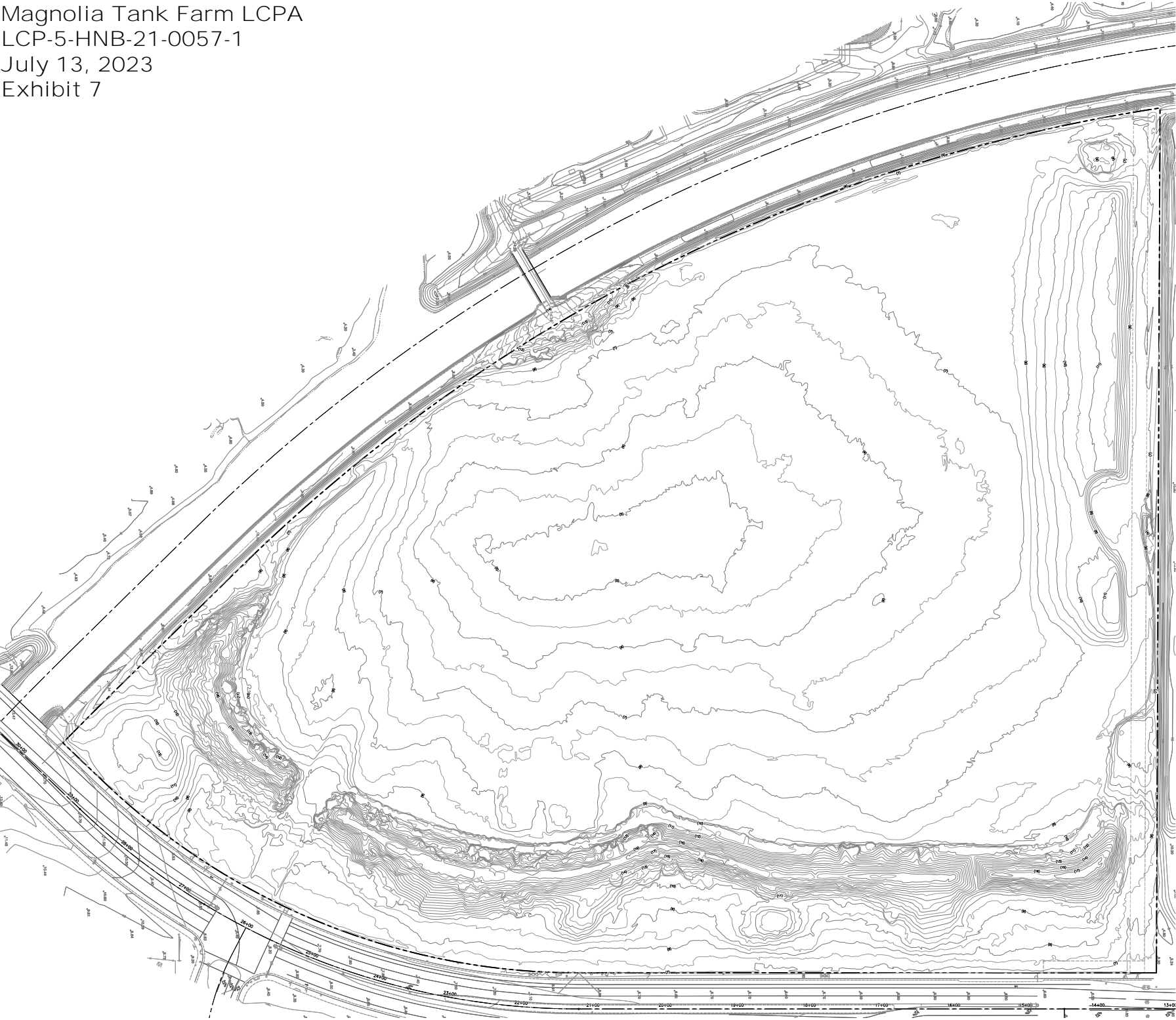


Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 10



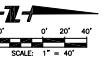
Data Sources: Elevation DEM from Orange County Public Works (2012); Aerial Imagery from U.S. Department of Agriculture (2018); Tidal Datum Elevations from NOAA Tide Station 9410660 Los Angeles, CA





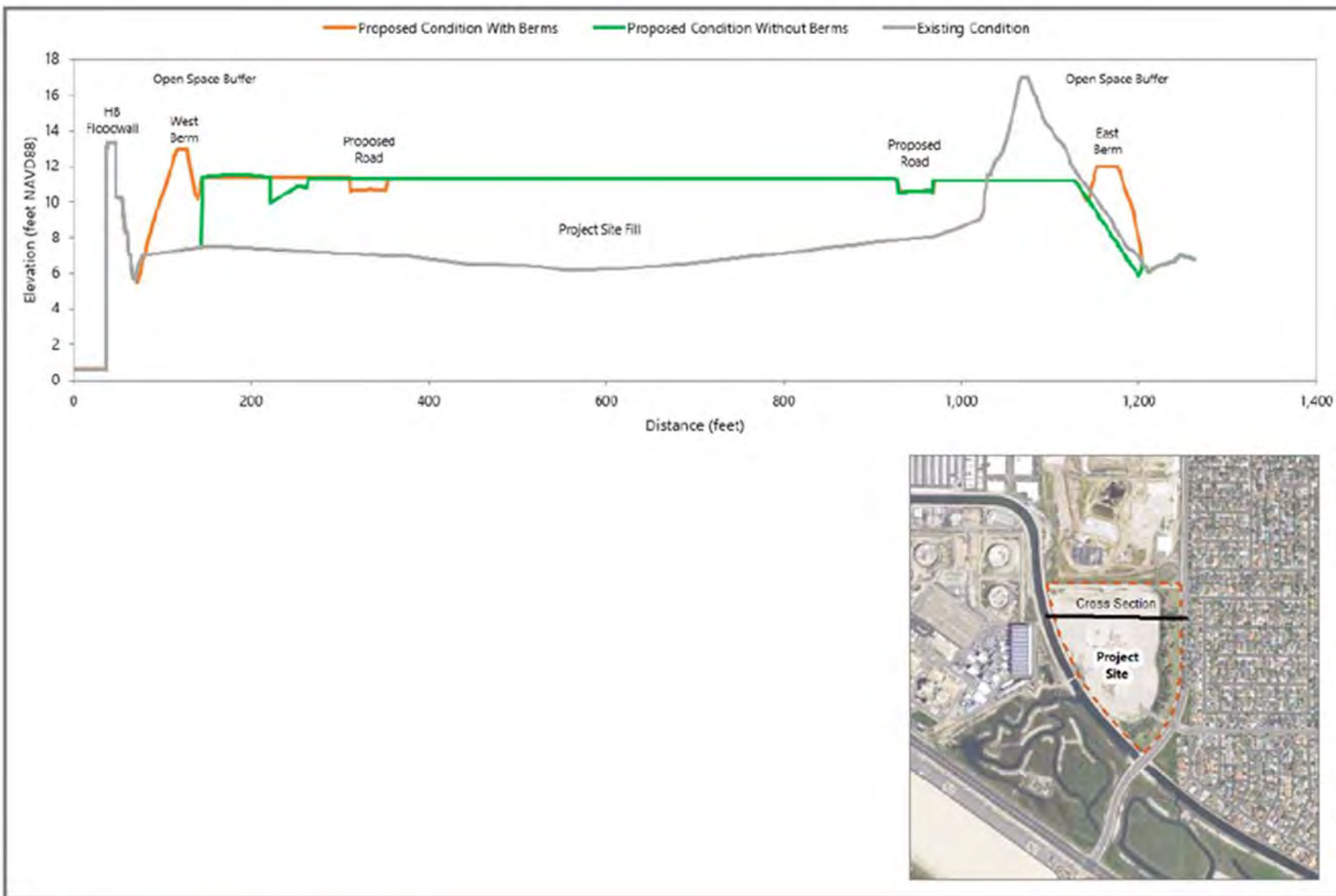
LEGEND & ABBREVIATIONS

- CENTERLINE
- EXISTING RIGHT OF WAY
- EXISTING MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING DRAINAGE SCALE



MAGNOLIA TANK FARM  
EXISTING TOPOGRAPHY  
EXHIBIT  
HARTING BEACH, CA

MAY 18, 2022



NOTES: HB: Huntington Beach; NAVD88: North American Vertical Datum of 1988

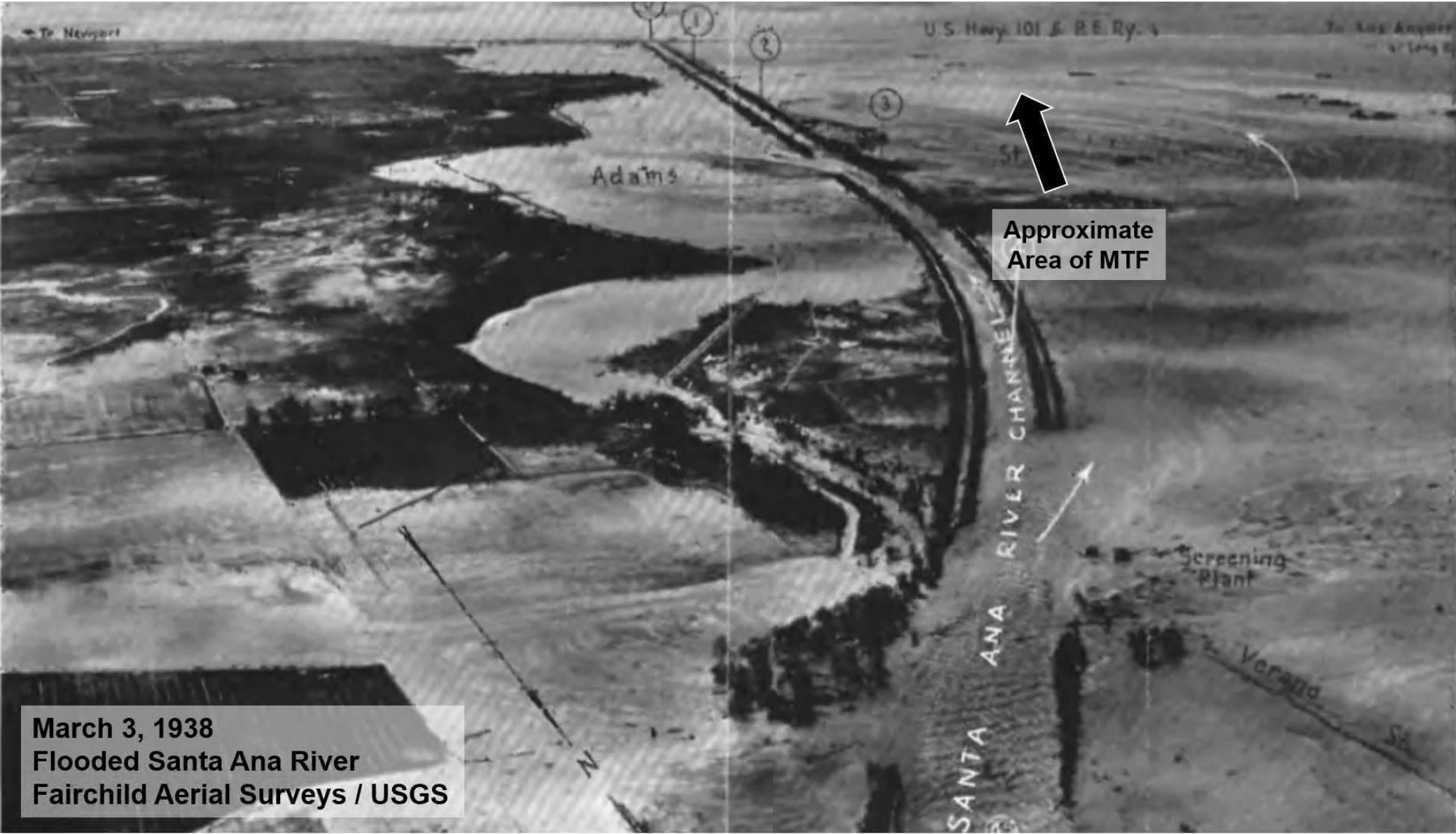


**Figure 1**  
**Schematic of Project Site Cross Section for Existing Condition and Proposed Conditions With and Without Berms**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 12





**March 3, 1938  
Flooded Santa Ana River  
Fairchild Aerial Surveys / USGS**



Nearby Edison Park flooding during storms in March 2023. Edison Park is one block inland of MTF site.

A couple walk past a flooded playground section of the park including the swings, bench and open play area at Edison Community Park as a series of storms began hitting the Southland Monday. A pump is visible at right, set up by the city of Huntington Beach to pump the water out to the street. (Allen J. Schaben / Los Angeles Times) Daily Pilot 3/21/2023:  
<https://www.latimes.com/socal/daily-pilot/news/story/2023-03-21/part-of-pch-in-huntington-beach-shut-down-again-amidst-southern-californias-latest-storms-officials-look-for-solutions>

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 13





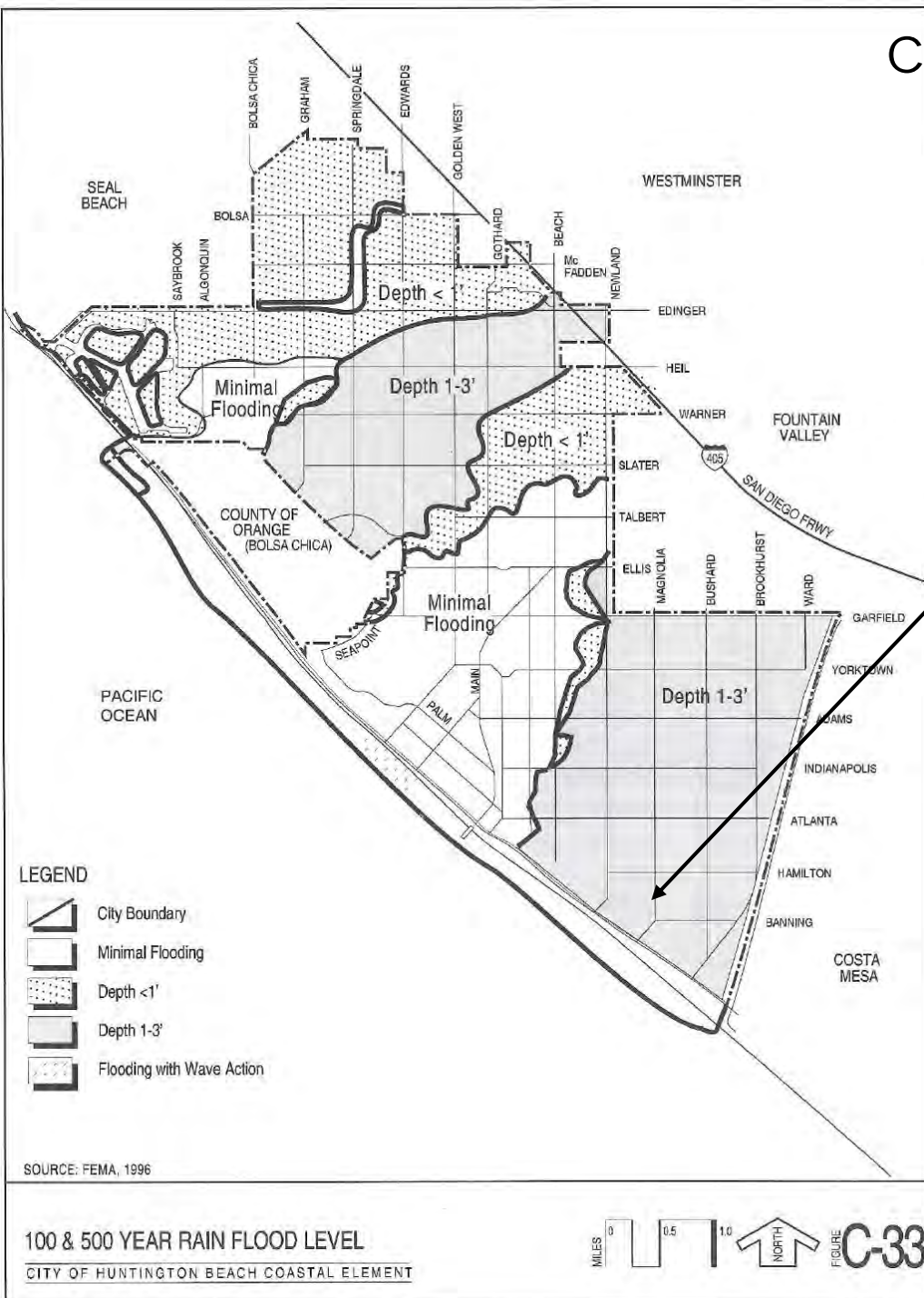
Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 13



# City of Huntington Beach Certified Land Use Plan

## Figure C-33 100 & 500 Year Rain Flood Level

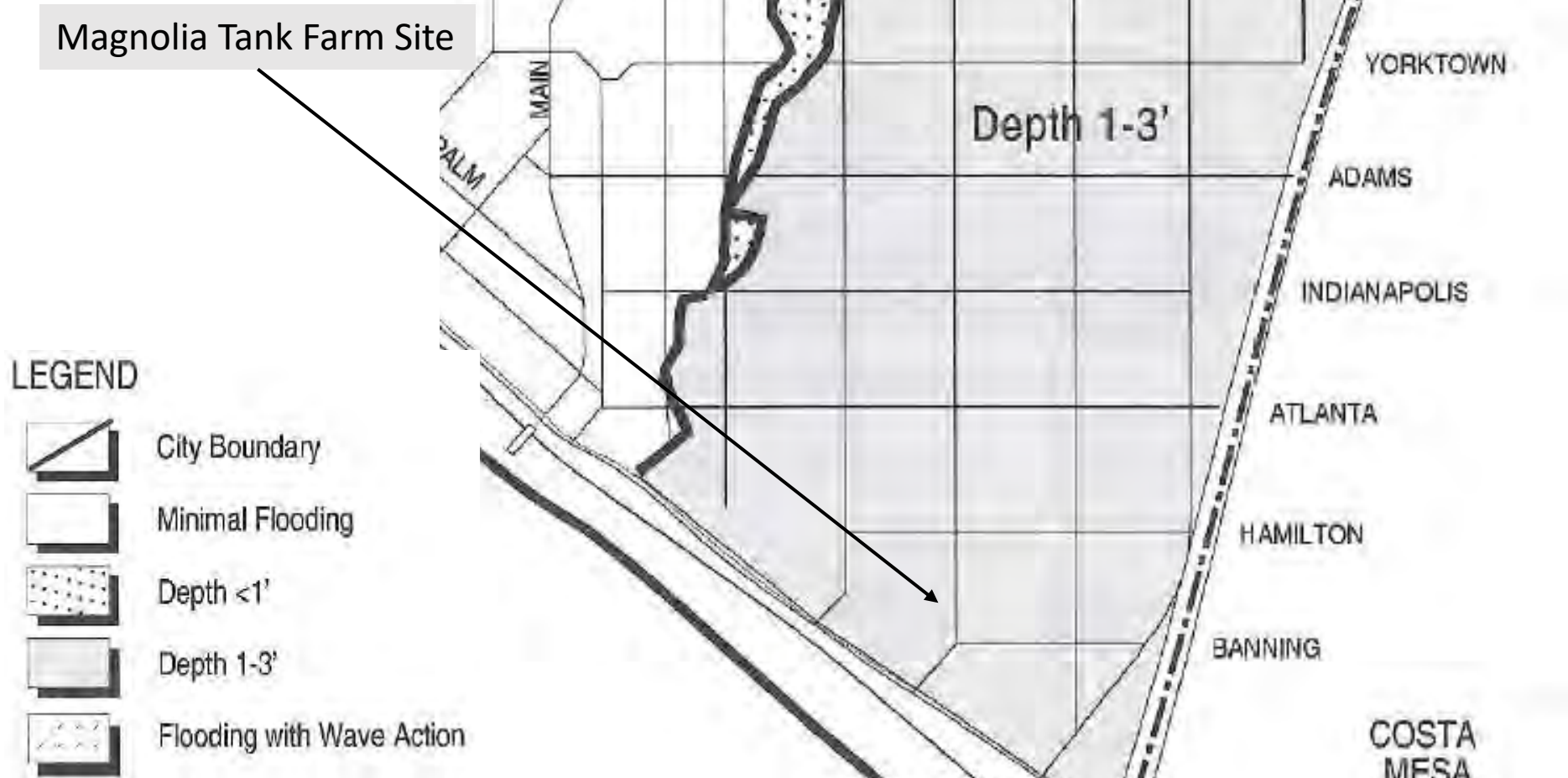
Magnolia Tank Farm Site



Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 14






**HNB LUP Figure C-33  
Enlarged to Show Location of  
MTF Site**

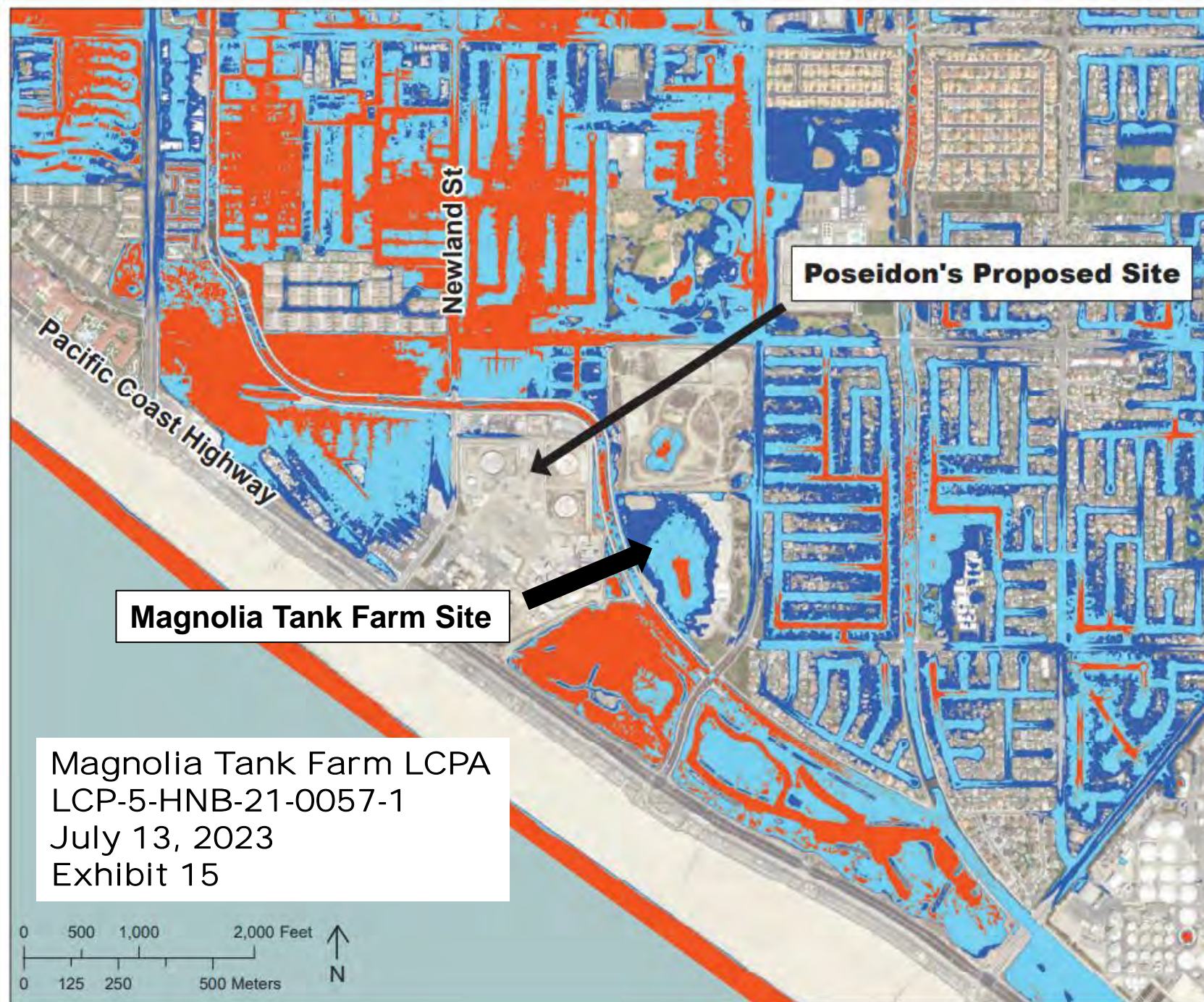


**Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
LUP Figure C-33  
Exhibit 14b**



## Existing low-lying elevations

-  Below daily average higher tide or MHHW (5.3 feet, NAVD88)
-  Below King Tide (7.0 feet, NAVD88)
-  Below 100-year return period water level (7.9 feet, NAVD88)



Magnolia Tank Farm Site

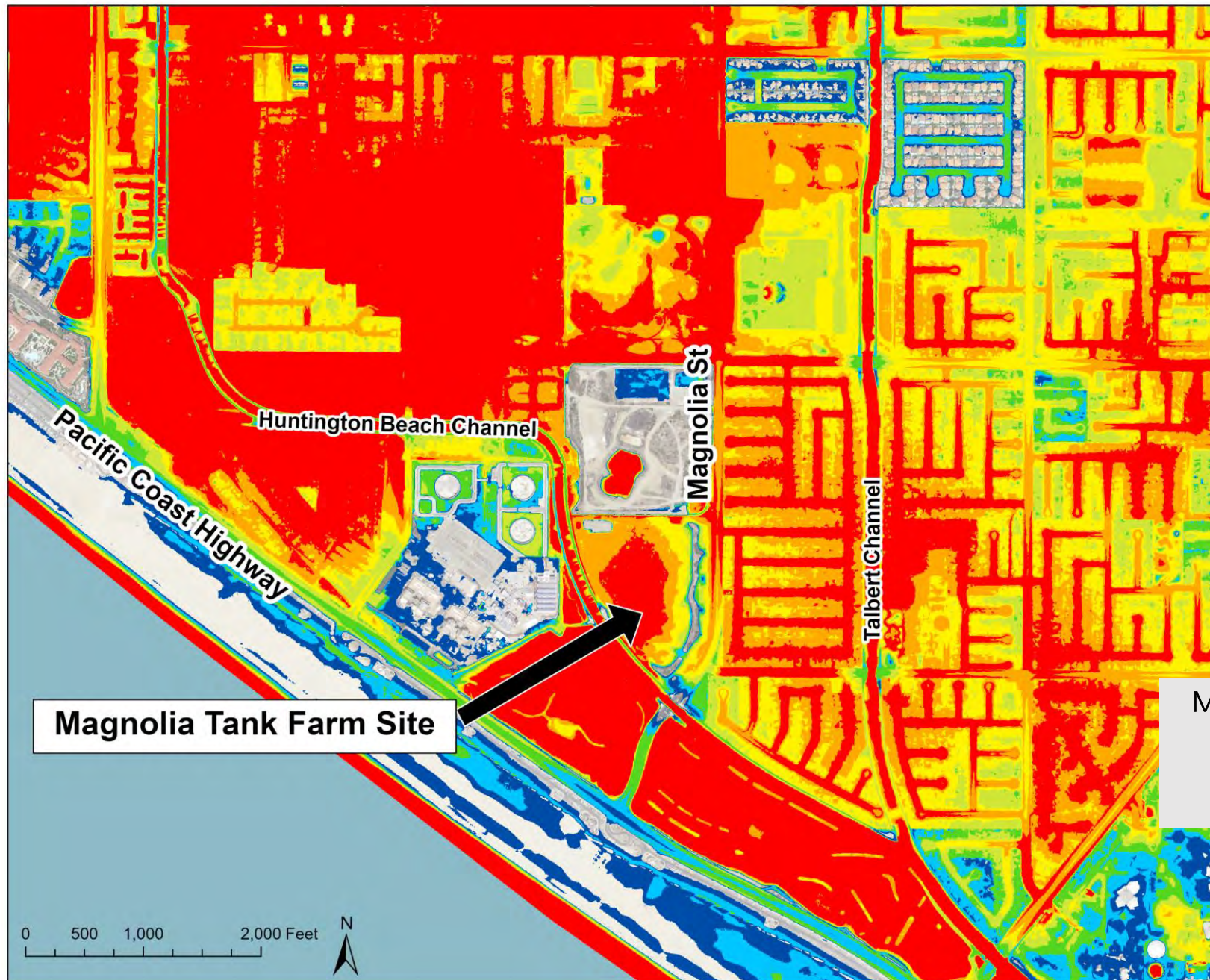
Poseidon's Proposed Site

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 15




Data Sources: Elevation DEM from Orange County Public Works (2012); Aerial Imagery from U.S. Department of Agriculture (2018); Tidal Datum Elevations from NOAA Tide Station 9410660 Los Angeles, CA





## Elevations below typical King Tide (7 feet NAVD88)

 +0 feet of sea level rise  
(SLR)

 +1 feet

 +2 feet

 +3 feet

 +4 feet

 +5 feet

 +6 feet

 Above King Tide + 6  
feet SLR

**Magnolia Tank Farm Site**

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2023  
Exhibit 16

Data Sources: Elevation DEM from Orange County  
Public Works (2012); Aerial Imagery from U.S.  
Department of Agriculture (2018).

A "King Tide" is not an official tidal datum or defined  
water level. Generally the term is understood to mean  
the highest astronomical tide of the year and is  
typically around the 1-year recurrence interval  
meaning it happens on average once a year.

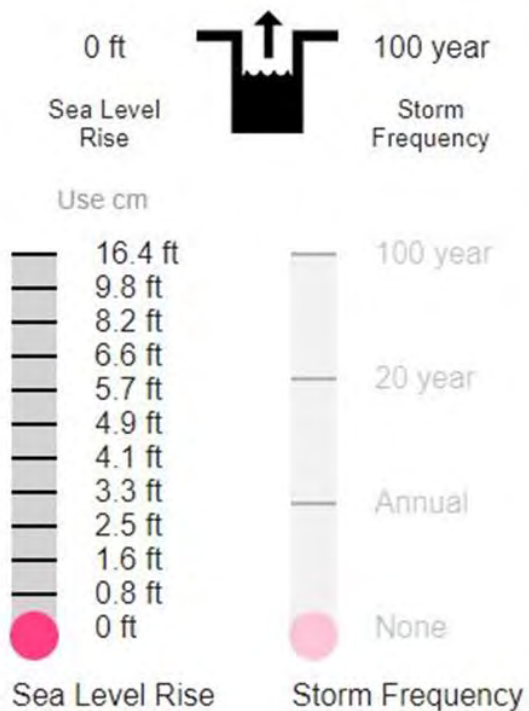


Scenario Region  
California Coast

Scenario Topic

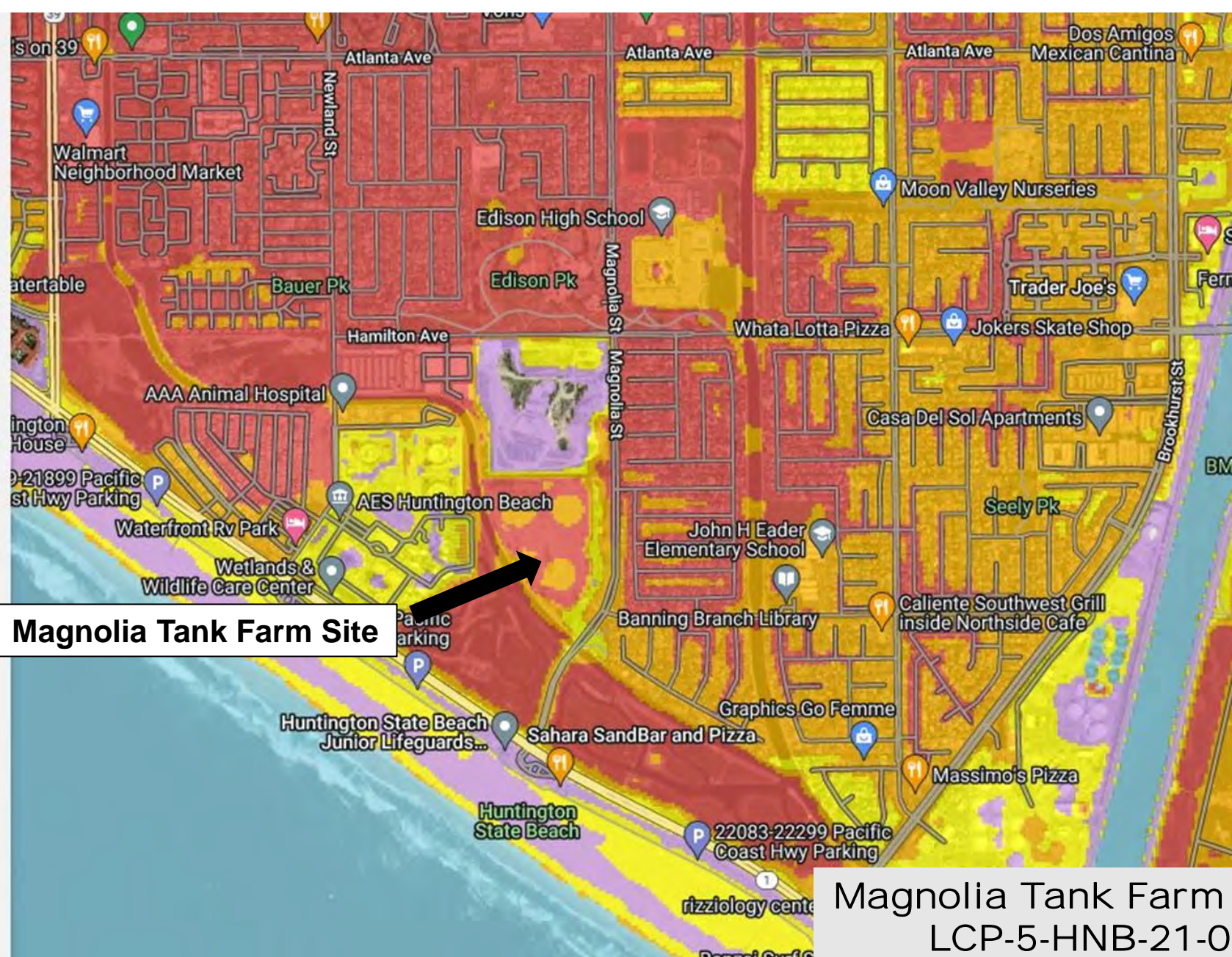
Groundwater

### Scenario



### Groundwater Geology

- More permeable / deeper water table
- Moderate



Groundwater - Present Day/0 ft of SLR

Magnolia Tank Farm LCPA  
LCP-5-HNB-21-0057-1  
July 13, 2021  
Exhibit 17



# Magnolia TANK FARM

Specific Plan Number 18 | December 2019 Draft

DRAFT



Magnolia  
TANK FARM  
Huntington Beach, CA

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**City of Huntington Beach**

Adopted by City Council Resolution No. xxxxxx, (Adopted Date)

Certified by California Coastal Commission (Certified Date)



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## LIST OF ABBREVIATIONS

<b>AC</b>	Asbestos Cement
<b>ADA</b>	American Disability Act
<b>APN</b>	Assessor Parcel Number
<b>BMPs</b>	Best Management Practices
<b>CC</b>	Coastal Conservation Planning Area
<b>CCA</b>	California Coastal Act
<b>CCC</b>	California Coastal Commission
<b>CC&amp;Rs</b>	Conditions, Covenants and Restrictions
<b>CDP</b>	Coastal Development Permit
<b>CEQA</b>	California Environmental Quality Act
<b>CFC</b>	California Fire Code
<b>CFD</b>	Community Facilities District
<b>CV</b>	Commercial Visitor Planning Area
<b>DTSC</b>	California Department of Toxic Substance Control
<b>DU</b>	Dwelling Unit
<b>EIR</b>	Environmental Impact Report
<b>ESHA</b>	Environmentally Sensitive Habitat Area
<b>GSF</b>	Gross Square Footage
<b>HBZSO</b>	Huntington Beach Zoning and Subdivision Ordinance
<b>HOA</b>	Homeowners' Association
<b>LCP</b>	Local Coastal Program
<b>LID</b>	Low Impact Development
<b>MHHW</b>	Mean Higher High Water
<b>MLLW</b>	Mean Lower Low Water
<b>NAVD88</b>	North American Vertical Datum
<b>NOAA</b>	National Oceanic and Atmospheric Administration
<b>NPDES</b>	National Pollutant Discharge Elimination System
<b>OCFCD</b>	Orange County Flood Control District
<b>OCS</b>	Orange County Sanitation District
<b>OCTA</b>	Orange County Transportation Agency
<b>OS-PR</b>	Open Space-Parks and Recreation Planning Area
<b>PA</b>	Planning Area
<b>PCH</b>	Pacific Coast Highway
<b>POA</b>	Property Owners' Association
<b>PSI</b>	Pounds Per Square Inch
<b>RCP</b>	Reinforced Concrete Pipe
<b>RES</b>	For-Sale Residential Planning Area
<b>SCE</b>	Southern California Edison
<b>SLR</b>	Sea Level Rise
<b>SWPPP</b>	Stormwater Pollution Prevention Plan
<b>WQMP</b>	Water Quality Management Plan



# CHAPTER 1: INTRODUCTION

## 1.1 Purpose and Intent

The purpose of the Magnolia Tank Farm Specific Plan No. 18 (hereafter, “Specific Plan”) is to guide and encourage the creation of a mixed-use community that provides visitor serving commercial uses, new residential neighborhoods, opportunities for coastal access and passive recreation and incorporates measures to protect adjacent natural resources. A specific plan is a regulatory tool used to implement the City’s General Plan and Local Coastal Program (LCP) and to direct development in a specified area. While the City’s General Plan is the primary guide for city-wide growth and development, a specific plan focuses on the distinctive characteristics of a property in the context of its surroundings by customizing the land use regulations specifically to that area, consistent with the City’s vision for the property.

### **The goals of the Specific Plan are as follows:**

- Implement the Huntington Beach LCP and the California Coastal Act (CCA);
- Provide a mix of land uses that include visitor-serving overnight accommodations with ancillary retail, a mix of residential housing types and open space;
- Ensure compatibility with surrounding land uses;
- Establish development standards and design guidelines that encourage innovative development and attractive architecture;
- Provide for-sale housing in an area where housing is in high demand;
- Create a vibrant gathering place that provides visitor-serving commercial uses, including a Lodge, restaurants and retail;
- Develop visitor-serving overnight accommodations that promote ecotourism and provide opportunities for lower cost facilities;
- Provide internal and external pedestrian connectivity incorporating Magnolia Street, visitor-serving commercial areas, residential neighborhoods and areas overlooking Magnolia Marsh;
- Provide appropriate coastal access adjacent to Magnolia Marsh;
- Implement a passive park adjacent to Magnolia Street;
- Provide diverse, high-quality residential and commercial architecture with articulated building facades to reduce mass and scale of development; and
- Provide an adaptable development designed to protect against natural hazards including seismicity, flooding, and sea level rise.



## 1.2 Document Organization

The Specific Plan defines a vision for the property and establishes land use regulations for the property's future development. The Specific Plan is arranged into three Volumes: Volume I is the Specific Plan, Volume II includes the Design Guidelines, and Volume III describes how the Specific Plan is consistent with the City's General Plan as follows:

### Volume I - Specific Plan

**Chapter 1: Introduction:** This Chapter provides the purpose and intent of the Specific Plan, development overview, site location, and a summary of the existing conditions affecting the Specific Plan area, including existing City land use and zoning designations, as well as existing and surrounding development area land uses.

**Chapter 2: Administration:** This Chapter discusses the process for implementation.

**Chapter 3: Zoning and Development Standards:** This Chapter presents the Land Use Plan, describes the zoning, specifies the permitted and conditionally permitted uses, and establishes development standards and requirements.

**Chapter 4: Infrastructure and Services:** This Chapter describes the vehicular, bicycle and pedestrian circulation, public transit, infrastructure and services, and the financing and maintenance of these facilities and services.

### Appendix A: Legal Description

**Appendix B: Coastal Hazards:** This Appendix describes the future threats of Sea Level Rise.

### Volume II - Design Guidelines:

The Magnolia Tank Farm Guidelines are located in a separate document, Volume II. The Design Guidelines include landscape and architectural guidelines and other guidelines to promote high quality development. A plant palette is also included in this Appendix.

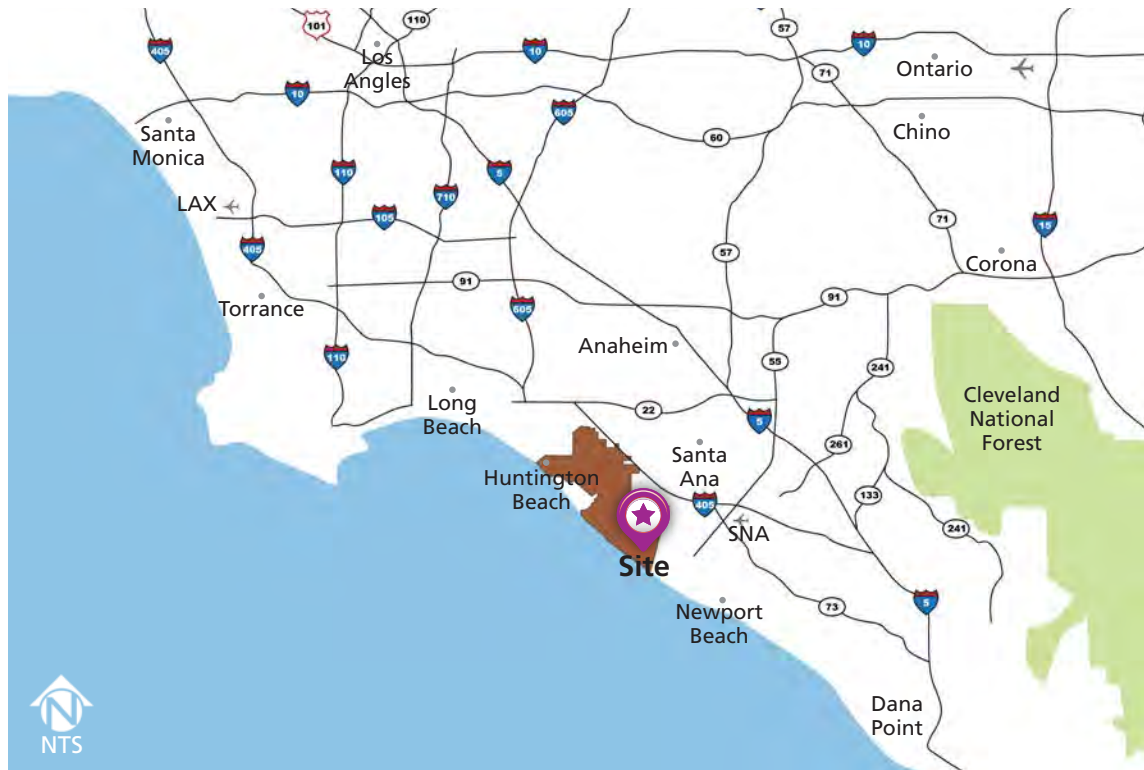
### Volume III - General Plan Consistency:

Volume III describes how the Specific Plan is consistent with all the general goals and policies of the General Plan.



## 1.3 Location

The Specific Plan area is located in southeast Huntington Beach in western Orange County. The property is located northwest of Magnolia Street and approximately 1,200 linear feet inland from Huntington Beach State Beach.



### Figure 1.1: Regional Location

## 1.4 Property History

Beginning in the mid-eighteen hundreds, southeast Huntington Beach was an agricultural area dominated by row crops. In the 1950s, the County of Orange constructed a regional flood control channel on the west side of the property (Huntington Beach Channel) which separated the agricultural operations from a remnant coastal wetland on the inland side of Pacific Coast Highway (PCH). Agricultural operations on the property ceased in the 1960s. The adjacent power plant was constructed between 1957 and 1967 by Southern California Edison (SCE).

Since 1972, the site included heavy industrial use with a fuel oil storage facility containing three above-ground, 25 million gallon tanks (refer to Figure 1.3: Aerial Photo Circa 1972). The oil storage facility provided fuel for the adjacent electrical power plant. In addition to the tanks, the property housed other oil-related facilities including pipelines and ancillary buildings. On the eastern end of the property adjacent to Magnolia Street, a six-acre landscaped area comprised of turf, ornamental trees, decorative rocks and an earthen berm were designed to provide some visual screening of the

Magnolia Tank Farm LCPC massive storage tanks.  
LCP-5-HNB-2-0057-19 Draft  
July 13, 2023  
Exhibit 18

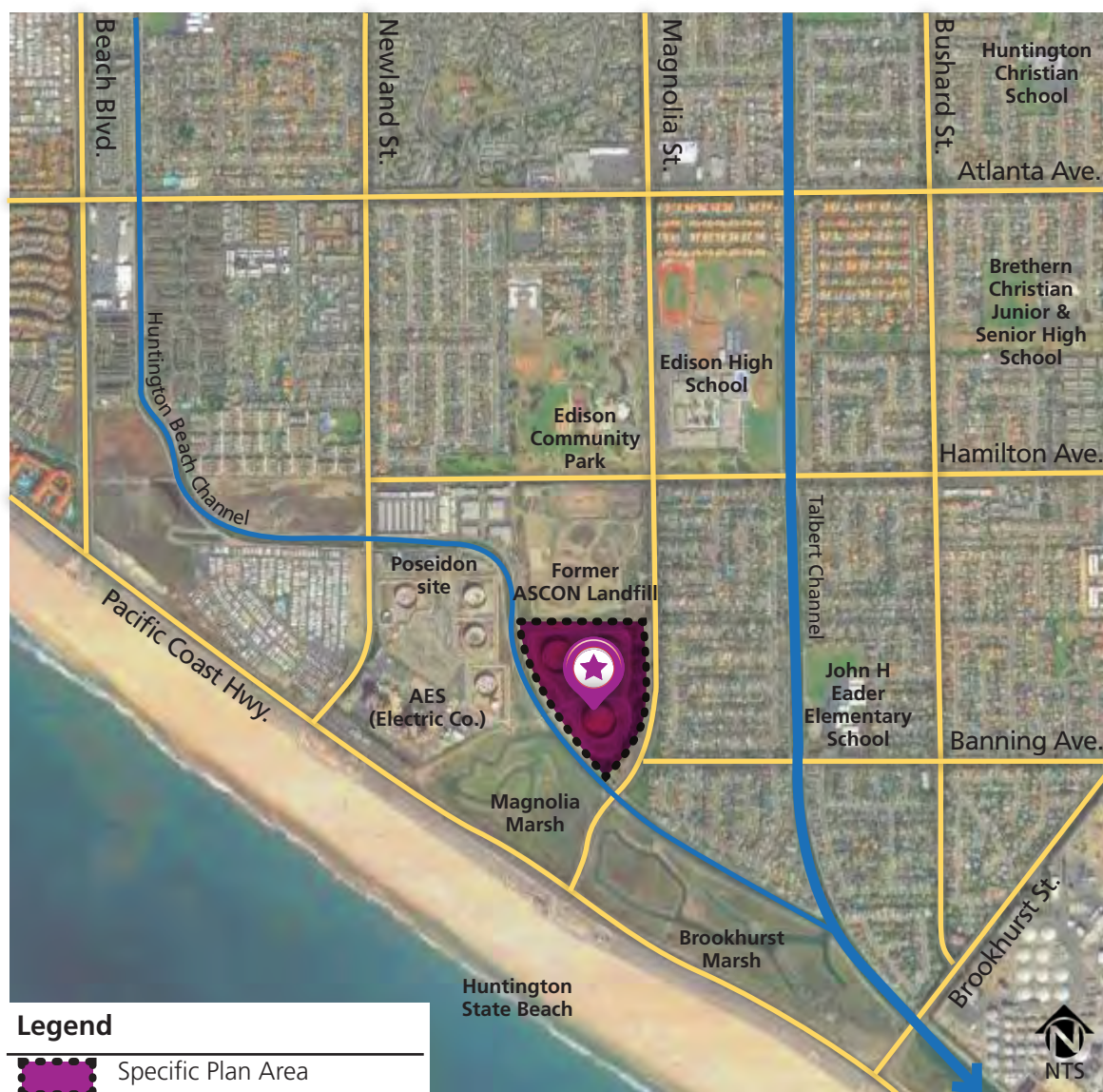


# Magnolia

## TANK FARM

Specific Plan

AES Southland purchased the power plant in 1998, and later converted it to use only natural gas. With the conversion of the power plant to natural gas, there was no longer a need to store fuel oil on the Magnolia Tank Farm (Tank Farm) site. The owner of the Tank Farm property, Plains All-American Pipeline, along with SCE, conducted regular maintenance on the property during the time the tanks were operational. Records for the property indicate that no oil spills occurred on the site during the time the tanks were in operation. Regular site maintenance also included mowing the turf area along Magnolia Street and eliminating potential fire hazards by preventing any vegetation from growing within the fenced area around the storage tanks. However, in recent years the exterior of the tanks deteriorated and were vandalized, creating public nuisance and blight on the coastal landscape.



**Figure 1.2: Neighborhood Context**



In 2013, the City of Huntington Beach issued a Coastal Development Permit (CDP) to Plains All-American Pipeline for the demolition of the three storage tanks and associated pipelines and ancillary facilities. The permit allowed the demolition and removal of the storage tanks and some minor grading to facilitate drainage.

The demolition of the three storage tanks was completed in July of 2017 and the site is leased to AES serving as a staging and parking area for the demolition of the existing power plant and construction of the new plant. The new power plant, described in the following section, is expected to be in operation in 2020.



**Figure 1.3: Aerial Photo Circa 1972**



### 1.5 Existing Conditions

The site is relatively flat and generally slopes from the northwest to the southeast with an elevation range from 4.3 to 12.5 feet (NAVD88), with an average elevation of approximately 8.4 feet (NAVD88). Elevations of the site are measured using the North American Vertical Datum NAVD88.

The former ASCON landfill site occupies approximately 38 acres immediately north of the Specific Plan area. The landfill operated from 1938 to 1984 when the landfill was closed. Originally the landfill received drilling waste from oil production in the Huntington Beach area until 1971. From 1971 to 1984 construction debris were disposed of at the site. Since 2003, there have been two major remedial work efforts that have changed the physical nature of this site through removal of waste materials, grading, and installation of stormwater control features and Best Management Practices (BMPs). General oversight is provided by the California Department of Toxic Substances Control (DTSC). The site is projected to be remediated in 2019-2020.

To the east across Magnolia Street, a 100-foot right-of-way with a landscape median, are single-family residences on minimum 6,000-square-foot lots located behind a six-foot high block wall.

The Huntington Beach Channel forms the Tank Farm's southwesterly property boundary flanked on portions of its seaward edge by the Magnolia Marsh segment of the Huntington Beach Wetlands.

To the west is the existing AES Generating Facility which is being replaced by a new, more efficient, lower-profile, lower emissions and quieter power plant, with extensive sound attenuation and aesthetic treatments. Adjacent to the new power plant, Poseidon Water has proposed a seawater desalinization facility. The site is separated from the Huntington Beach Channel by a chain link fence and a gated maintenance road. Near the midpoint of the western property line is a bridge over the Huntington Beach Channel.







Legend

..... Specific Plan Area

Figure 1.4: Aerial Photo







Key Map



Existing Off-Site AES Facility (Looking Southwest)

Source: Fuscoe Engineering Inc.



Proposed Off-Site AES Facility (Looking Southwest)

Source: Fuscoe Engineering Inc.

**Figure 1.5: Photo View Simulations of Existing and Proposed AES Power Facility**





Key Map

Source: Fuscoe Engineering Inc.



Existing Off-Site AES Facility (Looking Northwest)

Source: Fuscoe Engineering Inc.



Proposed Off-Site AES Facility (Looking Northwest)

**Figure 1.6: Photo View Simulations of Existing and Proposed AES Power Facility**



## 1.6 Statutory Requirements

### 1.6.1 Authority and Scope of Specific Plan

The Specific Plan is adopted pursuant to Chapter 215 of the HBZSO and Government Code §§65450 and 65457. The Government Code authorizes local jurisdictions to adopt specific plans by resolution and/or ordinance.

This Specific Plan was adopted by City Council Resolution No. XXXX-XX on \_\_\_\_\_. Adoption of this Specific Plan involved Planning Commission review and City Council approval of General Plan, LCP, Zoning Map, and Zoning Text amendments. Upon adoption by the City Council and certification by the California Coastal Commission( CCC), this Specific Plan establishes the land use and development standards for the Specific Plan area.

The Specific Plan is intended to be a regulatory document that serves as the zoning regulations for the property. Some elements of the development program will be enforced through conditions, covenants and restrictions (CC&Rs) established in conjunction with the subdivision map for the property.

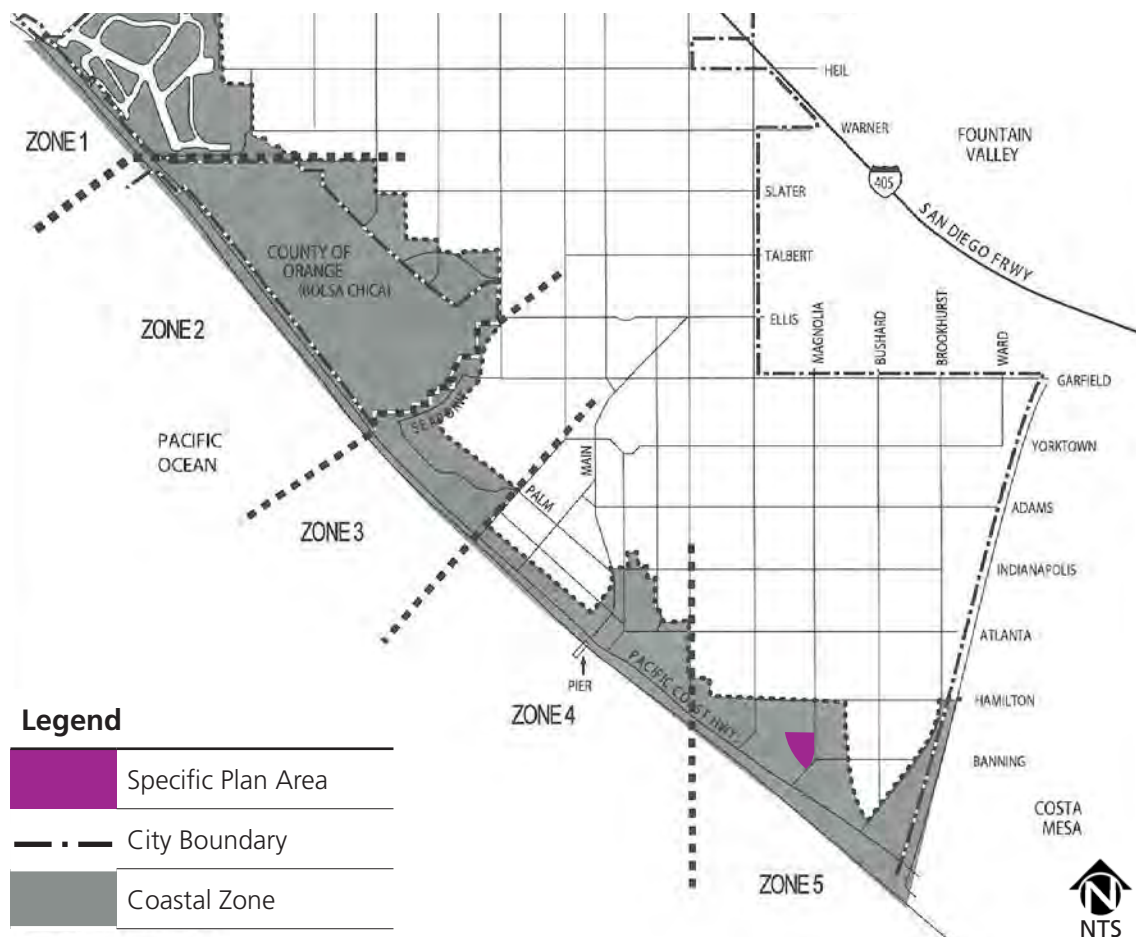
### 1.6.2 California Coastal Act (CCA)

The Tank Farm property lies within the Coastal Zone of the City of Huntington Beach and is therefore subject to the policies and regulations set forth in the CCA (California State Public Resources Code Division 20 Sections 30000 et. seq.) The CCA includes specific policies (Chapter 3 of the Act) that address issues such as shoreline public access and recreation, lower cost visitor-serving accommodations, terrestrial and marine habitat protection, visual resources, landform alteration and other types of development in the Coastal Zone. The CCA requires local governments located within the Coastal Zone to prepare a LCP. LCPs are regulatory documents designed to carry out the policies and requirements of the CCA. LCPs must be reviewed and certified by the CCC before being implemented by a local government. An LCP is comprised of two primary components: 1) A Land Use Plan – with specific policies designed to implement the Chapter 3 policies of the CCA and; 2) An Implementation Program which includes zoning ordinances and other regulations that must conform with and carry out the goals and policies established in the certified LCP. The City of Huntington Beach currently has a certified LCP.

With respect to the certified LCP area encompassing the Tank Farm site, this Specific Plan was certified by the CCC on XXXXX and amends the City's LCP. The Specific Plan will serve as the functional equivalent of the LCP because it contains the coastal element policies and zoning requirements required by the CCA.



The Tank Farm property is located in Zone 5 (Beach Boulevard to the Santa Ana River) of the City's Coastal Zone (refer to Figure 1.7: Huntington Beach Coastal Zones and Figure 1.8: Huntington Beach General Plan 2018) and is currently designated as "Public" in the City's Coastal Element Land Use Plan. The Public land use designation allows development of governmental administrative and related facilities such as public utilities, schools, libraries, museums, public parking lots, infrastructure, religious and similar uses. The Public designation reflected the previous fuel supply depot use for the adjacent power plant. Since the Tank Farm was constructed prior to the adoption of the CCA there were very few land use designations that could be applied to the site that were consistent with its use at the time the City's LCP was first certified in 1985.

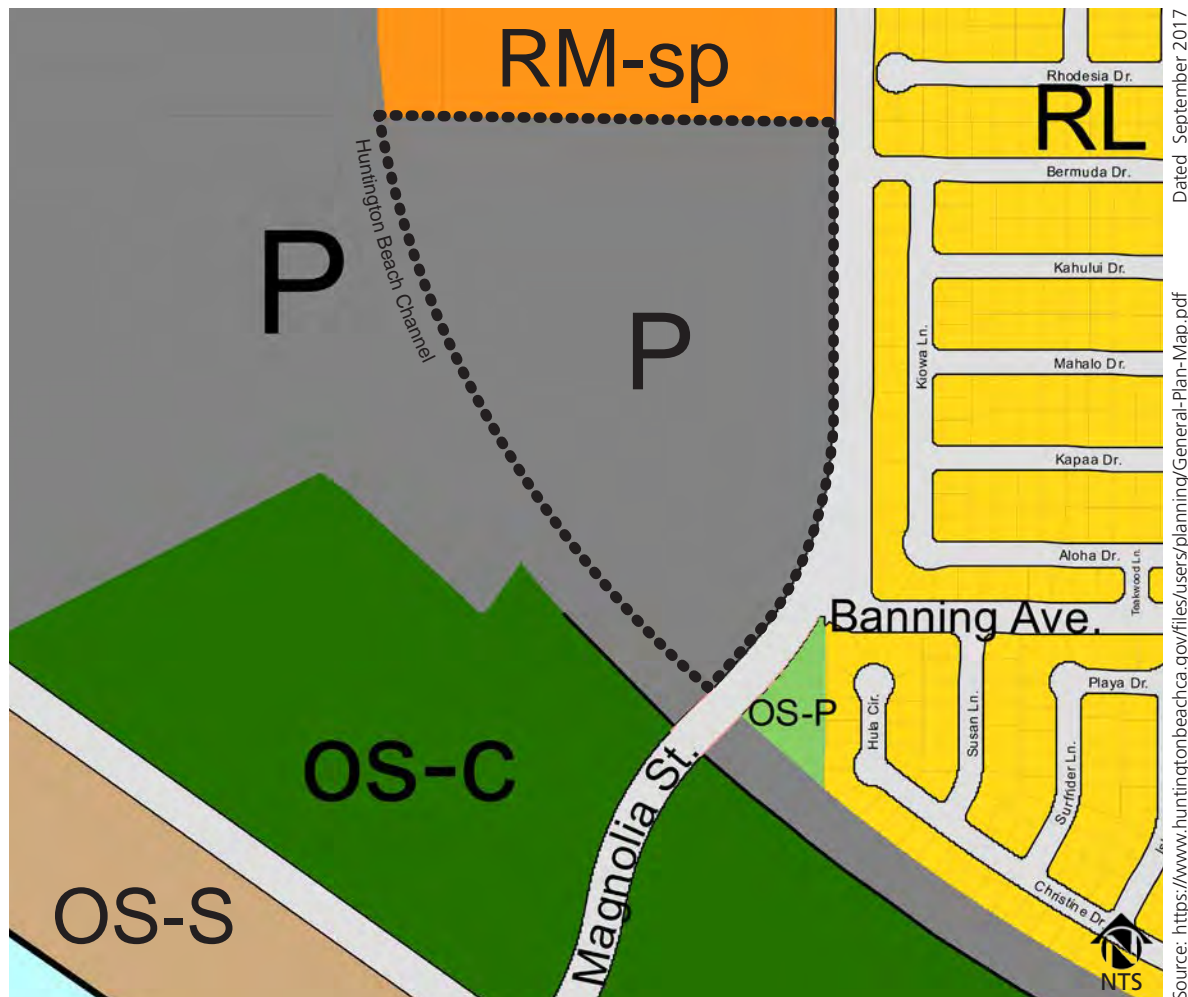


**Figure 1.7: Huntington Beach Coastal Zones**



## 1.6.3 Existing General Plan

The City of Huntington Beach General Plan is a document comprised of separate elements required by state law to serve as a guide to the long-term physical development of a community. The City's General Plan is a set of policies and a blueprint for future growth and development. The City's General Plan includes mandatory and optional elements to guide community development, including a Coastal element that is part of the City's LCP. The site land use designation is Public (P), which provides for government administration and related facilities, such as public utilities, public parking lots and similar uses.



### Legend

..... Specific Plan Area

Open Space - Conservation (OS-C)

Open Space - Park (OS-P)

Open Space - Shore (OS-S)

Public (P)

Rights-of-Way & Bridges

Residential Low Density (RL)

Residential Medium Density (RM)

### Overlay Suffixes

sp Specific Plan Overlay

Magnolia Tank Farm LCPA

LCP-541NB-21-0057-1

July 13, 2023

Exhibit 18

Figure 1.8: Huntington Beach General Plan 2018

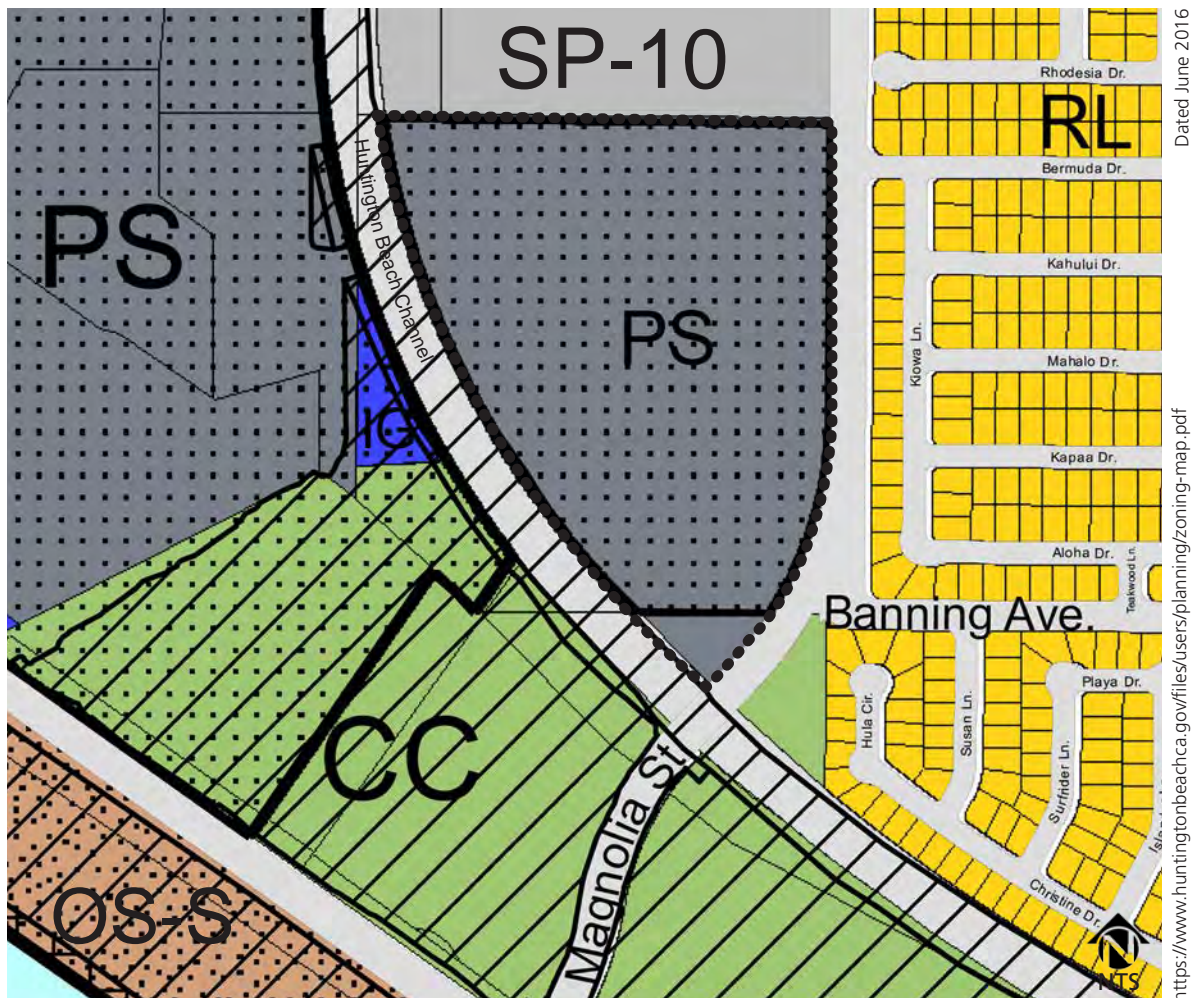
December 2019 Draft



## 1.6.4 Existing Zoning

## Introduction

The HBZSO is the primary tool for implementing the goals and policies of the General Plan and LCP. For this reason, the zoning regulations must be consistent with the City's General Plan and LCP. The HBZSO/ LCP provide regulations for the logical and orderly development of the City. The site is zoned Public-Semi Public (PS) with Oil and Coastal Zone Overlays allowing for the former use as a fuel supply depot (refer to Figure 1.9: Huntington Beach Zoning Map 2018). The PS zoning allows for various uses, such as: cemeteries, cultural institutions, hospitals, offices, park and recreation facilities, religious assembly, residential care facilities, schools (public or private), commercial parking facilities, communication facilities and vehicle/equipment sales and services. These uses are subject to a conditional use permit if they are not City owned.



### Legend

.....	Specific Plan Area		Residential Low Density (RL)
	Coastal Conservation (CC)		Rights-of-Way, Bridges & Channels
	Open Space - Shoreline Subdistrict (OS-S)		Specific Plan Designations (SP)
	Industrial General (IG)		Oil Overlay (O)
	Public-Semipublic (PS)		FIRM Areas A & AE (FP-2)



### 1.7 Summary of Planning Preparation Process

Redeveloping the Tank Farm property presents an opportunity to develop a comprehensive land plan for the site that addresses the current needs of the City consistent with the Chapter 3 policies of the CCA. The property's close proximity to the ocean and the adjacent Magnolia Marsh presents opportunities to provide land uses that advance the objectives of the CCA including public access to the shoreline, visitor-serving accommodations and resource protection. Additional public parking could be accommodated as part of the uses approved by this Specific Plan.

The property owner's preference is to develop the property differently than what is currently allowed. In view of the limited land uses allowed under the land use and zoning, a new vision for the property is needed subject to a rigorous public process, technical documentation and analysis. In developing the vision, guiding principles and land uses presented in this Specific Plan, a suitability analysis was conducted on the tank farm site with consideration of the adjacent land uses (AES Generating Facility, proposed Poseidon Desalinization plant, Huntington Beach Wetlands, ASCON Landfill, and adjacent residential neighborhoods).

### 1.8 Proposed General Plan & Zoning

This document implements the General Plan as amended for this development (refer to Figure 1.10: General Plan Designation as Amended). This document also changes the zoning land use designation to a Specific Plan (sp), providing customized, mixed use regulations to respond to the special characteristics of the site and to guide redevelopment (refer to Figure 1.11: Huntington Beach Zoning Map).

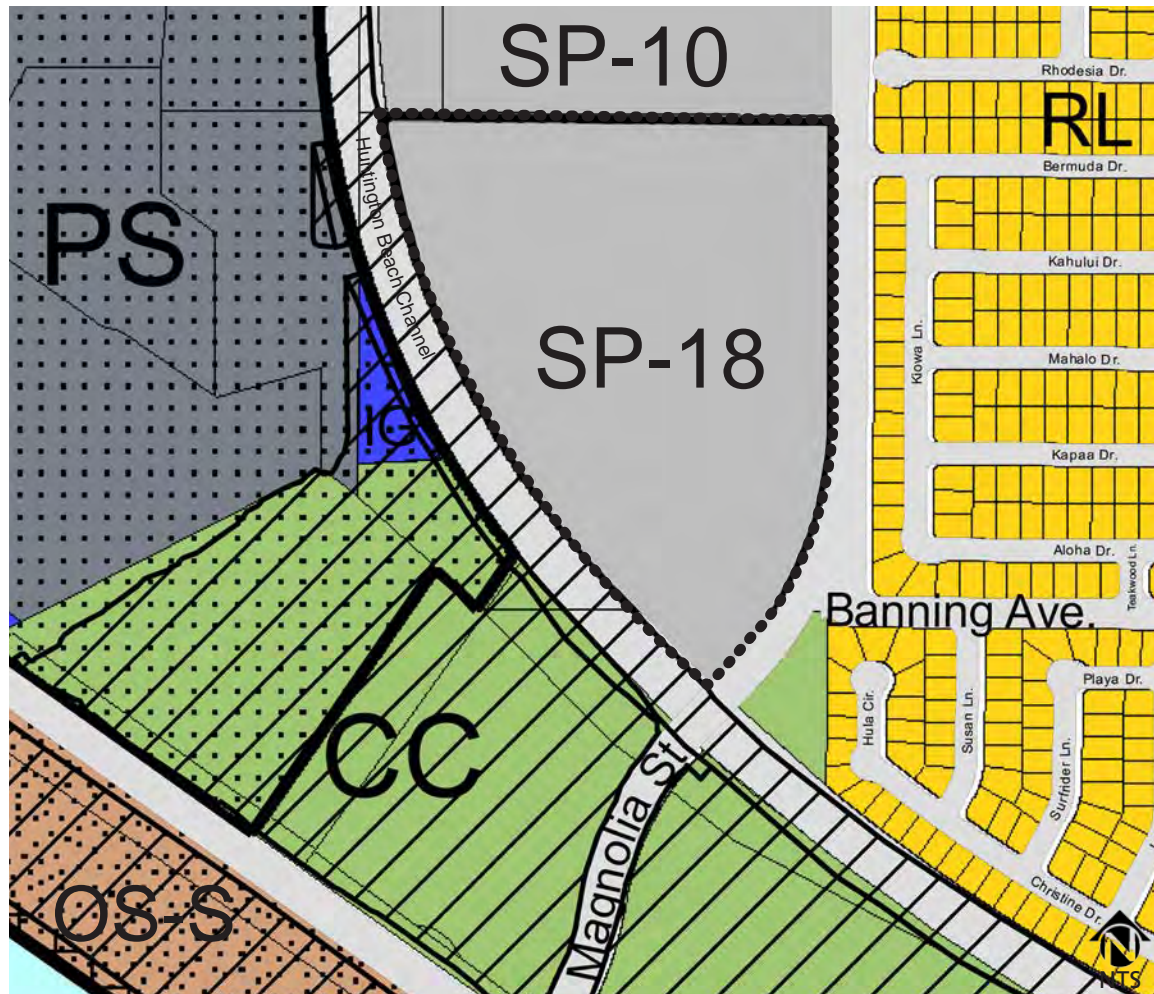
Under this SP designation, the land use plan, policies, development standards and design guidelines provide the site-specific requirements for future development of the site. The Specific Plan designation allows design flexibility to attain superior quality and excellence in design, sustainability, architecture and site amenities.





Legend	
●●●●●	Specific Plan Area
<span style="display:inline-block; width:20px; height:10px; background-color: #ff6666; border:1px solid black;"></span>	Commercial Visitor (CV)
<span style="display:inline-block; width:20px; height:10px; background-color: #008000; border:1px solid black;"></span>	Open Space - Conservation (OS-C)
<span style="display:inline-block; width:20px; height:10px; background-color: #90ee90; border:1px solid black;"></span>	Open Space - Park (OS-P)
<span style="display:inline-block; width:20px; height:10px; background-color: #d2b48c; border:1px solid black;"></span>	Open Space - Shore (OS-S)
<span style="display:inline-block; width:20px; height:10px; background-color: #a9a9a9; border:1px solid black;"></span>	Public (P)
<span style="display:inline-block; width:20px; height:10px; background-color: #f0f0f0; border:1px solid black;"></span>	Rights-of-Way & Bridges
<span style="display:inline-block; width:20px; height:10px; background-color: #ffff00; border:1px solid black;"></span>	Residential Low Density (RL)
<span style="display:inline-block; width:20px; height:10px; background-color: #ffa500; border:1px solid black;"></span>	Residential Medium Density (RM)
Overlay Suffixes	
sp	Specific Plan Overlay

Figure 1.10: General Plan Designation as Amended



## Legend

●●●●●	Specific Plan Area		Residential Low Density (RL)
	Coastal Conservation (CC)		Rights-of-Way, Bridges & Channels
	Open Space - Shoreline Subdistrict (OS-S)		Specific Plan Designations (SP)
	Industrial General (IG)		Oil Overlay (O)
	Public-Semipublic (PS)		FIRM Areas A & AE (FP-2)

**Figure 1.11: Huntington Beach Zoning Map  
(as implemented by this Specific Plan)**



## 1.9 Coastal Hazards

A comprehensive discussion of SLR is provided in Appendix B: Coastal Hazards

## 1.10 Specific Plan Area

The Specific Plan Area encompasses the following Assessor Parcel Numbers (APNs) as legally described in Appendix A: Legal Description.

- Parcel 1: (A.P.N. 114-150-36)
- Parcel 2: (A.P.N. 114-481-32)

## 1.11 California Environmental Quality Act (CEQA) Compliance

Environmental Impact Report (EIR) State Clearinghouse No 2017-101041 was prepared and certified by the City of Huntington Beach for this Specific Plan in accordance with CEQA that addressed potential impacts associated with development under the Specific Plan.

All subsequent approvals to develop the property must be consistent with the Specific Plan and associated environmental documents. Additional environmental documentation may be required in the future if significant changes are found to have occurred pursuant to Section 15162 and 15182 of the CEQA guidelines.



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# CHAPTER 2:

## ADMINISTRATION

This Chapter describes the authority of a Specific Plan and the administrative procedures required for amendments and/or modifications to the Specific Plan.

### 2.1 Specific Plan Adoption

This Specific Plan was adopted by City Council Resolution No. XXX and certified by the CCC. Adoption of this Specific Plan involved City Council approval of General Plan, zoning map, zoning text, and LCP amendments. Upon adoption, the Specific Plan established the land use and supplemental development standards for the Specific Plan area.

The Specific Plan includes customized zoning standards for the site, comprised of site-specific permitted uses and development standards. Where such customization is not required, the standard provisions of the HBZSO apply.

### 2.2 Severability

If any section, subsection, sentence, clause, phrase, or portion of this title, or any future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this title, or any future amendments or additions hereto. The City Council hereby declares that it would have adopted these titles and each sentence, subsection, sentence, clause, phrase, or portion or any future amendments or additions thereto, irrespective of the fact that any one or more sections, subsections, clauses, phrases, portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

### 2.3 Implementation

All entitlement applications including but not limited to coastal development permits, administrative permits, conditional use permits, variances, temporary use permits, and design review shall be processed pursuant to this Specific Plan and the HBZSO.

All developments within the Specific Plan area require Design Review and are subject to the requirements and provisions of Chapter 245 Coastal Development Permits of the HBZSO.



Where the Specific Plan is silent, the provisions of the HBZSO shall apply. If there is a conflict between this Specific Plan and the HBZSO, this Specific Plan shall take precedence.

## 2.4 Minor Amendments

The following minor, technical, and/or informational revisions to the Specific Plan shall be processed administratively:

1. The addition of new information to the Specific Plan, in the form of maps and/or text, for the purpose of clarification that does not change the effect or intent of any regulation;
2. Changes in zone boundaries up to ten percent as shown on Figure 3.1: Land Use Plan resulting from final road alignments and/or geotechnical or engineering refinements to the tentative and/or final tract map provided that the number of dwelling units and/or dwelling units per acre or maximum development square footage is consistent with Table 3.1: Maximum Development;
3. Clarification, including determination of meaning and intent, of any unclear or vague section, portion of a section, phrase, or word contained within this document;
4. Typographical and grammatical errors;
5. Revisions to the location of the infrastructure and/or service providers (such as drainage systems, roads, water and sewer systems, etc.) provided that the agency or jurisdiction that regulates such infrastructure and/or service has reviewed and approved the revisions; and
6. Revisions to the determination of public and private facilities provided that the agency or jurisdiction that regulates such facility has reviewed and approved the revisions in writing.

The Community Development Director (Director) may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information, or other relevant factors. The Director shall review the proposed changes for conformance with the intent of the approval authority's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement may be required pursuant to HBZSO § 241.18 and § 245.38.



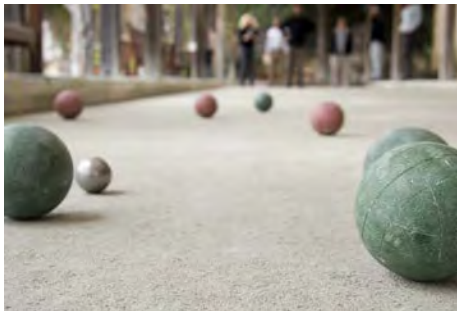
# CHAPTER 3: LAND USE PLAN & DEVELOPMENT STANDARDS

## 3.1 Development Vision and Guiding Principles

The Specific Plan must be consistent with the General Plan. The Specific Plan area is also within the City's coastal zone and therefore must be responsive to the policies enumerated in the CCA. The vision for the Specific Plan area, as guided by the CCA, is to integrate visitor-serving uses with residential and open space/park uses on a site that formerly served an industrial use. Visitor-serving uses are a high priority in the coastal zone and are included in the land use plan. The visitor-serving uses proposed for the site include a lodge (hotel) and ancillary retail uses (primarily restaurants). The residential component of the land use plan will consist of single-family detached and attached homes. The open space component of the land use plan includes the conversion of a privately-owned landscape area adjacent to Magnolia Street into a passive park for the public. The land use plan also incorporates an upland native habitat area adjacent to Magnolia Marsh that will serve as a buffer between development and the wetlands. This area will provide an opportunity for environmental interpretive programs along with other parks on the site.

The objective is to create a regulatory and design framework that successfully integrates visitor-serving commercial, residential and open space uses not only within the Specific Plan area, but also to ensure compatibility with a variety of adjoining uses. Careful consideration has been given to incorporating design elements into the Specific Plan that promote compatibility both internally and externally.

The purpose of this Chapter is to provide specific development standards and regulations that will be applied to all new development permitted within the Specific Plan. The regulations are intended to provide parameters in which a specific development proposal may be approved which ensures consistency with applicable land use and zoning laws, including the Coastal Act.



### 3.1.1 Guiding Principles

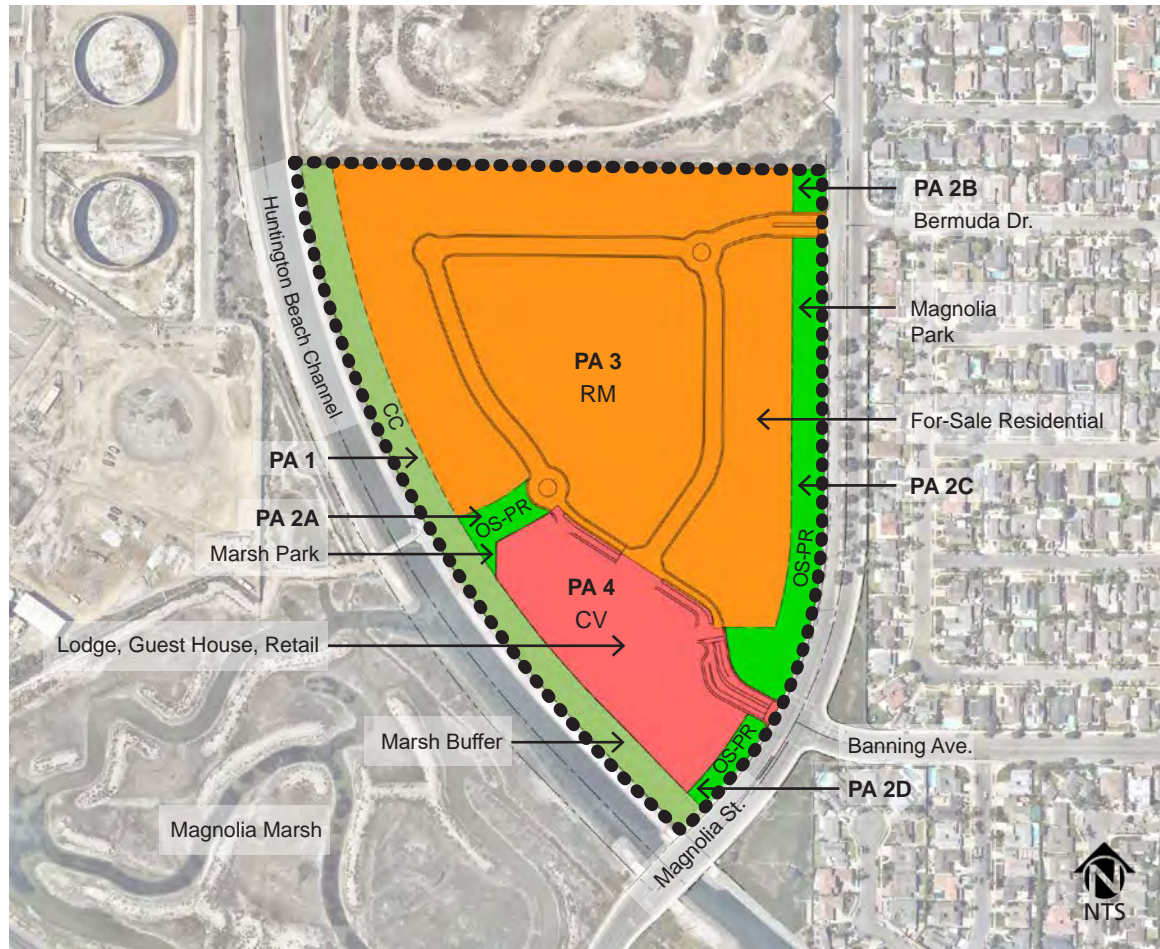
The following planning/design principles shall influence the development of the planning areas:

- Create a successful mixed-use environment that incorporates residential neighborhoods, a Lodge, restaurants and ancillary retail that complement each other;
- Establish a buffer between new development and sensitive wetland resources by creating a new upland habitat area adjacent to the Magnolia Marsh;
- Provide pedestrian connections to residential neighborhoods, parks and visitor-serving uses;
- Create opportunities for public access and interpretative programs adjacent to the Magnolia Marsh;
- Implement measures that promote pedestrian/vehicle safety and compatibility;
- Incorporate environmentally sustainable development and best practices that meet or exceed current standards including minimizing the use of concrete and asphalt, incorporating permeable pavement for storm water infiltration, and maximizing groundcovers rather than pavement to reduce heat reflection;
- Place public open space areas in prime locations to provide passive recreational opportunities;
- Establish a framework of landscape elements that provide visual character;
- Provide for public parking to enhance coastal access;
- Incorporate public directional signs into the streetscape; and
- Develop high-quality architectural designs that respect and celebrate the coastal lifestyle and culture.



## 3.2 Planning Area Program

The Magnolia Tank Farm program is illustrated on Figure 3.1: Planning Area Diagram. It includes four planning areas (PA): PA 1 - Coastal Conservation (CC), PA 2 - Open Space-Parks and Recreation (OS-PR), PA 3 - For-Sale Residential (RM) and PA 4 - Commercial Visitor (CV). A private recreation area will provide recreation opportunities for the residents within PA 3.



### Legend

..... Specific Plan Area

PA 1 - Coastal Conservation (CC)	PA 3 - For-Sale Residential (RM)
PA 2 - Open Space - Parks and Recreation (OS-PR)	PA 4 - Commercial Visitor (CV)

**Figure 3.1: Planning Area Diagram**



### 3.3 Maximum Development

The maximum development permitted is shown on Table 3.1: Maximum Development Table.

*Table 3.1: Maximum Development Table*

Development Types	Maximum Density/Intensity	Net Acres	Maximum Development	Total Open Space Acres
<b>PA 1 - Coastal Conservation (CC)</b>				
CC Area	-	2.8	-	2.8
<b>PA 2 - Open Space Parks &amp; Recreation (OS-PR)</b>				
Parks	-	2.9	-	2.9
<b>PA 3 - Residential (RM)</b>				
For-Sale Residential (RM)	15 DU/Ac	18.9	250 Units	-
<b>PA 4 - Commercial Visitor (CV)</b>				
Lodge	175 Guest Rooms	4.3	Up to 230,000 GSF (211,000 GSF Lodge and Guesthouse; 19,000 Retail GSF)	-
Guesthouse <sup>1</sup>	40 Rooms			
<b>GRAND TOTAL</b>	-	29.0	-	5.7

<sup>1</sup> A Guesthouse provides budget-oriented overnight group accommodations (e.g. families, youth sports teams and non-profit organizations).

GSF = Gross square footage

Ac = Acre

### 3.4 Coastal Access

The following measures shall be incorporated into development plans to enhance public access to coastal resources pursuant to a Coastal Development Permit approved by the Planning Commission:

#### 3.4.1 Public Trail Overlooking Magnolia Marsh

The minimum 70-foot wide Coastal Conservation (CC) area shown as PA1 on Figure 3.1: Planning Area Diagram is adjacent to the Orange County Flood Control property. When combined with the width of the flood control property landward of the flood control channel, the CC area will provide a 100 foot development setback from Huntington Beach Channel and Magnolia Marsh. The CC area will be comprised of upland native plant species designed to complement the adjacent wetlands habitat and a public trail. A minimum 24 foot-wide public trail will be provided through the CC area connecting Magnolia Street with the uses in the CV area (PA4) and with the Marsh Park. The trail will be elevated above the marsh to provide opportunities for the public to view both the marsh and the ocean. The 24-foot-wide public trail will be designed and constructed to comply with requirements of a Fire Department Access Lane as specified by the Huntington beach Fire Department. Refer to Figure 3.2: Coastal Access: Coastal Access.



# Land Use Plan & Development Standards

## 3.4.2 Marsh Interpretive Programs

The owner of the Magnolia Tank Farm property will enter into an agreement with a non-profit wetlands education organization to conduct interpretive programs for the public and guests at the Lodge. The agreement will allow The Lodge owner/operator to partner with the non-profit to provide Magnolia Marsh wetlands interpretive programs for Lodge guests and the public through interpretive signage and access to docent-led tours of Magnolia Marsh.

The Lodge would provide a gathering place for hotel guests and transportation to the Huntington Beach Wetlands Conservancy Interpretive Center where current tours depart. Docent-led tours may use the existing bridge over the Huntington Beach Channel to access the marsh if feasible, as determined by the City of Huntington Beach and County of Orange in conjunction with the Huntington Beach Wetlands Conservancy, at the time a development proposal is submitted. Marsh park, located on the north side of the CV area (PA4) and adjacent to the bridge, would serve as a staging area for interpretive programs conducted by the non-profit organization. Interpretive signage designed to educate the public about sensitive wetland and upland habitats will be placed in Marsh Park to augment the organized tours conducted by the non-profit organization.

## 3.4.3 Public Parks

The existing private property fronting Magnolia Street will be re-purposed to create a passive park that will be available to the public. The park will include an eight-foot wide decomposed granite trail, benches, activity nodes and native landscape. The park is designed to facilitate pedestrian access from Edison Park to Huntington State Beach. Marsh park, located on the north side of the Lodge, is designed to serve as a staging area for docent-led tours of Magnolia Marsh and the location for interpretive signage informing the public on the value of wetland resources.

## 3.4.4 Public Transit

There are two existing public transit stops on the west side of Magnolia Street adjacent to the Specific Plan area. The transit stop nearest the intersection of Banning Avenue and Magnolia will be enhanced with a shelter and compatible street furniture to provide convenient public access to the Lodge and interpretive programs staged from Marsh Park. These improvements will make public transit an attractive option for members of the public, particularly those who may want to attend the interpretive programs offered by a non-profit entity.

## 3.4.5 Public Parking

Public parking will be provided within the specific plan area along the interior private Loop Road as shown on Figure 3.2: Coastal Access. Residential developments within PA3 are required to meet the parking standards identified in this Chapter within the development site (i.e. residential projects are



## Legend

- Specific Plan Area
- Yellow Arrow Potential Limited Access
- Orange Line Trail
- Purple Line Internal Loop Road
- Wavy Yellow Line Magnolia Park Trail

**Figure 3.2: Coastal Access**

prohibited from using parking spaces on the Loop Road to meet minimum parking requirements). Entry controls such as, but not limited to, gates, guardhouses and guards are prohibited on the Loop Road.

### 3.4.6 Signs

Signs directing the public to coastal access opportunities will be posted in conspicuous locations within the parks, visitor-serving and residential areas. Signs will be posted on Magnolia Street, Magnolia Park and in the CV area (PA4) directing the public to the trailhead within the CC area (PA1). Interpretive signs shall be located along the trail in the CC area.

The CC area shall include signage indicating where public access is allowed and where it is prohibited. A planned sign program shall be submitted to the Community Development Department for approval.

### 3.4.7 Covenants, Conditions and Restrictions (CC&Rs)

Prior to issuance of a coastal development permit (CDP) for development, a Home Owners' Association (HOA) and Private Property Owners' Association (PPOA) shall be established with CCRs. The CC&Rs shall be submitted to the City for review and approval prior to their recordation and shall reflect, either in their main text or in an exhibit the following:

- All conditions of the LCP/CDP applicable to each development;
- Be binding upon and run with the land and be included or incorporated by reference in every deed conveying interest within the Specific Plan area;



## Land Use Plan & Development Standards

- Provide for maintenance, repair and replacement of all HOA- or PPOA-owned improvements within the common areas including landscape, irrigation, the private Loop Road, common vehicular driveways, parking, recreation, open space, community walls and fences, community facilities, drainage facilities, water quality BMPs and private service utilities;
- Include the plant palette provided in Appendix A of Volume II Design Guidelines which identifies the approved and prohibited plant species;
- Provide upon the sale of 80% of the residential units, the responsibilities for the following shall transfer from the property owner/development to the HOA/PPOA in perpetuity. These responsibilities shall include maintenance, repair, and replacement by the HOA/PPOA of public access and interpretive signage, landscape irrigation, public trail, trail fencing within PA1 and PA2;
- Provide that neither the residents, occupants nor the HOA/PPOA shall interfere with public use of the public access trails within PA1 and PA2 or close off either or both for the exclusive use of the residents; and
- Include the approved Domestic Animal Control Plan, Pesticide Management Plan, Landscape Maintenance Agreement and the Project Information Packet described in Section 3.4.8 Resource Protection.

### 3.4.8 Resource Protection

Each of the following shall be submitted with CDP application and, once approved and accepted, included in the CC&Rs described above.

#### Domestic Animal Control

A Domestic Animal Control Plan shall be prepared that details methods to be used to prevent pets from entering PA1 including but not limited to, appropriate fencing and barrier plantings. The plan shall be approved by the Community Development Department prior to homeowner/occupant distribution.

#### Pesticide Management Plan

A Pesticide Management Plan shall be prepared that, at a minimum, provides examples and prohibits the use of rodenticides, toxic pesticides and herbicides in all outdoor areas (other than Vector Control conducted by the City, County, or Special District). The plan shall be distributed to each homeowner/occupant.



### Information Packet

To ensure the continuance of habitat value and function of the adjacent designated Environmentally Sensitive Habitat Area (ESHA), the developer shall provide all property owners or occupants within the Specific Plan area with an Information Packet that explains the sensitivity of the natural habitats adjacent to the Specific Plan area and the need to avoid adverse impacts to Magnolia Marsh, including the prohibition of exotic invasive plant species in landscaping. The Information Packet shall also include a copy of the approved plant palette and prohibited plant list, Domestic Animal Control Plan and Pesticide Management Plan and shall be required to be distributed for all sales of housing units. The project applicant shall submit the Information Packet to the Community Development Department with the application for the first Coastal Development Permit.

### 3.4.9 Undergrounding of Utilities

All existing overhead utilities lines, including but not limited to 33kV transmission lines, 12kV electrical distribution lines, cable TV lines, telecommunications lines and fiber optic lines, shall be placed underground, pursuant to the City's Zoning and Subdivision Ordinance (ZSO 255.04.G). The existing pole at the northwest corner of the site may remain as it allows for crossing over of the OCFCD Channel. All new utilities shall be placed underground (C 4.7.2).

### 3.5 Permitted Land Uses

Permitted uses shall be allowed pursuant to the RM, CV, OS-PR and CC districts of the HBZSO.

### 3.6 General Development Requirements

The development standards in Table 3.2: Development Standards provide the requirements for planning areas of the Specific Plan. Additional information is provided in this section.

Building Setbacks for the Specific Plan area are shown on Figure 3.3: Specific Plan Building Setbacks.



# Land Use Plan & Development Standards

**Table 3.2: Development Standards**

Standard	CC	OS-PR <sup>4,5</sup>	CV <sup>1</sup>	RM <sup>2,3</sup>	Additional Notes
Minimum Building Setbacks (For All Building Stories)					
From Magnolia Park	0'	N/A	0'	3'	Building Walls exceeding 25' in height: The required interior side or rear setback adjoining a building wall exceeding 25' in height, excluding any portion of a roof, and located on a lot 45 feet wide or greater, does not require additional setback over basic requirement.
From Northern Property Boundary	0'	0'	N/A	10'	Building Walls exceeding 25' in height: The required interior side or rear setback adjoining a building wall exceeding 25' in height, excluding any portion of a roof, and located on a lot 45 feet wide or greater, does not require additional setback over basic requirement.
From CC Area	N/A	0'	0'	0'	Building Walls exceeding 25' in height: The required interior side or rear setback adjoining a building wall exceeding 25' in height, excluding any portion of a roof, and located on a lot 45 feet wide or greater, does not require additional setback over basic requirement.
Front/Side at Private Streets	N/A	N/A	0'	9'	Measured from back of sidewalk.
				9'	At residential entry road within first 150' of Magnolia Street. Measured from back of sidewalk.
From Internal Private Alleys	N/A	N/A	0'	2'	Detached homes may face alley or street.
Covered Porches/Patios	N/A	N/A	0'	5'	Measured from back of sidewalk if on Loop Road.
Side	N/A	N/A	0'	3'	
Rear	N/A	N/A	0'	3'	
Garage (for parking to be permitted in driveway of home)	N/A	N/A	N/A	18'	Measured from alley curb or from back of sidewalk. Driveways must be less than 5' (no parking allowed in driveway). No driveway depths between 5.1' and 17.9'. Driveways must be equal or greater than 18' (for allowed parking in driveway).
Building Separation	N/A	N/A	10'	6'	

1. The Lodge shall not be converted to Limited Use Overnight Visitor Accommodations (Timeshares) and shall not exceed four stories above a parking garage.
2. Senior Housing projects must comply with all standards put forth in the HBZSO.
3. Single Family Detached Homes proposed on 6,000 or less square foot lots by PUD shall be subject to HBZSO standards only.
4. There are no minimum lot area and lot width requirements in the OS-PR zone.
5. In the OS-PR zone, a 25' front setback from Magnolia Street will be applied to any structure over 42" high.



*Table 3.2: Development Standards (continued)*

Standard	CC	OS-PR <sup>4,5</sup>	CV <sup>1</sup>	RM <sup>2,3</sup>	Additional Notes
Garage to Garage Separation in Private Alley.	N/A	N/A	N/A	30'	30' from garage face to garage face, architectural projections may encroach 3' provided separation meets Fire Department Standards
Commercial Building Facade Articulation	N/A	N/A	See Notes	N/A	Building facade surfaces shall not be $\geq 70'$ without a break, recess or offset measuring $\geq 6"$ in depth, or a series of offsets, projections or recesses at intervals $\leq 40'$ that vary the depth of the building wall by a minimum of 4'
Residential Building Facade Articulation	N/A	N/A	N/A	See Notes	Buildings shall be articulated on all visible sides; Building facade surfaces shall not be $\geq 40'$ without a break, recess or offset measuring $\geq 6"$ in depth. 10' average setback for upper stories shall not be required.
Projections into Setbacks (feet)					
Fireplace (feet)	N/A	N/A	N/A	2.5	Maintain a 30-inch clearance from property line
Cornice, eaves & ornamental features	N/A	N/A	N/A	3	
Mechanical equipment	N/A	N/A	See Notes	2.5	Mechanical equipment shall be screened from view; mechanical equipment and cabinets to comply with a 30-inch clearance from property line
Uncovered porches, terraces, platforms, subterranean garages, decks, & patios $\leq 3.5'$ in height serving only the 1st floor	N/A	N/A	N/A	See Notes	At 3' setback: encroachments must maintain a 30-inch clearance from property line. At 9' setback: said architectural features may encroach 6' front, 3' side, 5' rear, 4' street side
Stairs, canopies, awnings & uncovered porches $> 3'$ in height	N/A	N/A	N/A	4	Maintain a 30-inch clearance from property line
Bay windows	N/A	N/A	N/A	2.5	
Balconies	N/A	N/A	N/A	3	

1. The Lodge shall not be converted to Limited Use Overnight Visitor Accommodations (Timeshares) and shall not exceed four stories above a parking garage.
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# Land Use Plan & Development Standards

*Table 3.2: Development Standards (continued)*

Standard	CC	OS-PR <sup>4,5</sup>	CV <sup>1</sup>	RM <sup>2,3</sup>	Additional Notes
Minimum Usable Open Space (SF)					
Total Open Space SF/ Residential Unit	N/A	N/A	N/A	150	Combination of private, common and shared recreation facility
Private Residential Open Space SF	N/A	N/A	N/A	60	Attached dwelling units, 6' minimum dimension; spaces can be aggregated
				100	Detached dwelling units, 8' minimum dimension; spaces can be aggregated. All private open space can be on open decks on any floor.
Common Open Space SF	N/A	N/A	N/A	N/A	Minimum dimension 10'; setback areas cannot be utilized; no window offsets required. Does not have to be open to sky.
Recreation Facility Area	N/A	N/A	N/A	15,000	Minimum dimension 10', setback areas cannot be utilized.
Other Standards					
Buildings	N/A	N/A	1.5 FAR	N/A	
Residential Lot Coverage	N/A	N/A	N/A	65%	Small lot development shall also have a 65% lot coverage maximum. Motorcourt cluster, attached homes, and other like condominium mapped typologies shall have lot coverage calculated across the entire condo mapped parcel.
Residential Lot Size	N/A	N/A	N/A	See Notes	Individual residential lot size does not apply in condo mapped conditions such as motorcourt clusters or attached homes. Small lot development shall have a minimum lot size of 3,100 SF and is not subject to an average lot size.
Minimum Residential Unit Size SF	N/A	N/A	N/A	500	
Minimum Interior Garage Size SF	N/A	N/A	N/A	400	Side by Side garages (20x20) Tandem garages may be 380 SF (10x38)

1. The Lodge shall not be converted to Limited Use Overnight Visitor Accommodations (Timeshares) and shall not exceed four stories above a parking garage.
2. Senior Housing projects must comply with all standards put forth in the HBZSO.
3. Single Family Detached Homes proposed on 6,000 or less square foot lots by PUD shall be subject to HBZSO standards only.
4. There are no minimum lot area and lot width requirements in the OS-PR zone.
5. In the OS-PR zone, a 25' front setback from Magnolia Street will be applied to any structure over 42" high.



*Table 3.2: Development Standards (continued)*

Standard	CC	OS-PR <sup>4,5</sup>	CV <sup>1</sup>	RM <sup>2,3</sup>	Additional Notes
Minimum Site Landscaping (%)	60%		8%	8%	See Chapter 232
Refuse Storage Areas	N/A	See Notes	See Notes	See Notes	See §230.78; when appropriate, trash and recycling bins may be located in the garage or side yard
<b>Courtyards</b>					
Courts Opposite Walls on the Same Site	N/A	N/A	N/A	Per CBC	
Courts Opposite Interior Property Line	N/A	N/A	N/A	Per CBC	
Court Dimensions	N/A	N/A	N/A	Per CBC	
Windows	N/A	N/A	N/A	See Notes	Can be oriented to all four sides of a building
Roof Decks	N/A	N/A	N/A	See Notes	Permitted above the 35 foot building height. Structures along Magnolia which are limited to two stories are not allowed to have rooftop decks. Maximum of 400 SF of roof area with solid rail only. Roof deck trellis permitted 10' above roof deck floor and setback a minimum of 5 feet from edge of roof or adjacent unit. Lattice design only, open on 3 sides.
Roof Area (Multi-Family Buildings)	N/A	N/A	N/A	See Notes	Multi-family buildings shall have variation in their roof design and elevation, however, there are no requirements for the percentage of roof that needs to be one, two, or three-story
Walls	N/A	See Notes	See Notes	See Notes	Employ bird-safe design techniques, including but not limited to Bird Safety Glazing Films and or Bird Safety fritted glass on glass surfaces greater than 1 SF facing the marsh in the first row of buildings/ homes and fences closest to the marsh to minimize bird strike. Use anti-glare glass or film and employ design elements to reduce glare onto Magnolia Marsh.
Dormers	N/A	N/A	N/A	See Notes	No setback required for dormers; setback could force unwanted design

1. The Lodge shall not be converted to Limited Use Overnight Visitor Accommodations (Timeshares) and shall not exceed four stories above a parking garage.

2. Senior Housing projects must comply with all standards put forth in the HBZSO.

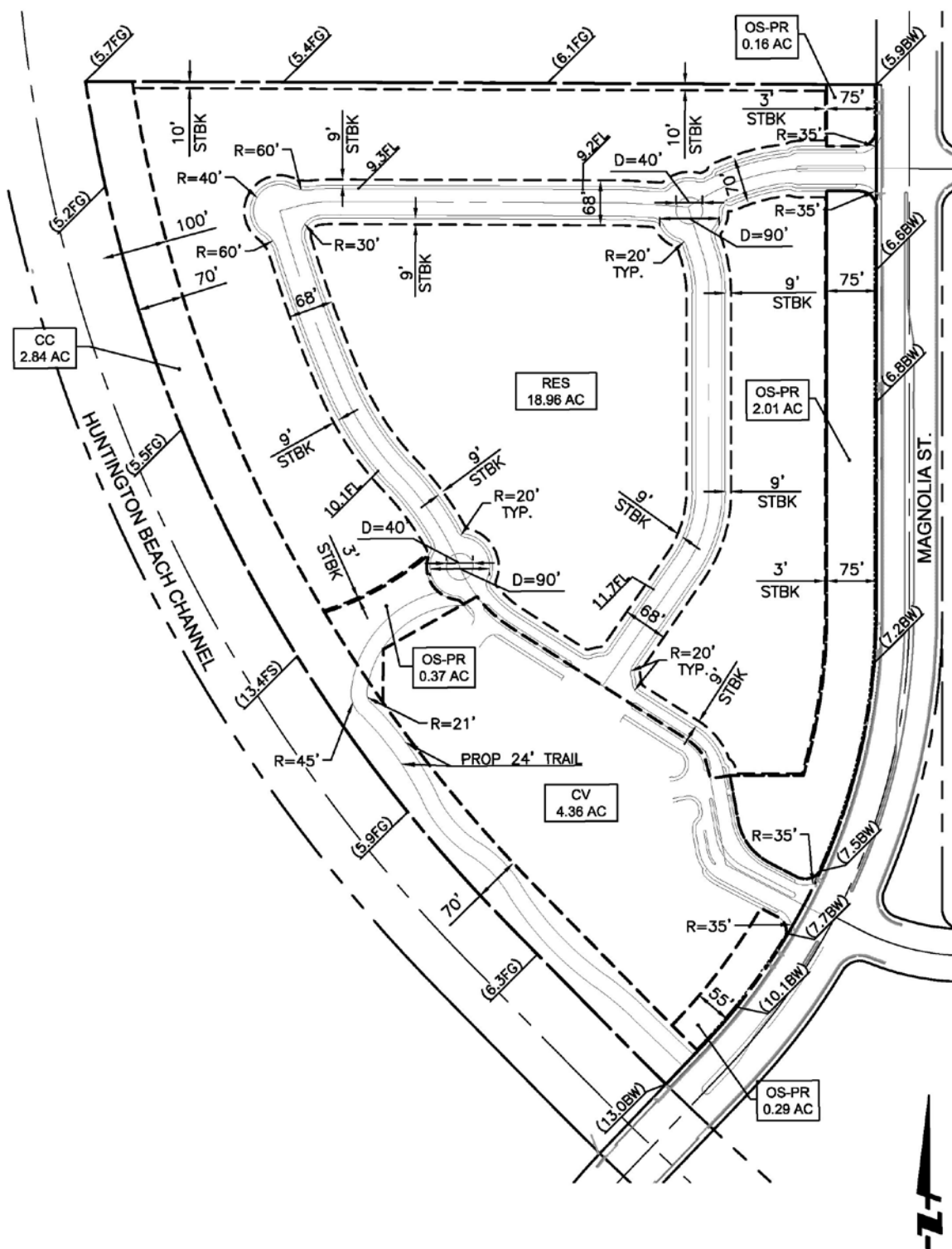
3. Single Family Detached Homes proposed on 6,000 or less square foot lots by PUD shall be subject to HBZSO standards only.

4. There are no minimum lot area and lot width requirements in the OS-PR zone.

5. In the OS-PR zone, a 25' front setback from Magnolia Street will be applied to any structure over 42" high.



## Land Use Plan & Development Standards



### Figure 3.3: Specific Plan Building Setbacks

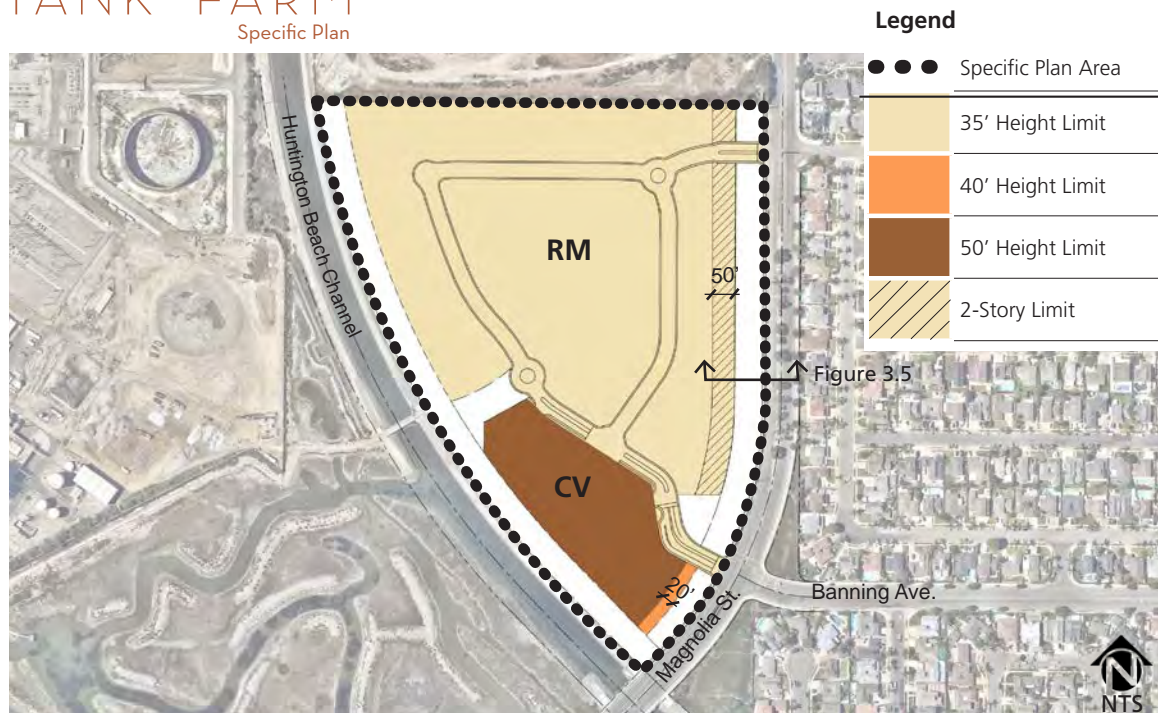


Figure 3.4: Height Limits

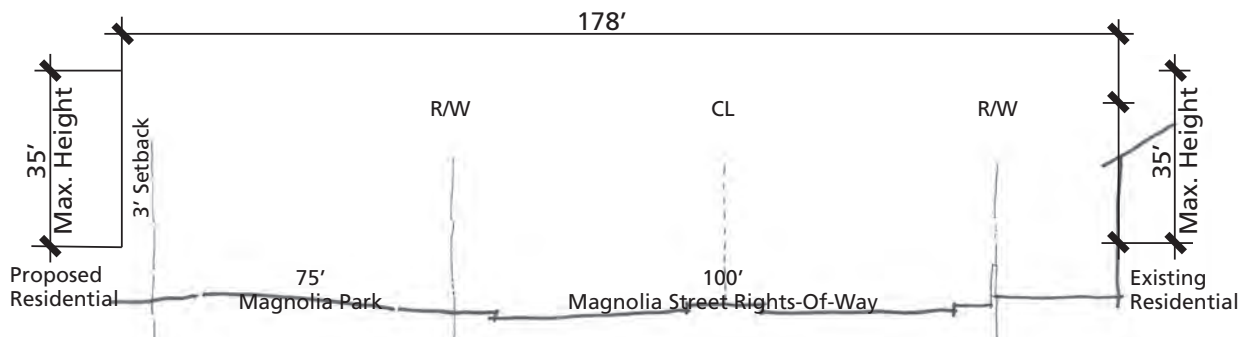


Figure 3.5: Existing Magnolia Street Section

### 3.6.1 Measurement of Height

The maximum building heights are shown on Figure 3.4: Height Limits. Building height will be measured from the private Loop Road datum abutting the parcel being developed. In the CV area, elevator shafts, mechanical equipment and architectural features (i.e. non-habitable space) may exceed the base height by up to 10 feet provided the total area exceeding the base height limit is no greater than 15% of the CV area and is setback a minimum of 40' from the CV area boundary.

In the RM area, there is a two-story and 25 foot building height maximum for structures along Magnolia Park. This two-story restriction goes from the eastern boundary of the RM area, 50' west into the RM area. Flat roofs are permitted and there are no requirements for top plate height. Roof pitch shall be considered when designing the elevation to successfully accomplish style intent.

Building height for the Lodge shall be measured from the finished grade at the main building entry to the top of the structure. This height envelope is constant and will maintain the maximum height of any building independent of any ground level variation due to grade or road design.



# Land Use Plan & Development Standards

## 3.6.2 Subterranean Structures

Any story of a structure that is located entirely below finish grade shall not be counted as a building story for determination of maximum height restrictions. No minimum setback from a public right-of-way shall be required for subterranean development unless otherwise specified by the Building Code.

## 3.7 General Parking Requirements

All parking shall be provided on-site with the required number of parking spaces specified by Chapter 231 of the HBZSO and General Plan Coastal Element section C 2.4.2a with the following differences and additional requirements:

- Detached cluster and detached single-family small lot homes shall comply with the Multi-Family Residential parking requirements;
- A tandem parking configuration may be utilized for both garage and driveways to meet required parking for individual residential units (maximum two enclosed parking spaces deep). One driveway parking spot may be located behind enclosed tandem garage with the appropriate driveway depth;
- Guest parking on driveways shall count as guest parking only for the unit it serves;
- Guest parking spaces for residential uses shall be located in parking bays within 200 feet of the unit served and are also permitted in driveways (as noted in Table 3.2);
- Designated Marsh Park parking shall be provided;
- All CC&Rs shall require a parking management plan to ensure the ongoing control of availability of onsite parking including but not limited to: restricting the use of garages that will preclude the parking of two vehicles, all open parking spaces within the development shall be unassigned and available for visitors, and towing of any vehicles violating the restrictions within the CC&Rs;and
- Senior projects are to comply with senior parking requirements as stated in the HBZSO Off-Street Parking Space Requirements.

On-street parking on Magnolia Street that are lost due to the construction of the new community entry across from Bermuda Drive shall be mitigated by the addition of public parking spaces created along the Loop Road.

## 3.8 Affordable Housing

Section 230.26 of the HBZSO applies and requires that at least ten percent (10%) of all new residential construction shall be affordable units. As an alternative to complying with Section 230.26, the City and the Property Owner may enter into an agreement that allows provides for the payment of in lieu fees for 100% of the affordable housing obligation.



### 3.9 Crime Prevention, Public Safety, Environmental and Fire Protection Requirements

Methods enhancing public safety with regard to crime prevention, site re-use, and fire department accessibility have been and will continue to be taken into consideration through the development stages of the project.

Due to the previous site use, oil well abandonment for the three existing wells shall be completed to the satisfaction of the California Division of Oil, Gas and Geothermal Resources (DOGGR) and the Huntington Beach Fire Department.



CC Area Location map

- A permit shall be obtained from the Huntington Beach Fire Department as per City Specification #422 Oil Well Abandonment Permit Process.
- Oil wells shall be abandoned to the current DOGGR standard.

Prior to issuance of grading permits, the Project Applicant shall have implemented all required site assessment and remedial actions to address residual contamination in soil, soil gas, and groundwater as prescribed by the California Department of Toxic Substances Control (DTSC) and under

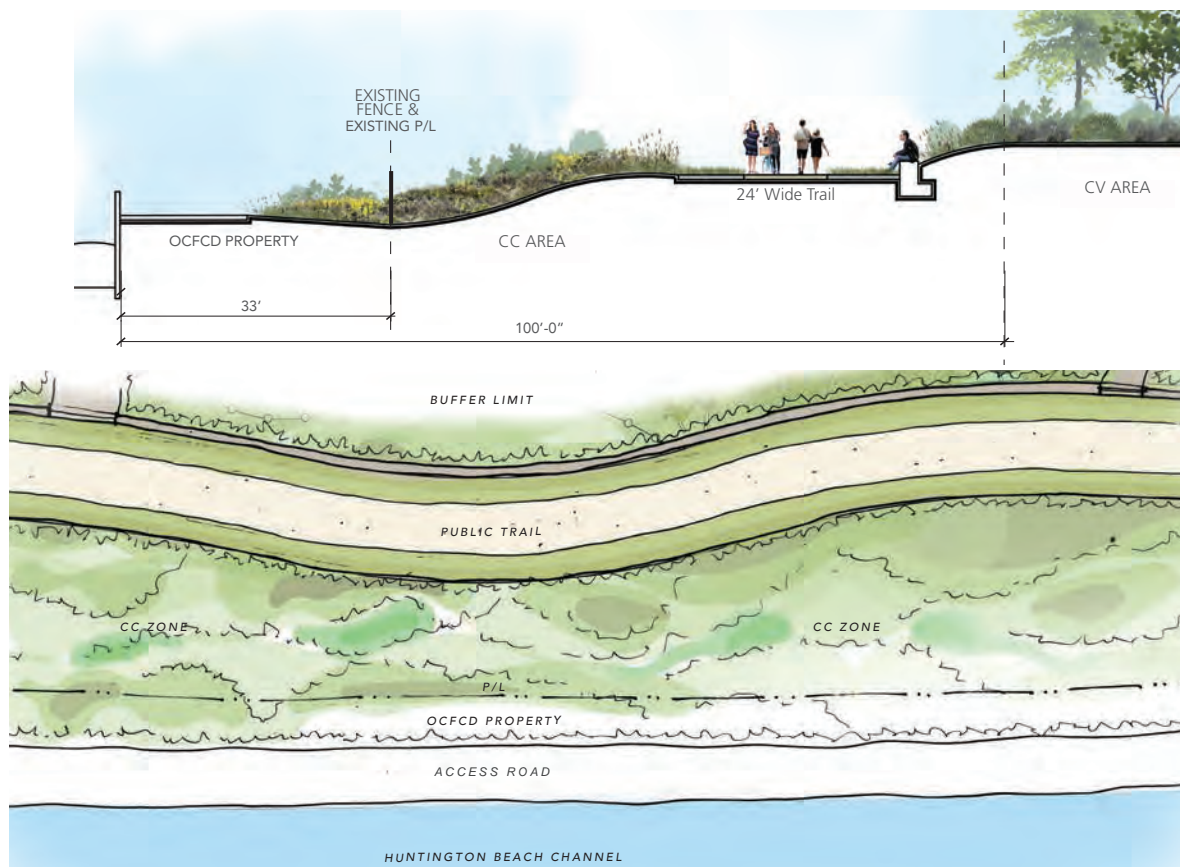


Figure 3.6: Conceptual CC Area Plan and Section



# Land Use Plan & Development Standards

DTSC oversight. The Project Applicant shall obtain a “No Further Action” letter or other written concurrence from DTSC indicating the successful completion of remediation activities and submit this written documentation to the City of Huntington Beach Fire Department for approval. Furthermore, prior to the approval of any building and grading permits, the site soil shall show compliance with City Specifications #429 and #431-92.

All open spaces within the Specific Plan boundary will include access, lighting, signage, and landscape design to facilitate optimal visibility and discourage crime and loitering.

- Bollard lights will be at least three feet high;
- Passive lights will be down-lit through all hours of darkness;
- Easily visible signs will be posted stating hours of operation, access restrictions, and ownership. It will be clearly stated on appropriate signs that the City does not own nor maintain these open spaces; and
- Plant choices will provide optimal visibility for passive surveillance while also discouraging camping, living, and sleeping.

## 3.10 Coastal Conservation (CC) Requirements

The Magnolia Marsh is an important environmentally sensitive habitat area adjoining the Specific Plan area. The CC area is designed to create upland habitat that functions as a buffer to the Marsh, and includes a public trail and interpretative signage (C 2.6.6, C 2.7.1, C 3.2.1, C.1.26, C.7.1.3, and C7.1.4). The CC area extends from the southwesterly property line, 70 feet inland along the entire length of the Specific Plan area’s southwesterly boundary. When combined with the OCFCD property, there is a 100-foot wide buffer from the inland wall of the Huntington Beach Channel to the CV and RM planning areas. Figure 3.6: Conceptual CC Area Plan and Section depict the ecosystem-based design of the upland edge of Magnolia Marsh between OCFCD property and the inland edge of the CC area in both section and plan views. Refer to Appendix A of Volume II Design Guidelines for the permitted plant palette.





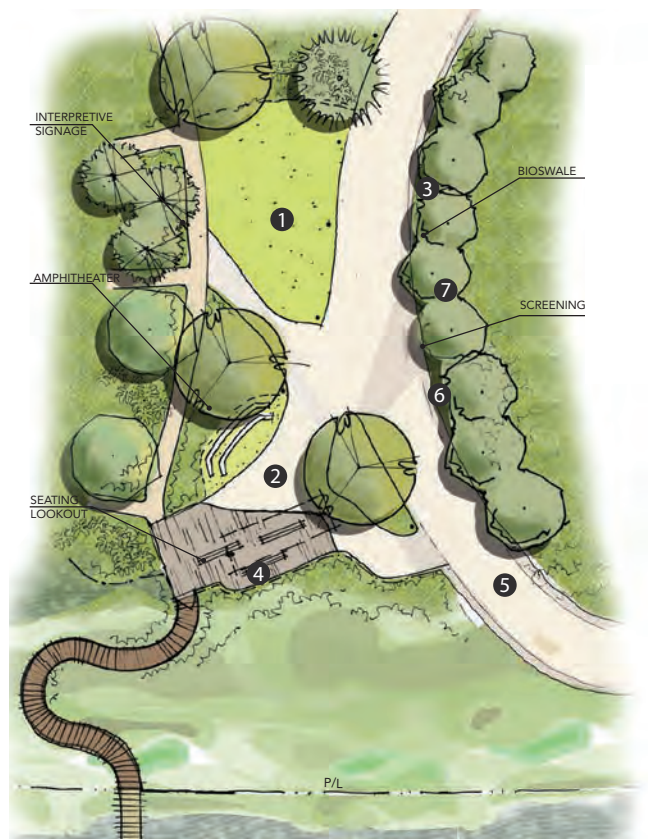
### 3.10.1 Habitat Management Plan

A Habitat Management Plan for the CC area which includes the plant palette, location and types of plantings, planting techniques, monitoring procedures, success criteria and long-term maintenance, must be submitted concurrent with the first CDP for project development.

### 3.10.2 Walls and Fences

Fencing is required to protect sensitive resource areas from disturbance. Appropriate fencing and a gate will be installed along the western edge of the CC area to protect the Marsh from unsupervised entry by the public, but allow the docent tours to access the bridge through a gate. The existing chain link fence on the OCFCD property will remain in place. Additional fencing will be located along the boundary between the CC area and the residential neighborhoods to keep people and pets from

Marsh Park Location Map



#### Legend

- 1 Open Lawn
- 2 Amphitheater
  - Terraced
- 3 Bioswale
- 4 Observation Deck
  - Seating
  - Shade Element
  - Educational Signage
- 5 Pedestrian Trail
- 6 Seating Area
- 7 Shade Grove
  - Greenscreens
  - Vertical Trees

Figure 3.7 Conceptual Marsh Park Plan



# Land Use Plan & Development Standards

entering the CC area from Marsh Park to the northern property line. Additionally, community walls are proposed on the northern boundary and along the Magnolia Park boundary. No walls, fences or other devices designed to preclude public access to the CC area are allowed except those approved as part of this Specific Plan.

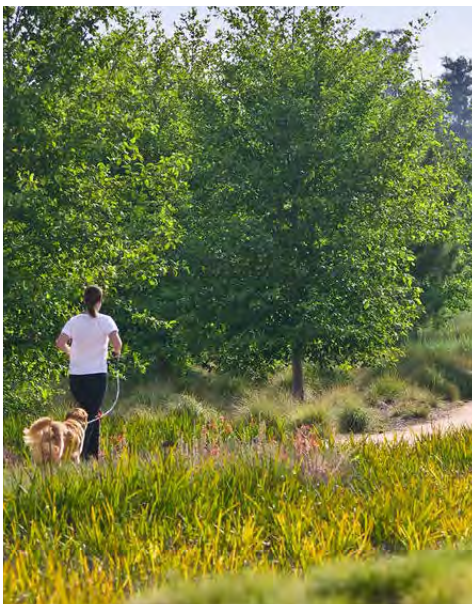
## 3.10.3 Irrigation

No permanent irrigation systems shall be allowed adjacent to environmentally sensitive habitat areas (C 7.3.1). All planting within the CC area will be temporarily irrigated with an automatic system consisting of a weather based controller, master valve, flow sensor, control valves, on grade PVC pressure mainline and lateral piping. Irrigation will be programmed for optimal duration and cycle based on plant growth cycles and weather conditions. All irrigation components will be removed at completion of the establishment period.

## 3.11 OS-PR Requirements

### 3.11.1 Marsh Park

Marsh Park is located in the area between the Lodge and the residential area that overlooks Magnolia Marsh. A controlled access point to Magnolia Marsh is located near here. Marsh Park preserves public view corridors to the ocean and the Marsh and serves as a staging area for docent-led tours of the Marsh or other interpretive programs.





### 3.11.2 Magnolia Park

Since the early 1970s, there has been a private landscaped area adjacent to Magnolia Street. Although this greenbelt (referred to by local residents as Squirrel Park) has never been an actual public park, it has been informally used by residents and visitors. In addition, there is an existing curb-adjacent sidewalk, on-street parking and a Class II bike lane.

Figure 3.8: Conceptual Magnolia Park Plan and Enlargement of Gathering Area depicts the public park along Magnolia Street that provides pedestrian access and passive recreational amenities.

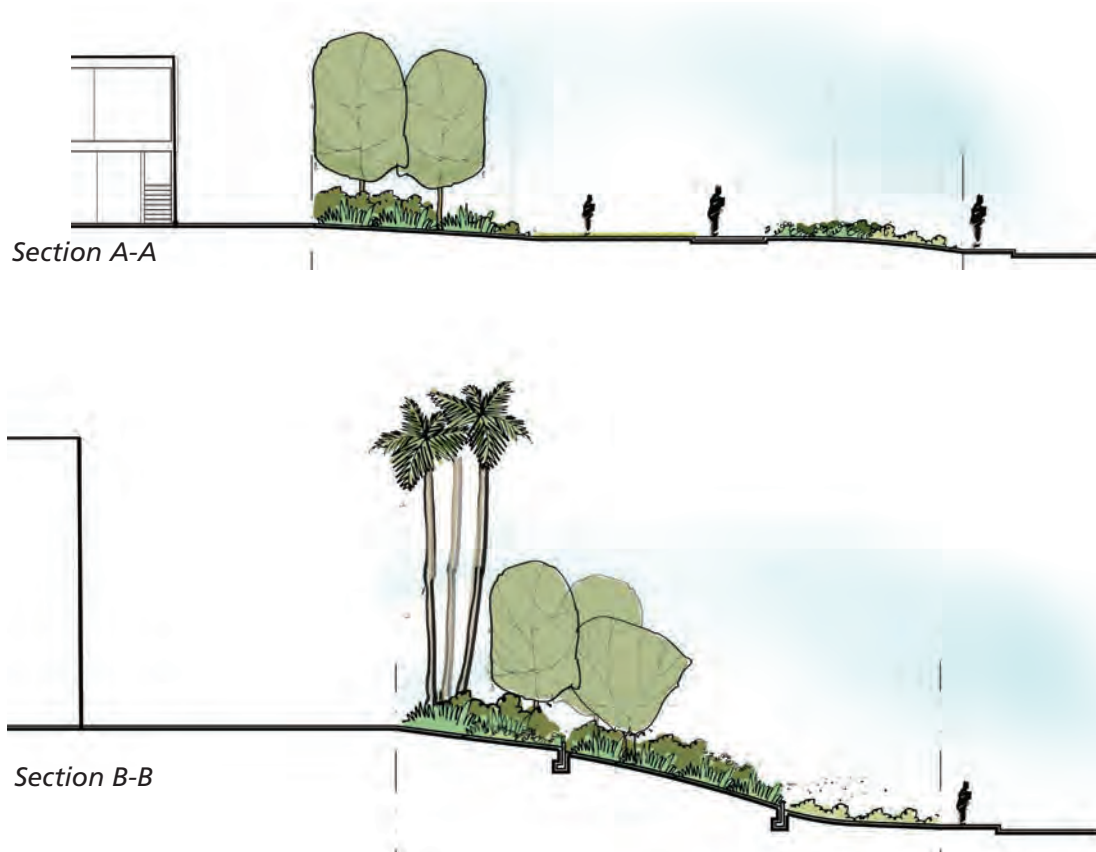
All mature/significant trees removed as part of the Magnolia Park improvements will be replaced on a 2:1 basis (two 36-inch box trees for every mature/significant tree removed) (C 4.6.3).



**Figure 3.8: Conceptual Magnolia Park Plan and Enlargement of Gathering Area**



## Land Use Plan & Development Standards



**Figure 3.9: Conceptual Magnolia Park Cross Sections**



**Figure 3.10: Conceptual Magnolia Park Vignette**



Signs will be provided in Magnolia Park to guide and facilitate beach bound traffic (C 2.1.1). All applicable signage will notify the public that the park is not maintained by the City nor part of the City's park system.

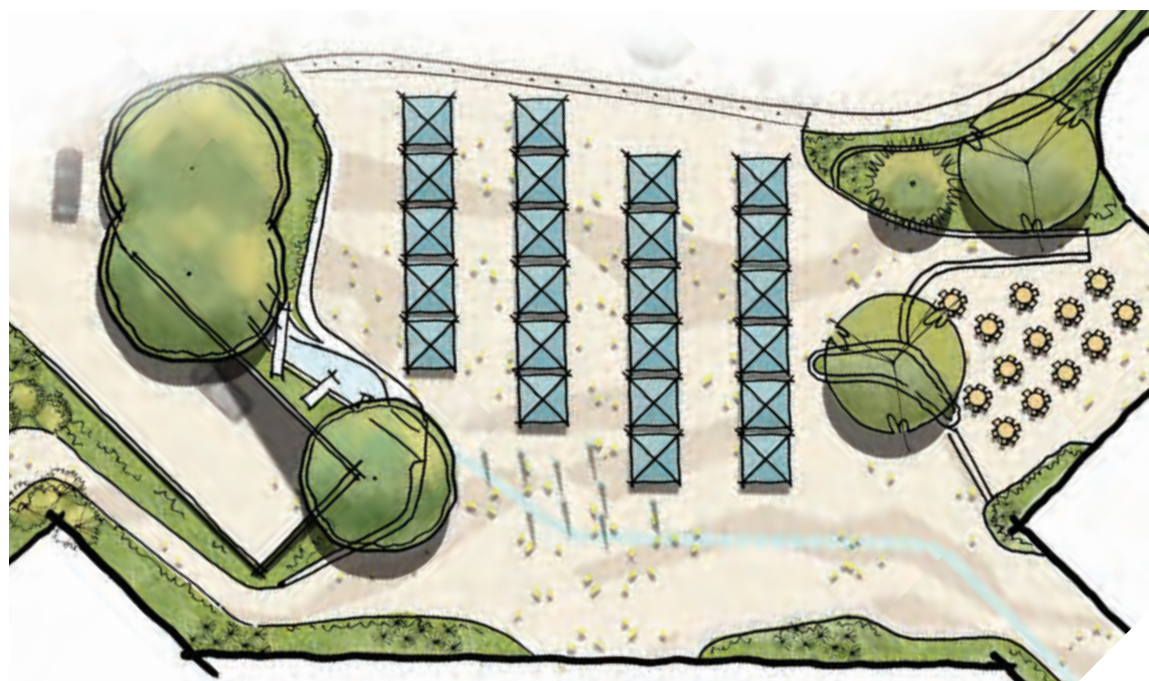
### 3.12 CV Requirements

The Lodge, Guesthouse, local-serving retail and adjacent plaza become a major focus area of the community. Lower-cost visitor and recreational facilities shall be provided in the CV area.

#### Overnight Accommodations

Coastal Act Section 30213 states: "Lower cost visitor and recreational facilities shall be protected, encouraged, and, where feasible, provided. Development providing public recreational opportunities are preferred. The Commission shall not: (1) require that overnight room rentals be fixed at an amount certain for any privately owned and operated hotel, motel, or other similar visitor-serving facility located on either public or private lands; or (2) establish or approve any method for the identification of low or moderate income persons for the purposes of determining eligibility for overnight room rentals in any such facilities".

Given the proximity of the Tank Farm property to Huntington State Beach, one of the most popular beaches in southern California, the opportunity exists to address the goals stated in Section 30213 by providing a variety of overnight accommodations. The Commercial Visitor planning area of



**Figure 3.11: CV Open Space Concept Plan**



## Land Use Plan & Development Standards

this specific plan allows up to 175 market-rate hotel rooms (Lodge) and an additional 40 rooms (Guesthouse) that are designated as lower cost overnight accommodations (see Table 3.1). Below are the policies and regulations guiding the development of the visitor-serving facilities within the Commercial Visitor planning area.

- The market-rate rooms and lower cost rooms can be provided in separate facilities or can be integrated into a single facility.
- The Lodge can provide fewer than 175 market-rate rooms, but in no case shall less than 40 lower cost rooms be constructed in the Commercial Visitor planning area.
- Each of the lower cost rooms shall contain at least two beds.
- The market-rate rooms and lower cost rooms must be available for use by the public prior to the issuance of the 200th occupancy permit within the residential planning area (PA 3).
- Lower cost room rates will be determined by an annual survey of all hotel/motel room rates in the Coastal Zone ten miles north and south of the project site. The lower cost room rates in the Specific Plan area shall be within the bottom thirty percent of the hotel/motel room rates in the survey.

### 3.12.1 Public Open Space

Development within the CV shall provide outdoor or unenclosed areas on the ground floor or above floor levels designed and accessible for use by the public. Public open space may include any of the following: plazas, patios, balconies, gardens or view areas, open to the street on the first floor, or open on at least one side above the first floor, or open to the sky.

The following elements are required:

- At least 5% of the gross CV area shall be public open space;
- At least 30% of the public open space area shall contain landscaping, including shade trees, accent trees, and other soft landscaping. Hard surfaced areas and specialty paving shall also be incorporated into the public open space design;
- A maximum of 25% the required public open space may be provided above the street level, e.g. balconies, decks, etc. Open space provided above street level shall be readily, visibly, and obviously accessible to the general public and public access signage shall be provided;
- Public open space shall include seating, as well as other pedestrian amenities, such as decorative lighting, planters, low-water using fountains or water features, distinctive paving, decorative tiles, public art, landscaping, and bicycle racks.



### 3.13 Residential Typologies

#### 3.13.1 Home Types

A primary design objective for the Specific Plan is to provide a variety of home types to suit the needs of different life stages and market segments. The following section provides conceptual examples of a variety of single-family detached and attached homes. The plotting concepts are provided only to illustrate a potential layout of each building type and have not been reviewed for compliance with applicable development standards. These concepts are not intended to be mandated layouts. All layouts shall be reviewed for compliance with City standards during the Plan Review process. Fire access to any future developments will need to comply with the applicable access requirements at the time construction documents are submitted to the City.





# Land Use Plan & Development Standards

**Figure 3.12: Detached Single-Family Small Lot**

- Detached homes face street or alley
- Automobile access via alleys
- Entry courtyards/private yards
- Parking for residents provided in attached garages
- Guest parking may be located in driveways (with 18' driveway depth), but not in alleys with 24-foot width

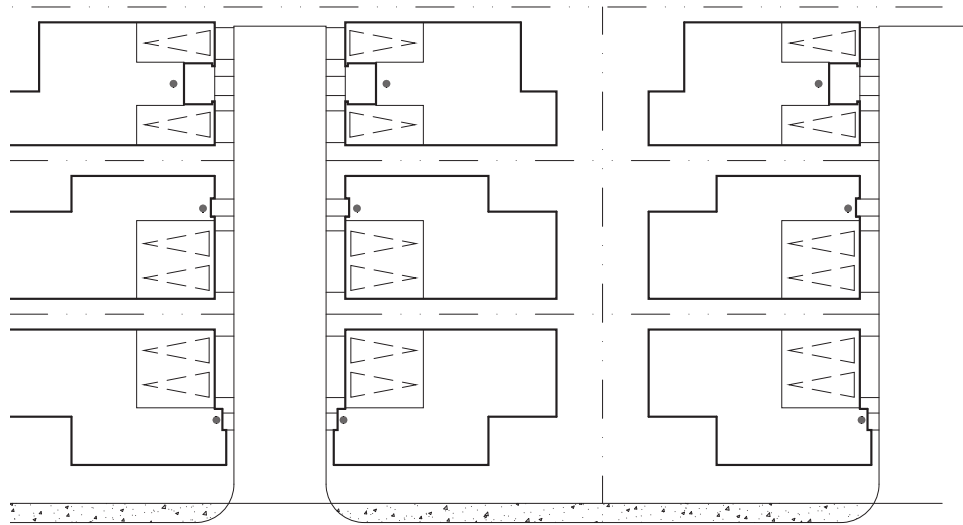
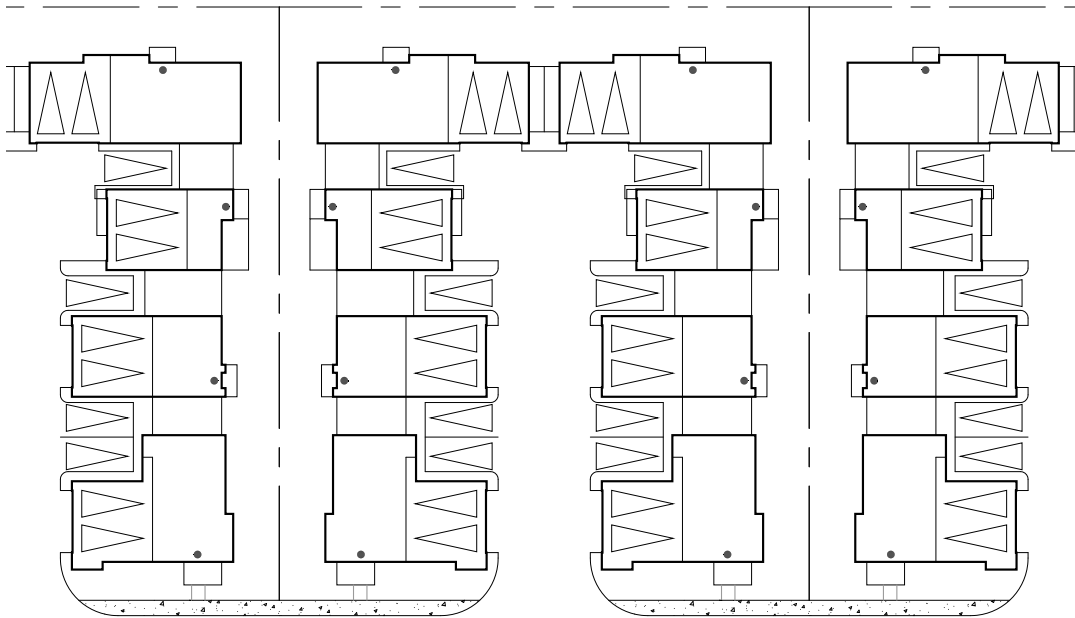




Figure 3.13: Detached Green Court - Condo

- Detached homes face street or green court
- Automobile access via alleys
- Entry courtyards/private yards
- Parking for residents provided in attached garages
- Guest parking provided in designated parking areas

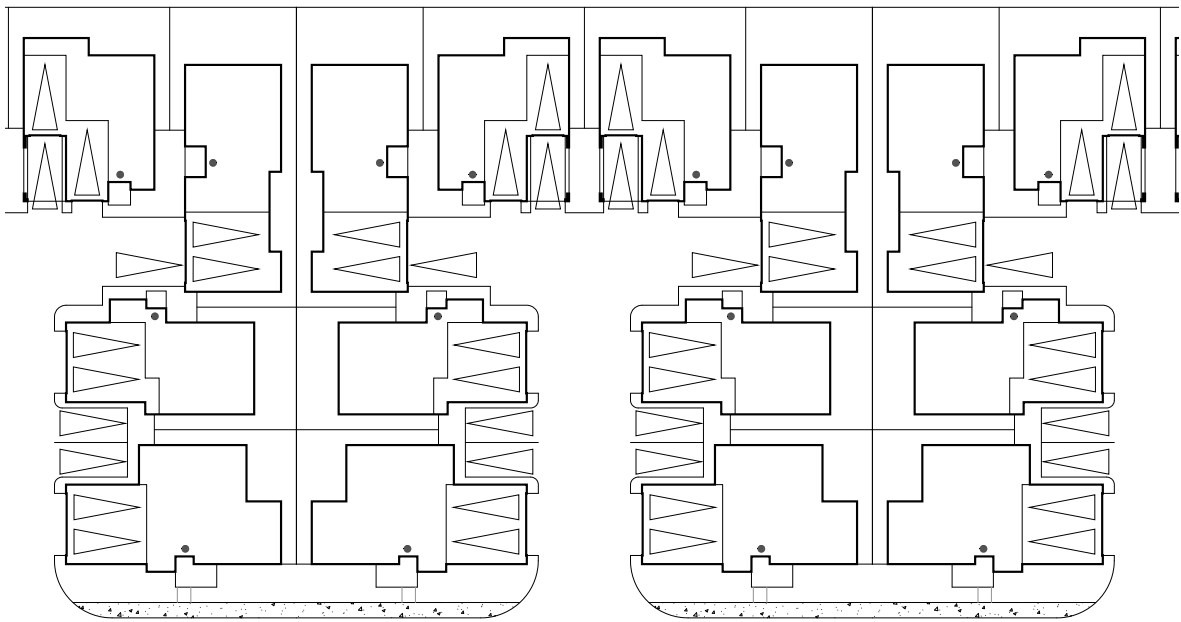




# Land Use Plan & Development Standards

**Figure 3.14: Detached Motorcourt 8 Units - Condo**

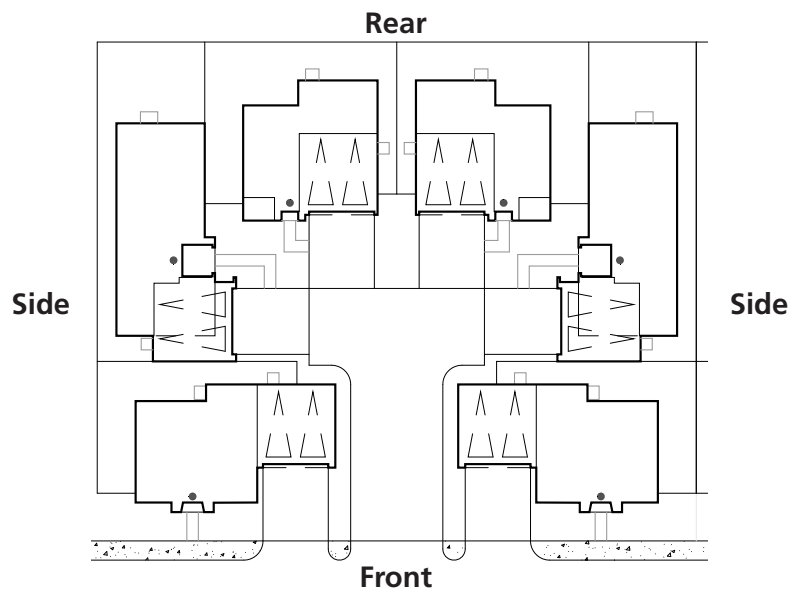
- Detached homes face street or court
- Setbacks measured to cluster boundary
- Automobile access via court
- Front doors on street or court
- Parking for residents provided in attached garages
- Guest parking may be provided in designated driveways or parking areas





**Figure 3.15: Detached Motorcourt 6 Units - Condo**

- Detached homes face street or court
- Setbacks measured to cluster boundary
- Automobile access via court
- Front doors on street or court
- Parking for residents provided in attached garages
- Guest parking may be provided in driveways, but not in alleys/drive aisles with 24-foot width

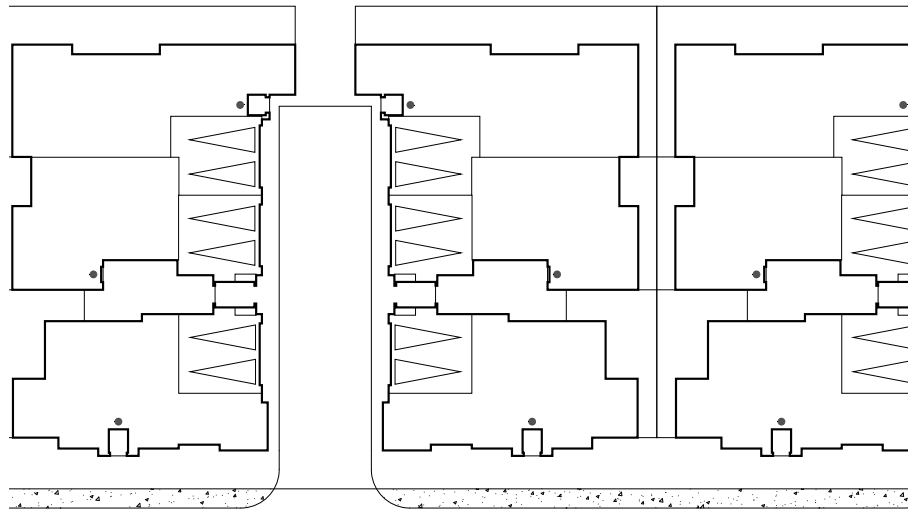




# Land Use Plan & Development Standards

**Figure 3.16: Duplex/SFD Senior - Condo**

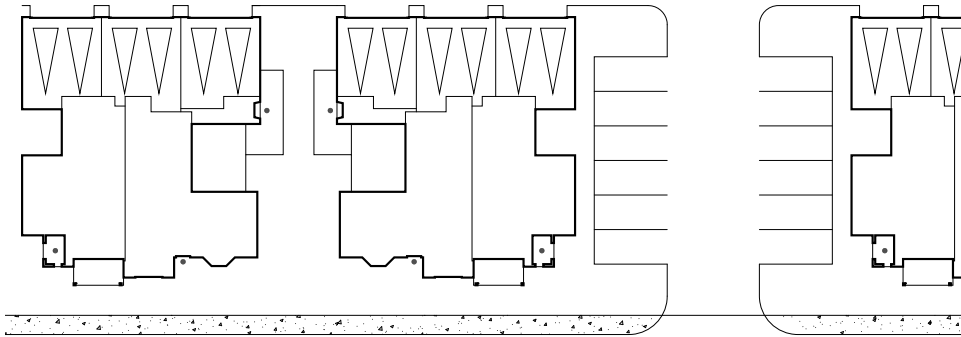
- Detached or duplex homes face street or alley
- Automobile access via alleys
- Entry courtyards/private yards
- Parking for residents provided in attached garages
- Guest parking provided in designated parking areas





**Figure 3.17: Mansion Home (Tri-Plex - Condo)**

- Attached homes face street or alley
- One front door per elevation side providing single family home appearance
- Automobile access via alleys
- Entry courtyards/private courtyards
- Parking for residents provided in attached garages
- Guest parking provided in designated parking areas

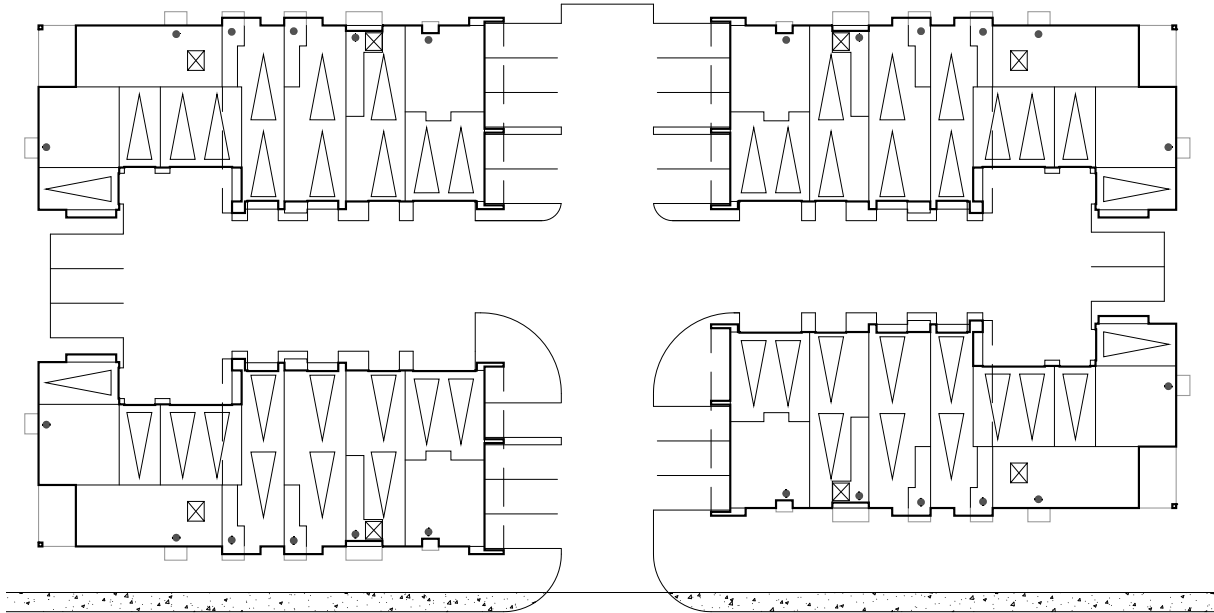




# Land Use Plan & Development Standards

**Figure 3.18: Attached Townhomes and Flats - Motorcourt - Condo**

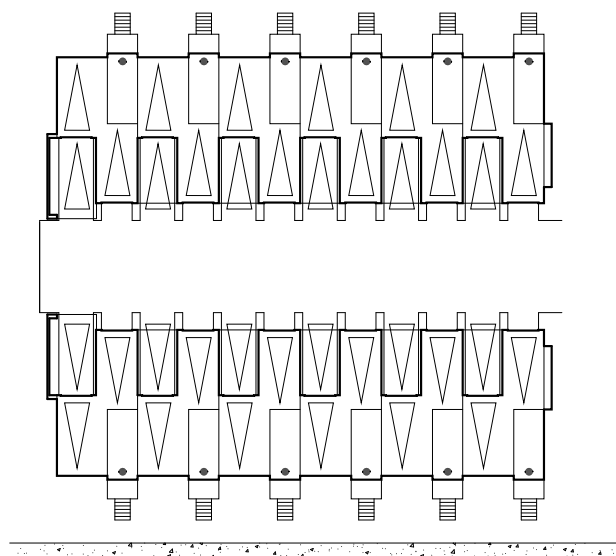
- Attached townhomes and flats face street or courtyard
- Automobile access via alleys
- Parking for residents provided in attached garages
- Guest parking provided in designated parking areas





**Figure 3.19: Attached Townhomes and Flats - Condo**

- Attached homes face street or a courtyard
- Automobile access via alleys
- Entry with walk-up stoup and no private yard
- Parking for residents provided in attached garages
- Guest parking provided in designated parking areas





# Land Use Plan & Development Standards

## 3.13.2 Open Space

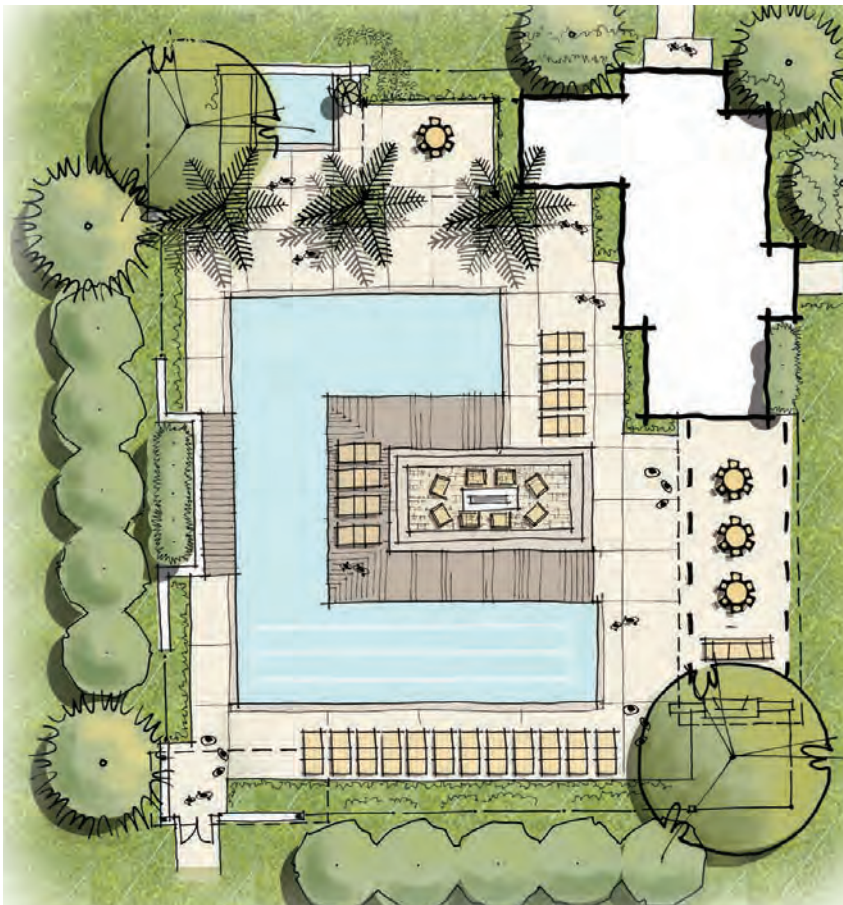
At least 150 square feet of open space shall be provided for each residential unit. This square footage may either be common or private open space. For purposes of this section, open space shall mean an area that is designed and intended to be used for active and passive recreation including common recreation space shared between parcels. Parking areas, access aisles, and driveways shall not qualify as usable open space.



### 3.13.1.1 Common Recreation Space

Common recreation space shall be provided for the residential area. This space will be shared between parcels and shall include at least **three** of the following:

- A clubhouse, a swimming pool, outdoor cooking facility, or other recreational amenities.



**Figure 3.20: Conceptual Common Recreation Space**



### 3.13.1.2 Pedestrian Access

Paseo connections shall be included to provide safe and convenient access between the visitor- and resident-serving uses, residential developments and the adjacent streets. Pedestrian amenities such as seating, decorative and safety lighting, planters, fountains, drinking fountains, distinctive paving, decorative tiles, public art, landscaping, and bicycle racks are permitted in paseos. The following additional elements shall be considered in a paseo:

- Pedestrian links shall be provided between buildings and public open spaces, and should be visually emphasized through the use of landscaping or trellis features, lighting, walls, and/or distinctive paving;
- Public outdoor spaces shall be a part of an interconnected pedestrian system throughout the development and adjacent land uses;
- Each paseo shall have a minimum four-foot wide ADA compliant walkway and path of travel with sufficient clear space to allow for appropriate landscaping, benches, outdoor dining opportunities (when adjacent to the Lodge, Guesthouse or local serving retail);
- Paseos shall be open to the sky;
- Incorporate at least one focal point such as an architectural structure, public art, landscape features, and low-water using water features, potted plants, arbor elements, trellises, art features or other landscape related items that would provide a focal element;
- Provide safe passage by avoiding configurations that allow for concealment or blind spots hidden from public view;
- Denote paseo entrances with a combination of enhanced paving, pilasters, low walls, and/or overhead structures;
- Provide lighting and low-level landscape for pedestrian visibility; and
- Include directional/wayfinding signs.





## 3.14 Public Art

Appropriate artwork in various mediums adds to the character, culture and enjoyment of a community. Public art will be included in the CV, OS-P and residential planning areas. The objective of the public art program in this specific plan is to incorporate art forms including, but not limited to, sculpture, mosaics, murals, photography and ceramics into the design of community elements such as parks, public plazas, common areas within the residential areas and in the Lodge.

- The following are the regulations governing the incorporation of art elements into the planning areas:
- Each planning area within the specific plan (except the CC area) must include an art element into the project design (i.e. Magnolia Park, Marsh Park, Lodge and common area of residential).
- The artwork, regardless of medium, shall reflect the culture, history and character of the Huntington Beach community with emphasis on natural resources.
- Use of local artists is encouraged.
- The scale of the artwork shall be appropriate for its location within each planning area.
- The artwork shall be integrated into the site design and shall be located within a publicly accessible place within the planning area.
- The art element shall be submitted to the city for approval at the time of site plan or tentative tract map submittal.
- The artwork shall be of artistic quality and be innovative.
- Materials may include, but are not limited to, concrete, stone, tile, metal, wood, glass, paint, ceramic etc.
- Artwork may be either permanent or temporary.
- Advertising shall not be permitted in any public artwork.





# CHAPTER 4:

## INFRASTRUCTURE & SERVICES

### 4.1 Regional Circulation

Regional and interregional roadway access is provided by a system of freeways and arterial streets. The San Diego Freeway (I-405) is the major north-south freeway, traversing the northeastern portion of the City. PCH (SR-1) extends parallel to the coast on the western portion of the City providing access to the cities of Newport Beach and Seal Beach. Beach Boulevard, 0.8 miles to the northwest, has been designated a smart street arterial by the Orange County Transportation Agency (OCTA) with enhanced capacity to provide regional circulation.

Magnolia Street, a Primary Arterial, is a four-lane divided roadway carrying local and regional traffic and provides access to the Specific Plan area. Curbside parking along Magnolia Street is permitted in front of the Specific Plan area.

The General Plan designates Magnolia Street as a minor urban scenic corridor. Views within the coastal zone should be preserved with landscaping and detailing required to reinforce the aesthetic beauty of the area as provided in Magnolia Park.

#### 4.1.1 Multi-Modal Opportunities

##### 4.1.1.1 Transit

OCTA operates bus lines within the City of Huntington Beach. Route 33 with two bus stops adjacent to the site provides service between PCH and the Fullerton Park and Ride. Additional bus routes are located nearby on PCH including Route 1 which provides service between Long Beach and San Clemente and Route 178 which provides service from Huntington Beach through Costa Mesa to Irvine along Adams Avenue. The Goldenwest Transit Center is located near Beach Boulevard and McFadden Avenue approximately 7.9 miles from the site. Bus shelters will be provided along Magnolia Street at the two current stops adjacent to the specific plan area.



### 4.1.1.2 Regional Pedestrian and Bicycle Circulation

Bicyclists are accommodated throughout the City with Class II on-street striped lanes including on Magnolia Street. The California Coastal trail is an additional off-road bicycle lane provided along the beach. The coastal trail can be accessed from the Specific Plan area via Magnolia Street. Sidewalks along streets provide pedestrian access. Refer to Figure 4.1: Regional Pedestrian and Bicycle Circulation Plan.



## 4.2 Circulation

There will be two points of ingress/egress to the Specific Plan area. One will be located at the intersection of Magnolia Street and Banning Avenue. The other entry point is located directly across from Bermuda Drive. The Magnolia and Banning intersection is signalized. The site has been designed with an interconnected pattern of streets and walkways, promoting connectivity and walkability. The development area will not be gated, allowing full access to the public. All access ways shall be free and clear of any and all structures including, but not limited to, utility devices.

The internal circulation network is provided through private streets (i.e. streets are privately maintained by an HOA and open to the public) with multiple connections for pedestrians and vehicles. All wet and dry utilities are located within these private streets. The exact location of the loop circulation system and the location of on street parking may be adjusted during the design review process.

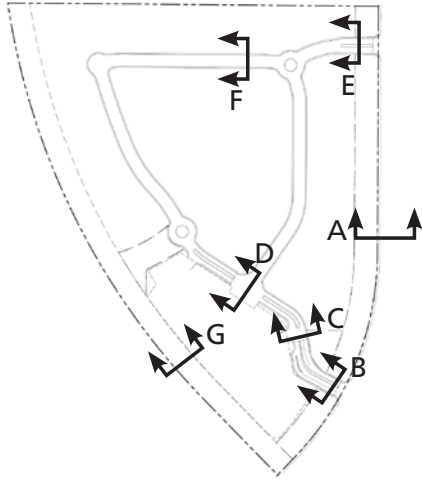




**Figure 4.1: Regional Pedestrian and Bicycle Circulation Plan**



### Section Location Map



### 4.2.1 Magnolia Street

Existing Magnolia Street adjacent to the Specific Plan area is a four-lane road with parallel parking and a contiguous on-street bicycle lane and is designated as a Primary Arterial Street with a Minor Scenic Corridor identification. Refer to Figure 4.2: Magnolia Street Section A. Magnolia Street includes the following:

- Retention of existing on-street parking capacity;
- Retention of a four-way signalized intersection at Banning Avenue; and
- A public park located adjacent to the street.

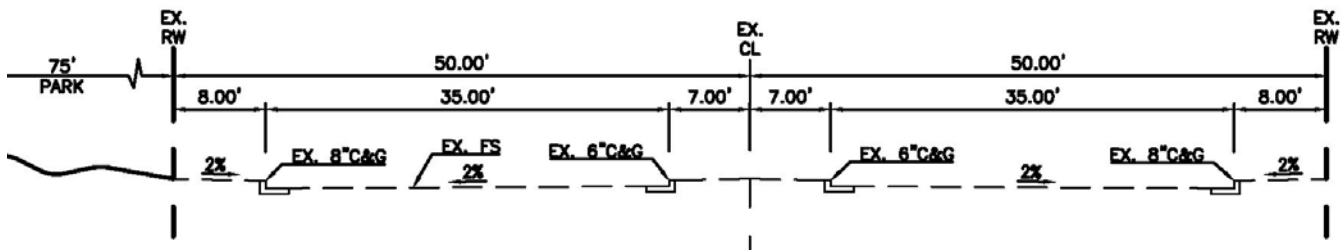


Figure 4.2: Magnolia Street Section A

### 4.2.2 Private Streets

The backbone circulation system is a loop road that provides access to both the visitor commercial and the residential area. The entry to the Lodge is north of the Banning Avenue intersection. The entry at Banning includes a landscaped median, a minimum five-foot curb adjacent sidewalk and a minimum of five feet of landscape on the Lodge side, and a minimum five-foot curb adjacent sidewalk with a minimum of four feet of landscape on the residential side. The entry radii from Magnolia is 35 feet and the entry radii into the drop off area is 20 feet. Refer to Figure 4.3: Lodge Entry Road Section B, Figure 4.4: Lodge Entry Road at the Lodge Drop-Off Section C and Figure 4.5: Lodge Entry Road Section D.



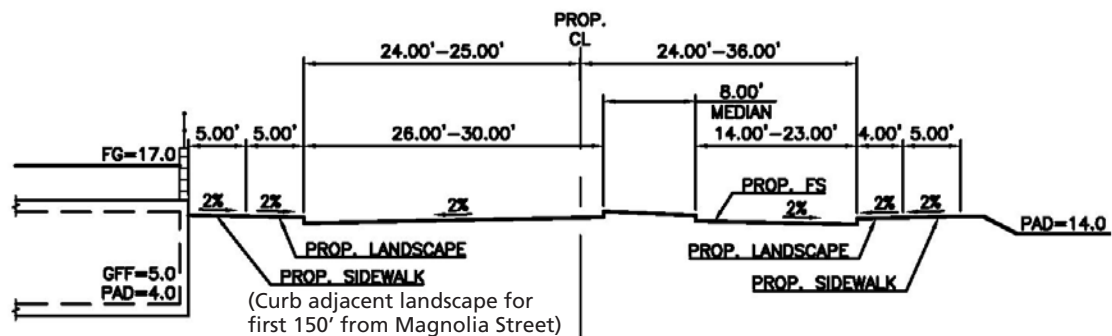


Figure 4.3: Lodge Entry Road Section B

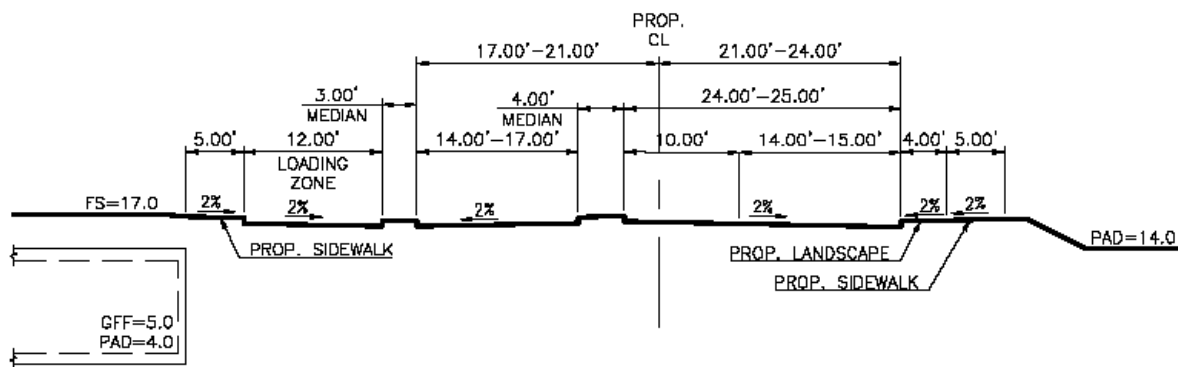


Figure 4.4: Lodge Entry Road at the Lodge Drop-Off Section C

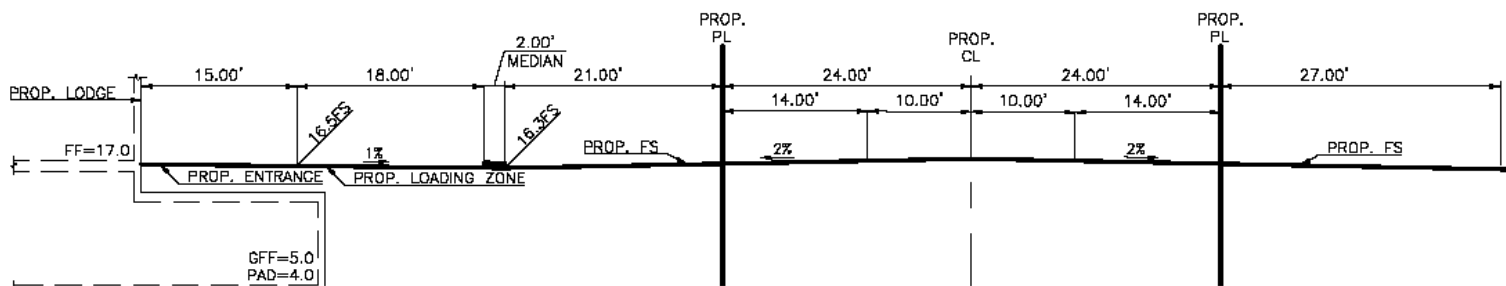
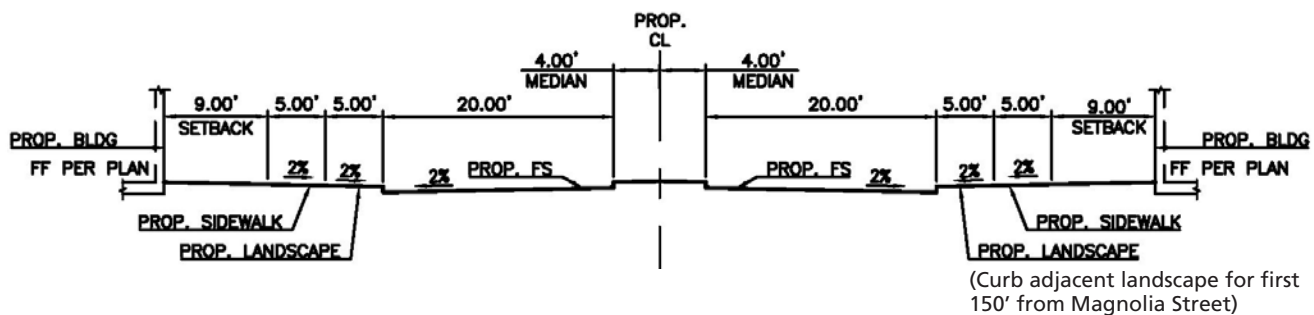


Figure 4.5: Lodge Entry Road Section D



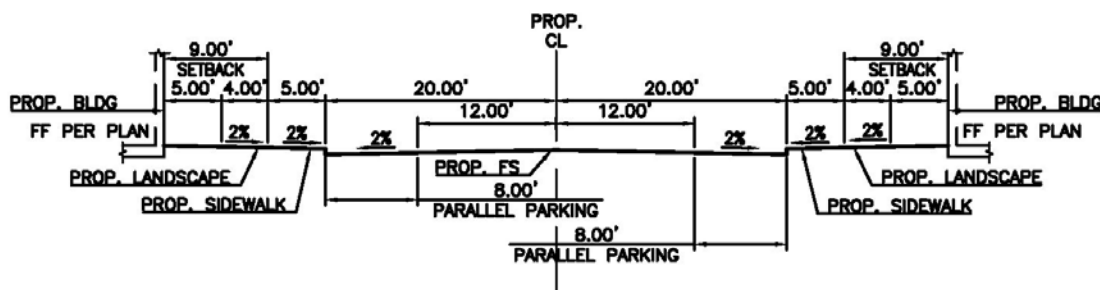
The residential entry road at Bermuda has a minimum eight-foot wide landscaped median with a minimum five-foot wide sidewalk on both sides with a minimum five feet of continuous landscape; refer to Figure 4.6: Residential Entry Road Section E. The curb radius to enter the Specific Plan area from Magnolia is 35 feet.



**Figure 4.6: Residential Entry Road Section E**

The residential private road includes minimum 5-foot wide sidewalks, and minimum 4-foot wide continuous landscape within a minimum 9-foot building setback. Refer to Figure 4.7: Typical Private Road Section with Parking on Both Sides Section F. All private roads shall meet the following criteria:

- Sidewalks per public works standard plans;
- Provide adequate areas for maneuvering, stacking of vehicles and emergency vehicle access;
- The loop road is privately maintained and open to the public; and
- Gates, guardhouses and guards are prohibited on the loop road.



**Figure 4.7: Typical Private Road Section with Parking on Both Sides Section F**



**4.2.3 Roundabouts and Knuckles**

The loop road provides traffic calming measures, such as roundabouts, knuckles, on-street parking, etc. to reduce traffic speeds and increase safety. Refer to Figure 4.8: Typical Roundabout and Figure 4.9: Typical Street Knuckle. All roundabouts and knuckles will be sized to comply with the width and turning radii stated in the Huntington Beach Fire Department City Specification #401.

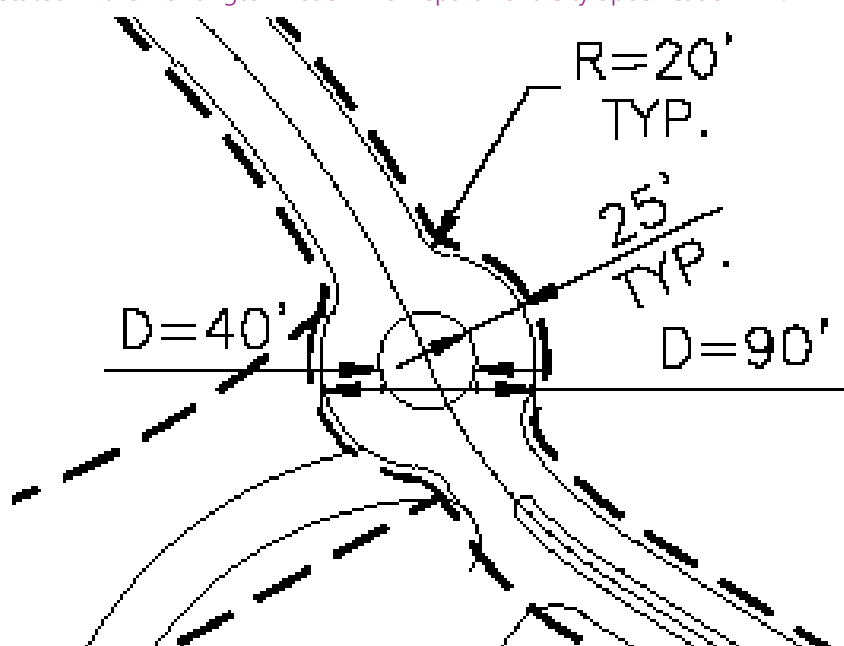


Figure 4.8: Typical Roundabout

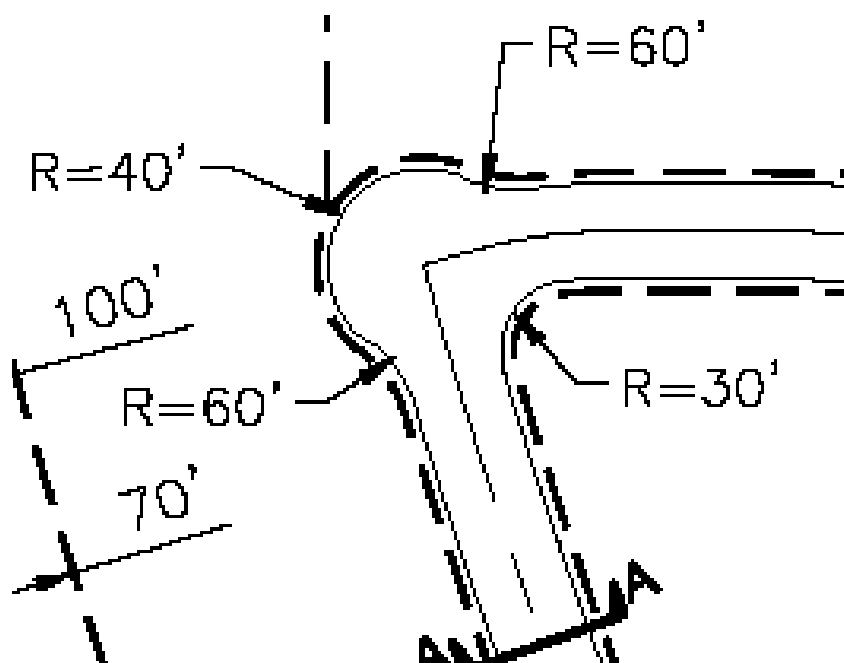


Figure 4.9: Typical Street Knuckle



### 4.2.4 Fire Access

The circulation system throughout the development will consist of a loop road and vehicular drive aisles varying in width for access to individual residential projects. The internal backbone roads will consist of a 40-foot dimension from curb to curb (with parking on both sides). There will be additional internal private drive aisles with a minimum 24-foot dimension for access to each unit. The fire access roads shall meet the California Fire Code Section 503.1.1 and City of Huntington Beach Fire Department Specification No. 401 requirements for location, width and turning radii. Refer to Figure 4.10: Typical Fire Access Cross Section at Lodge Section G and Figure 4.11: Conceptual Fire Access Exhibit for illustration.

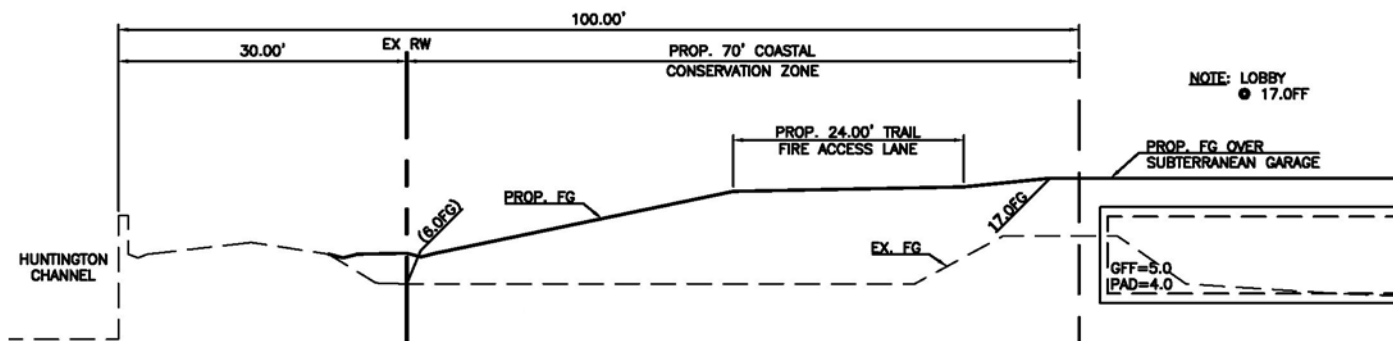


Figure 4.10: Typical Fire Access Cross Section at Lodge Section G



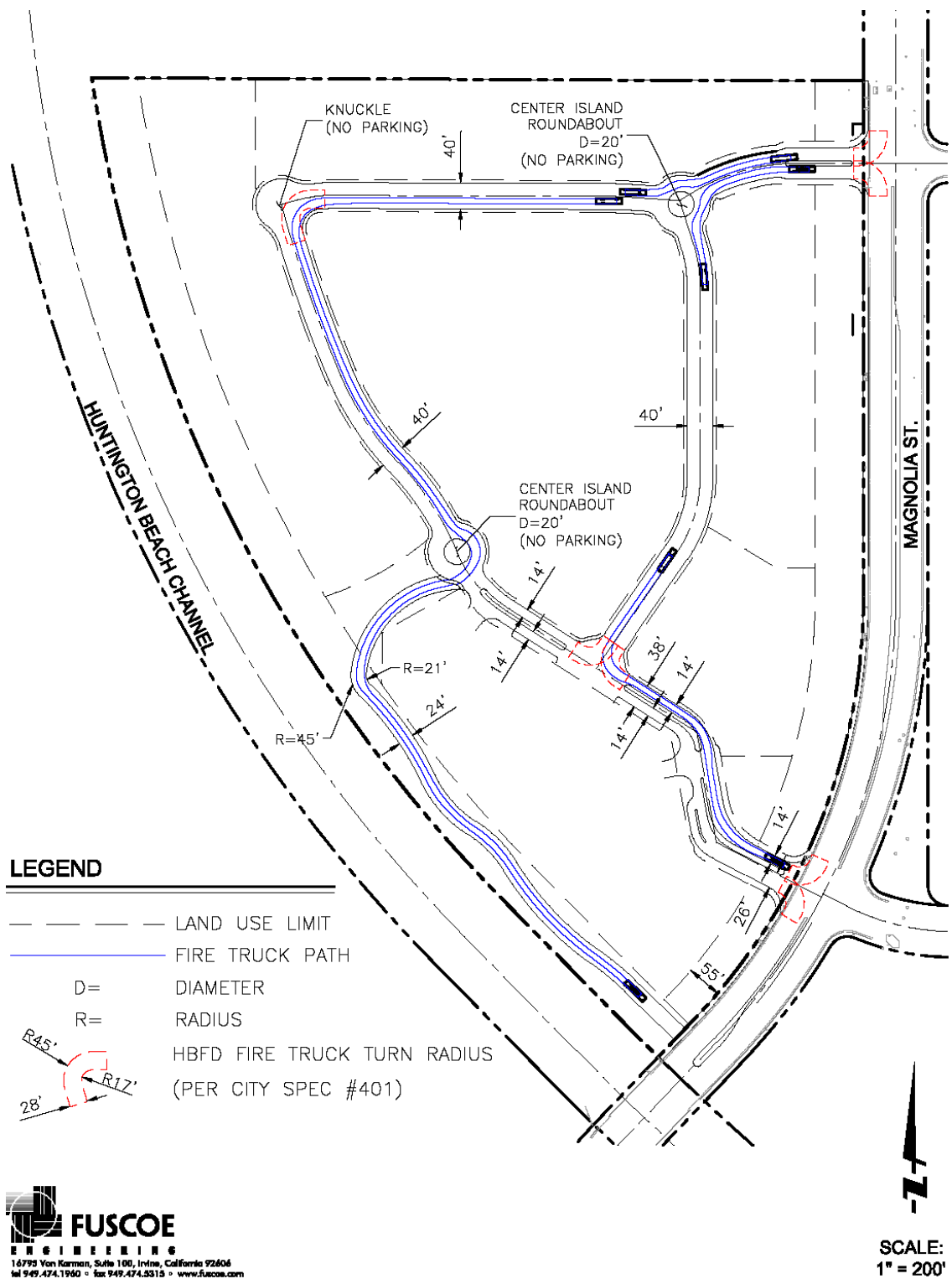


Figure 4.11: Conceptual Fire Access Exhibit

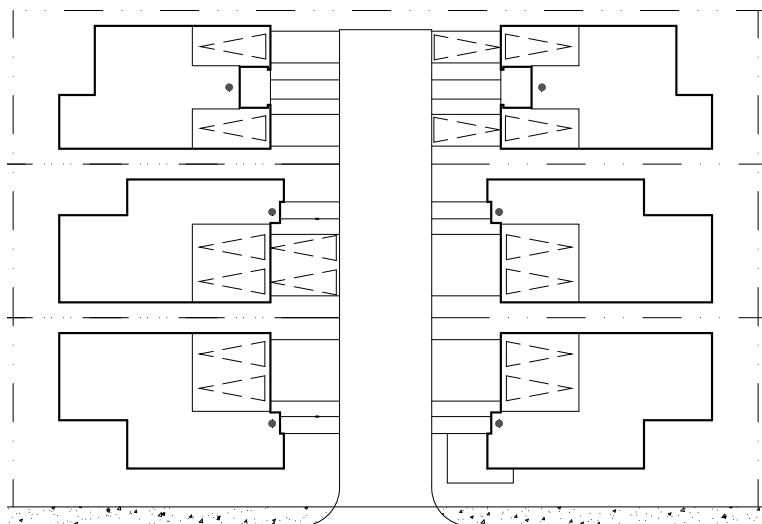


### 4.2.5 Private Alleys

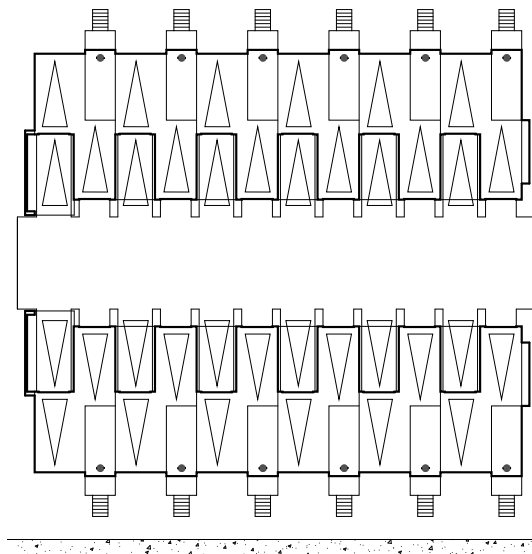
Private drive aisles provide direct access to individual garages. When used as a Fire Access lane, Private Alleys shall comply with all California Fire Code and Huntington Beach Fire Department access requirements including turnaround requirements. Refer to Figure 4.12: Typical Private Aisle Plans.

Features include the following:

- Front doors can face the drive aisle;
- Garages shall be separated to ensure adequate maneuvering space; and
- Either a rolled 0-inch curb or vertical curb are permitted; and
- No encroachments allowed within 24-foot alleys. All additional parking and overhangs must be outside of this width and approved by HBFD and City of Huntington Beach.



Typical Detached Private Drive Aisle Plan



Typical Attached Private Drive Aisle Plan

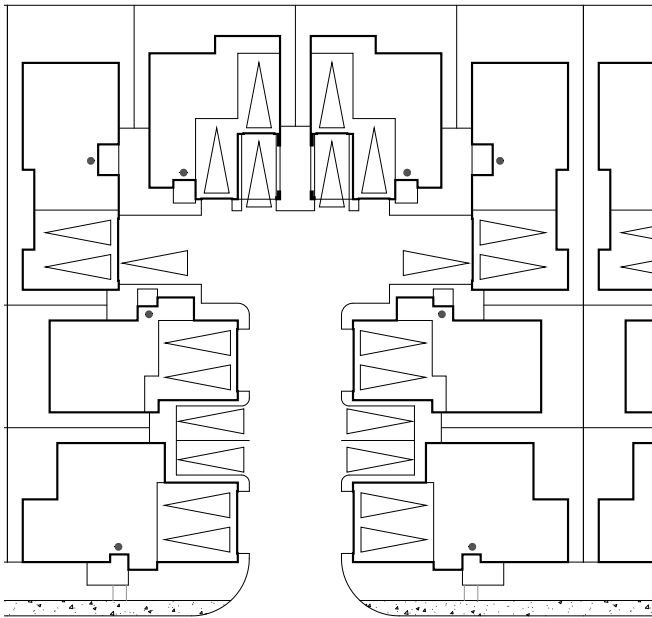
**Figure 4.12: Typical Private Aisle Plans**



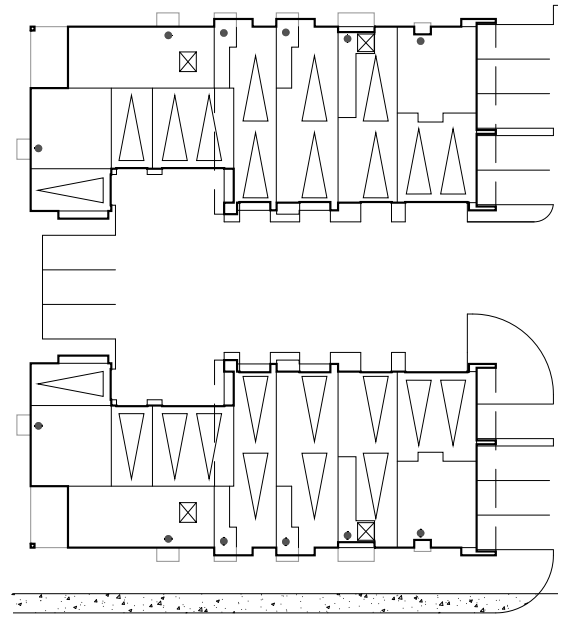
### 4.2.6 Motor Courts

Motorcourts provide direct access to individual garages and front doors. When used as a Fire Access lane, motorcourts shall comply with all California Fire Code and Huntington Beach Fire Department access requirements including turnaround requirements. Refer to Figure 4.13: Typical Motorcourt Plans. Features of motorcourts include the following:

- Front doors can face a motorcourt;
- Garages shall be separated to ensure adequate maneuvering space;
- Either a rolled 0-inch curb or vertical curb are permitted;
- Visual enhancements are encouraged to increase safety; and
- No encroachments allowed within 24-foot alley/motorcourt road widths. All additional parking and overhangs must be outside of this width and approved by HBFD and City of Huntington Beach.



Typical Detached Motorcourt Plan



Typical Attached Motorcourt Plan

**Figure 4.13: Typical Motorcourt Plans**



#### **4.2.7 Bicycle Circulation**

The Specific Plan provides for bicycles through lower speed shared roadways within the community. In addition, there is a Class II bicycle lane on Magnolia Street.

#### **4.2.8 Pedestrian Circulation**

A major focus of the Specific Plan is the pedestrian environment (C 2.2.7). Sidewalks and pathways throughout the community connect to facilitate public access. Clear pedestrian and required ADA path of travel links from the CV uses and the recreational areas will be provided.

There are existing sidewalks along both sides of Magnolia Street. The existing signalized intersection at Magnolia Street and Banning Avenue, provides a pedestrian crosswalk. Additional new pedestrian pathways are provided within Magnolia Park. Pedestrian coastal access across the bridge of the Huntington Beach Channel will be preserved (C 2.2.1).

Pathways will provide additional off-street walkways for pedestrians typically between buildings to provide connectivity through the CV and residential areas. Pathways can be concrete, asphalt or decomposed granite.

### **4.3 Grading**

Under existing conditions, the site is generally low lying, flat and surrounded by a series of berms which requires large stormwater pumps to drain the site. Under the proposed condition, the existing berms will be removed and the site will be raised to allow for a gravity-based storm drain system. The pad elevations of the development and grading design will also take into account future sea level rise scenarios.

Fire/emergency access shall be maintained during project construction phases in compliance with California Fire Code (CFC) Chapter 33, Fire Safety During Construction And Demolition. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. The Huntington Beach Fire Department will not approve any grading plans until the oil wells have been abandoned in accordance with City Specification #422 and the soil quality has shown compliance with City Specification #429 and 431-92.

Containment curtains shall be provided adjacent to construction projects on inland waterways to avoid turbid waters drifting into the ocean (C 6.1.5). Stockpiles of soil, rock or any other graded material shall not exceed six feet in height. No sediment is allowed to leave the site pursuant to the



State's Construction General Permit.

Impervious areas will be reduced to the maximum extent feasible (C 6.1.25).

### 4.4 Drainage

Based on the grading design, the site drainage will be collected within the interior streets and directed towards the northwest corner of the site. Site drainage along Magnolia Street will be collected and directed towards the southern portion of the site. All site drainage within the internal streets will be collected into catch basins. The private catch basins will be located along the curbs and connect to the private underground storm drain system varying in size from 18 to 48 inches. The location and size of the catch basins will be determined during the entitlement process in which a Preliminary Hydrology and Hydraulics Study will be submitted by the Developer to the City for review and approval. Refer to Figure 4.14: Conceptual Storm Water Master Plan. All stormwater flows will be routed to the Huntington Beach Channel. No stormwater detention is required at this time.

Draining directly to the existing Huntington Beach flood channel on the west and southwest of the site appears to be feasible and will be pursued. Proposed private drainage will generally flow in a westerly direction and will connect directly to the flood channel, pending review and approval by the County of Orange Public Works Department. Further design and permitting coordination will need to occur with OCFCD and City of Huntington Beach Public Works to finalize the design and encroachment permit conditions.

#### 4.4.1 Water Quality

The 1972 amendments to the Federal Water Pollution Control Act prohibit the discharge of any pollutant to navigable waters unless the discharge is authorized by a National Pollutant Discharge Elimination System (NPDES) permit. Since 1990, the City of Huntington Beach has been required to develop and implement a storm water management program designed to prevent harmful pollutants from being washed by storm water runoff into the storm drain system and to obtain a NPDES permit. The City's NPDES Permit requires new development to minimize short and long-term impacts on receiving water quality to the maximum extent practicable.

The City's General Plan and LCP include development goals and policies that focus on storm water management, including landscaping policies and requirements, open space goals and policies, preservation or integration with natural features, and water conservation policies. The following policies and goals address storm water management requirements:

- Reduce pollutant runoff from new development and urban runoff to the maximum extent practical (ERC-7E);



- Prohibit development that jeopardizes or diminishes the integrity of sensitive or protected coastal plant and animal communities accounting for expected changes from sea level rise (ERC8C); and
- Enhance and protect water quality of all natural water bodies including rivers, creeks, harbors, wetlands and the ocean (ERC 17).

New developments are required to incorporate a minimum level of storm water management BMPs that will allow for the implementation of innovative, effective, cost effective, multi-beneficial BMPs. Additional water quality BMPs are discussed in the following section.

#### **4.4.2 Water Quality Management**

The water quality features and drainage system will be designed to meet the City and County's requirements for water quality. A preliminary Water Quality Management Plan (WQMP) for the Specific Plan area will be developed for the Environmental Impact Report (EIR) to be reviewed and approved by the City of Huntington Beach. Both the project's storm drain system and the proposed water quality BMPs will be maintained by an HOA. Under the Low Impact Development (LID) BMP hierarchy, development within the Specific Plan must infiltrate, harvest and reuse, evapotranspire, or biofilter, the 85th percentile, 24-hour storm event (Design Capture Volume) depending on site specific features and criteria.

As the Specific Plan area is subject to seawater intrusion into the underlying shallow groundwater table coupled with a thick clay layer, infiltration (or percolation) of stormwater is not feasible. Harvest and reuse is potentially feasible and will be implemented to the maximum extent practicable based on grading, water demands and other site constraints including public health codes. Harvest and reuse LID BMPs capture and store stormwater runoff for later use (i.e. landscape irrigation, evaporative cooling, toilet and urinal flushing, etc.) following public health code requirements. Harvest and reuse BMPs are proposed to capture stormwater from the CV area where stormwater will be re-used for irrigation of common area landscaping throughout the entire site. Depending upon on water demands the Specific Plan area, the harvest and re-use BMPs will likely be combined with biotreatment BMPs (i.e. bioretention with under drains) to ensure the 85th percentile, 24-hour storm event is either stored and reused or treated prior to discharging off-site. Stand-alone biotreatment/bioretention stormwater planters are also proposed for the development adjacent to the parks and common areas to treat flows prior to connection into the Specific Plan area's storm drain system. Design, application and operations of all harvest and re-use components, and biotreatment will be in accordance with all applicable City, County and State codes, laws and regulations.



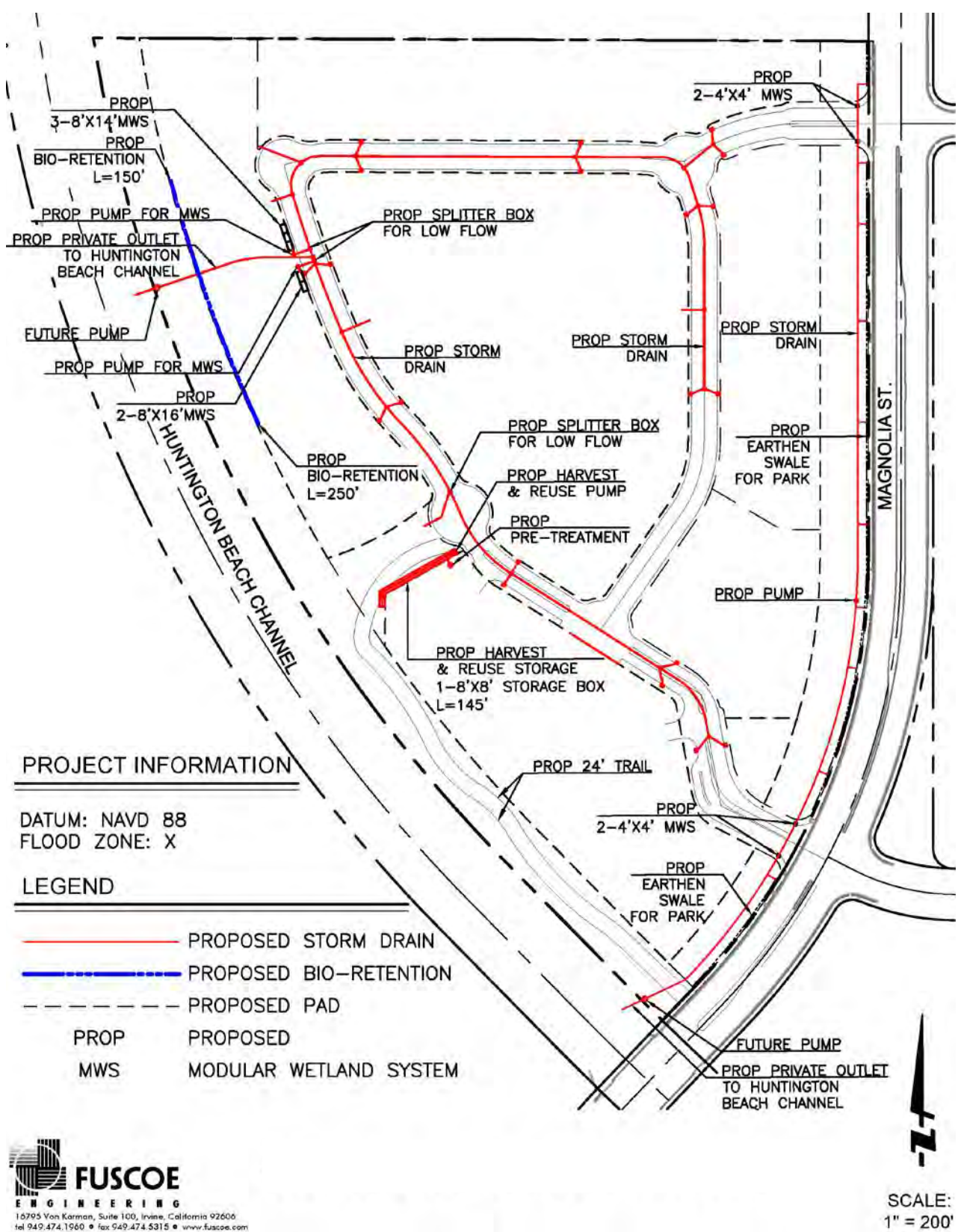


Figure 4.14: Conceptual Storm Water Master Plan



Additionally, because the Specific Plan area is a residential area with mixed use, it qualifies as a Priority Land Use under the Trash Provision adopted by the California State Water Resource Control Board. Under the Trash Provision, the Specific Plan area is required to install full capture devices in catch basins to retain all trash and gross solids larger than 5 mm (e.g., cigarette buds), and proposes to install connector pipe screen (CPS) units (or other certified full capture system) in all catch basins throughout the property.

In addition to long-term water quality management, the proposed project will be required to mitigate the construction-period pollutant runoff by developing a Stormwater Pollution Prevention Plan (SWPPP), which will include construction BMP procedures to control and prevent the entry of pollutants into the storm drain systems and waterways. The proposed project will also apply for coverage under the Waste Discharge Requirements for Discharge of Storm Water Runoff Associated with Construction and Land Disturbances Activities (Order No. 2009-0009-DWQ), i.e., General Construction Permit.

## 4.5 Water

Water for domestic service and fire protection is provided to the Specific Plan area by the City of Huntington Beach. There is an existing 12-inch Asbestos Cement (AC) pipe water main in Magnolia Street, fronting the property. This 12-inch water line currently provides water and fire service to the property and can be utilized for the proposed improvements. However, the developer will be required to provide necessary improvements to existing impacted infrastructure and be responsible for its fair share of associated costs resulting from development activities as identified through the review and approval process.

The existing water pressure in the Specific Plan area is in the 70-75 pounds per square inch (PSI) range. Water pressure and fire flow tests will need to be performed to verify existing pressure and analyzed to ensure proper pressure throughout the development footprint.

The developer will generate water improvement plans that conform to City standards for approval. The public water system is proposed to be publicly maintained and an easement will be provided for access and maintenance by the City of Huntington Beach Public Works Utilities Division.

Backflow protection device locations shall be constructed per the latest Public Works Standards and approved by the Planning Division and Public Works Department.

Proposed water lines will be constructed in locations as depicted on Figure 4.15: Conceptual Domestic Water Master Plan. Final location and size of water lines and appurtenances shall be approved by the Public Works Utilities Division. Hydraulic analysis will be needed for the proposed and adjacent water system network. In addition, fire hydrant locations will be determined during review of water improvement plans. All fire hydrant spacing will comply with the requirements stated in the California Fire Code and City Specification #407.



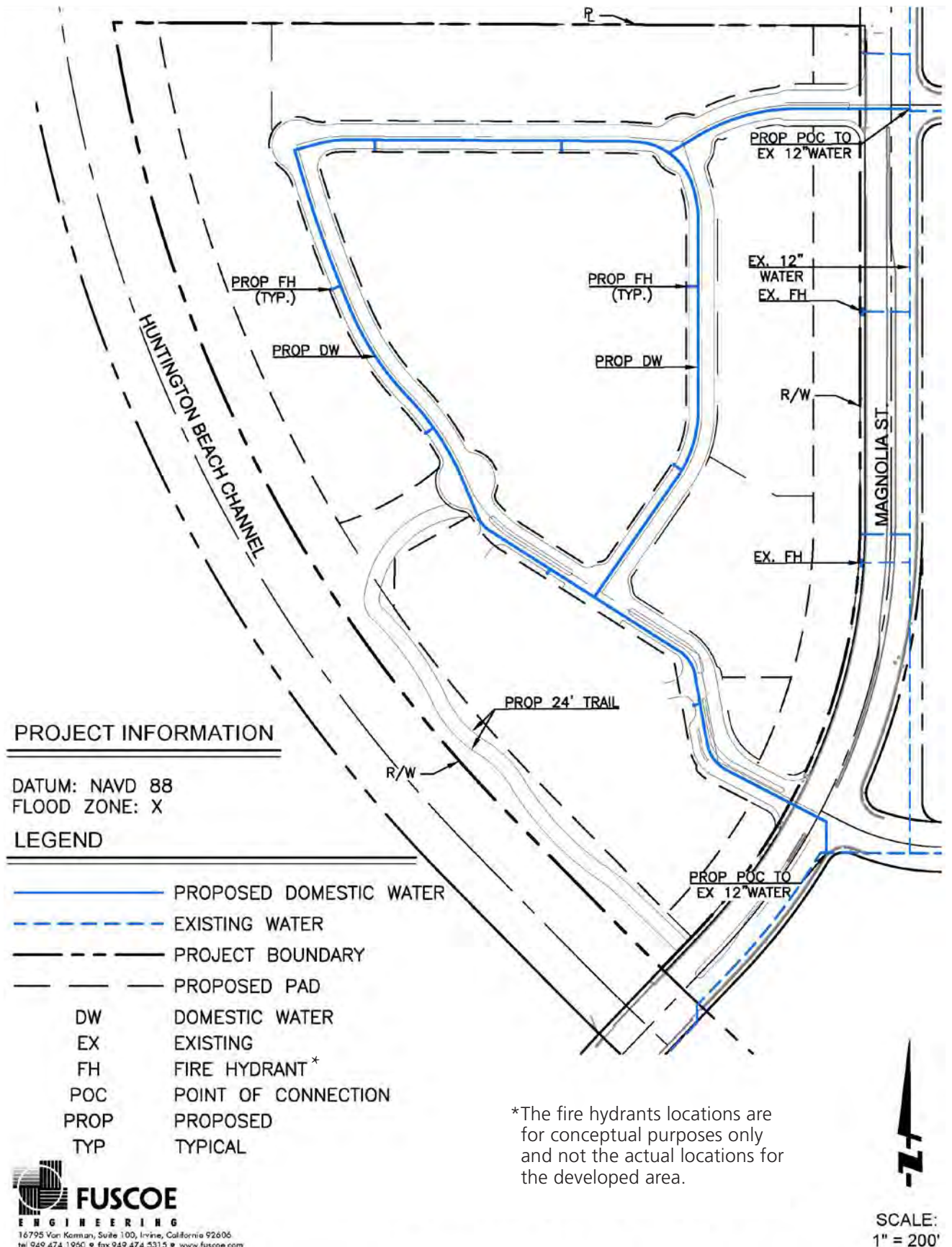


Figure 4.15: Conceptual Domestic Water Master Plan



### 4.6 Sanitary Sewer

Magnolia Street has four sewer mains located beneath the right-of-way. These include an OCSD 78 inch reinforced concrete pipe (RCP) main, a 15-inch vitrified clay pipe (VCP) sewer main, 12-inch RCP sewer main and a 8-inch VCP sewer main. The 15-inch and 12-inch existing sewer main have been abandon per City of Huntington direction.

The Orange County Sanitation District's (OCSD) 78-inch sewer main is located along the centerline of Magnolia Street approximately nine feet deep. The City of Huntington Beach's 8-inch sewer main starts at the corner of Magnolia Street and Banning Avenue and runs north 132 feet and ends at a manhole. This pipe is approximately 11 feet deep and is not viable to use for a new connection.

The proposed project sewer will be divided into two sewer main systems. The sewer serving CV uses will connect to an existing City of Huntington Beach Sewer manhole at the corner of Magnolia and Banning. The existing sewer manhole has an existing 8-inch sewer lateral into the 78-inch OCSD sewer trunk sewer. The sewer serving the residential uses will connect to City of Huntington Beach sewer junction structure which has existing 36-inch sewer lateral into the existing 78-inch OCSD sewer trunk system. Refer to Figure 4.16: Conceptual Sewer Master Plan.

A sewer study shall be prepared and submitted to the Public Works Department for review and approval. The sanitary sewer system shall be designed and constructed to serve the development, including any off-site improvements necessary to accommodate any increased flow associated with the project.

### 4.7 Emergency Services

The Specific Plan area will be served by the City of Huntington Beach Fire Department. The Specific Plan complies with all fire department access requirements. The nearest Fire Station, Station 4, is located 0.3 miles from the site at 21441 Magnolia Street in Huntington Beach. Fire access roads shall comply with all codes and standards that are applicable at the time construction documents are submitted to the City.

Law enforcement services are provided by the Huntington Beach Police Department that includes one central police station and four substations; the nearest substation to the Specific Plan area is located at 204 Fifth Street in downtown Huntington Beach.



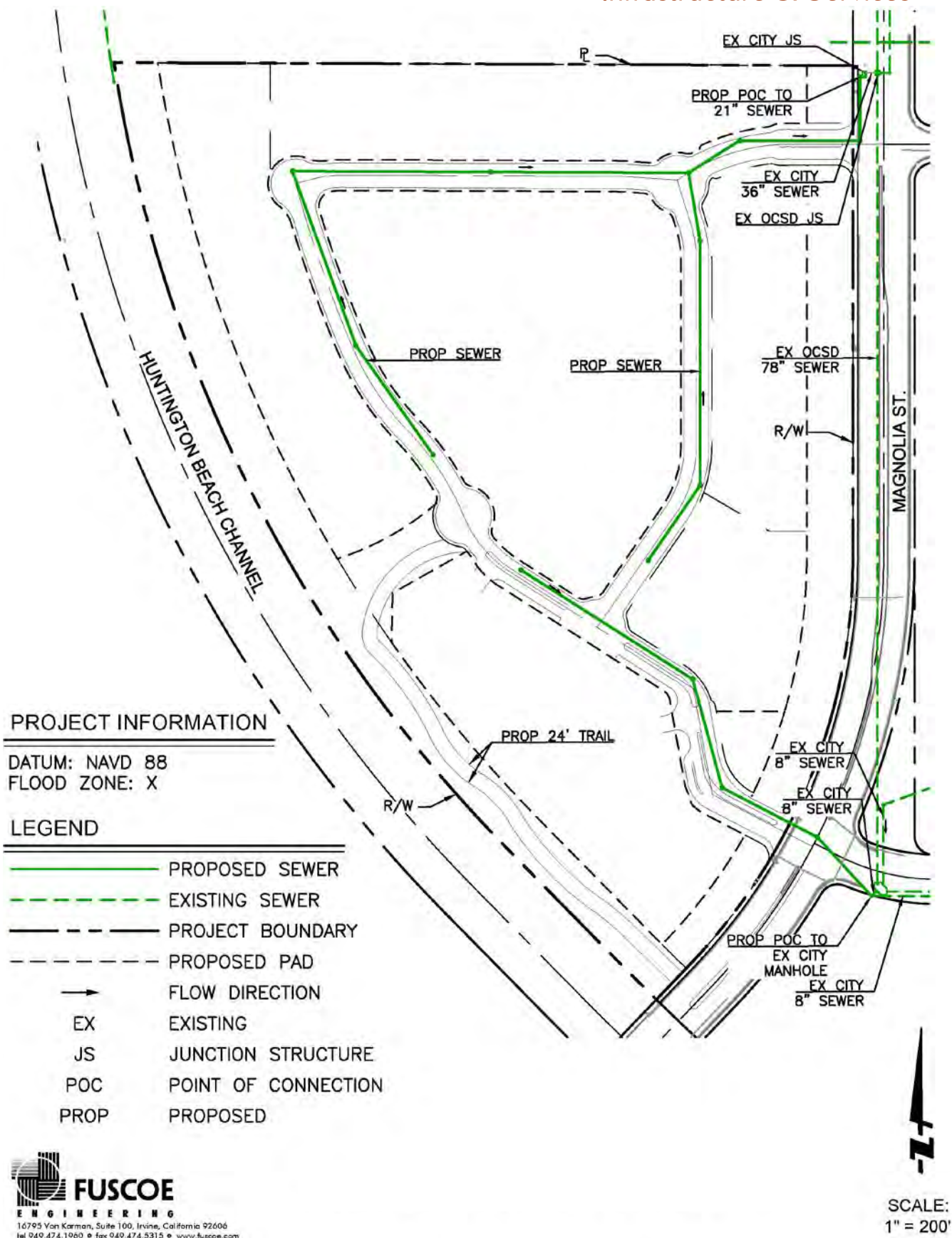


Figure 4.16: Conceptual Sewer Master Plan

## 4.8 Utilities

The design and configuration of dry (power and communications) and wet (water, gas and sewer) utilities need to take into account both project functional and aesthetic needs, particularly with respect to street landscape and view protection and enhancement. These conceptual plans will guide later detailed utilities design and landscape architecture.

Southern California Edison (SCE) provides electricity to the site. There are overhead 33 kV electrical transmission lines and 12kV electrical distribution lines along the project's Magnolia Street frontage and along the northerly boundary of the property adjacent to the ASCON landfill. Said overhead lines connect to similar lines across the OCFCD channel at the AES Generating Facility to the west of the property.

All existing overhead utility lines, including but not limited to 33kV electrical transmission lines, 12kV electrical distribution lines, cable TV lines, telecommunication lines and fiber optic lines, shall be placed underground, pursuant to the City's Zoning and Subdivision Ordinance (ZSO 255.04.G) The existing 33 kV overhead transmission line at the ASCON boundary will be relocated and placed underground (with review and approval by the City and SCE) in the Bermuda Street right-of way extension. New vaults shall also be placed in the paved portion of the right-of-way. All of the aforementioned undergrounding shall be performed at no cost to the City.

Southern California Gas Company provides natural gas service to the site. Although not yet designed, gas regulators will be placed within common areas. However, individual gas meters will be placed on the sides of the buildings.

The cable service franchisee in the Specific plan area is currently Time Warner Cable; if permitted other cable companies may provide service. Phone service to the Specific Plan area is currently provided by Verizon. No changes are proposed to the existing cable and phone service systems.

All new and existing public and private utility lines and distribution facilities, on both the street and alley frontages, including but not limited to electric, communications, street lighting, and cable television lines, shall be installed underground, except that surface-mounted transformers, pedestal-mounted terminal boxes, meter cabinets, and other equipment appurtenant to underground facilities located on private property or installed pursuant to a franchise or other agreement are permitted above ground subject to compliance with the HBZSO.



### 4.9 Solid Waste Disposal

Solid waste from the Specific Plan area is collected by Republic Services, the City's current franchisee, and brought to the transfer station at 17121 Nichols Lane in Huntington Beach. At this waste transfer station, all waste is thoroughly sorted both mechanically and manually. Materials that cannot be salvaged for reuse are sent to the Frank R. Bowerman Landfill in Irvine. Permitted capacity for the landfill is limited to 8,500 tons per day. Trucks are diverted to one of the other two landfills in the County if the per day capacity is reached at the Bowerman Landfill. The 725-acre facility opened in 1990 and is planned for closure in 2053, based on permitted maximum daily use.

During the construction phase, all construction will comply with the CalGreen Code through recycling and reuse of at least 65 percent of the nonhazardous construction debris from the site.

### 4.10 Schools

The Specific Plan area is located in two school districts, the Huntington Beach Union High School District and the Huntington Beach City School District. The nearest High School, Edison High School is located 0.3 miles north of the site. The closest Junior High is Isaac Sowers Middle School located 1.6 miles north of the site and the closest elementary school is John H. Eader Elementary School located 0.4 miles east of the site.

Applicable school fees will be paid at the time of building permit issuance.

### 4.11 Phasing, Financing and Maintenance of Improvements

It is anticipated that Specific Plan development construction will commence in 2020 with build out occurring in 2026. Rough grading of the entire site – including water quality BMPs – will occur first. Figure 4.17 Development Phasing Plan shows the three construction phases of the Specific Plan area. The Lodge, Magnolia Park, Marsh Park and the Coastal Conservation Area (including the public trail) up to the northern edge of Marsh Park are in the first phase of construction. The first phase also encompasses the residential development area closest to Magnolia Street. To ensure that the public park improvements are constructed and open for public use in a timely manner, the public park improvements – Magnolia Park, Marsh Park and the public trail in the Coastal Conservation area - shall be completed and open to the public prior to the issuance of the first certificate of occupancy for a residential unit in Planning Area 3.



Since the Lodge and its associated visitor serving uses in the CV Planning Area are essential components in satisfying the policy objectives in city's Local Coastal Program, it shall be constructed in the first phase of development. Given the extended construction schedule for a facility of this size - anticipated to be two and a half to three years from the start of site preparation - the Lodge shall be open to the public prior to the issuance of the 175th certificate of occupancy for a residential unit in Planning Area 3. This requirement applies to both market rate and affordable accommodations at the Lodge.

Financing and construction of the backbone infrastructure – loop road, storm drain, water, wastewater, dry utilities – is the responsibility of the developer. These improvements will be constructed in phases consistent with Figure 4.17. Financing of these improvements could occur through a Community Facilities District (CFD) established pursuant to the Mello - Roos Community Facilities District Act of 1982.

Residential construction will include multiple phases within each neighborhood. Building starts will be based on the pace of home sales and market conditions at that time with the final number of phases to be determined accordingly.

Table 4.1 establishes the responsibilities for construction, financing and maintenance of public and private improvements within the Specific Plan area. It is anticipated that the developer will form a master Property Owner Association (POA) to maintain the larger common areas within the Specific Plan area (e.g. Coastal Conservation area, community entries, Magnolia Park etc.). Each individual neighborhood may also have a Homeowners Association (HOA) to maintain common areas within the neighborhood.

*Table 4.1: Financing and Maintenance Plan*

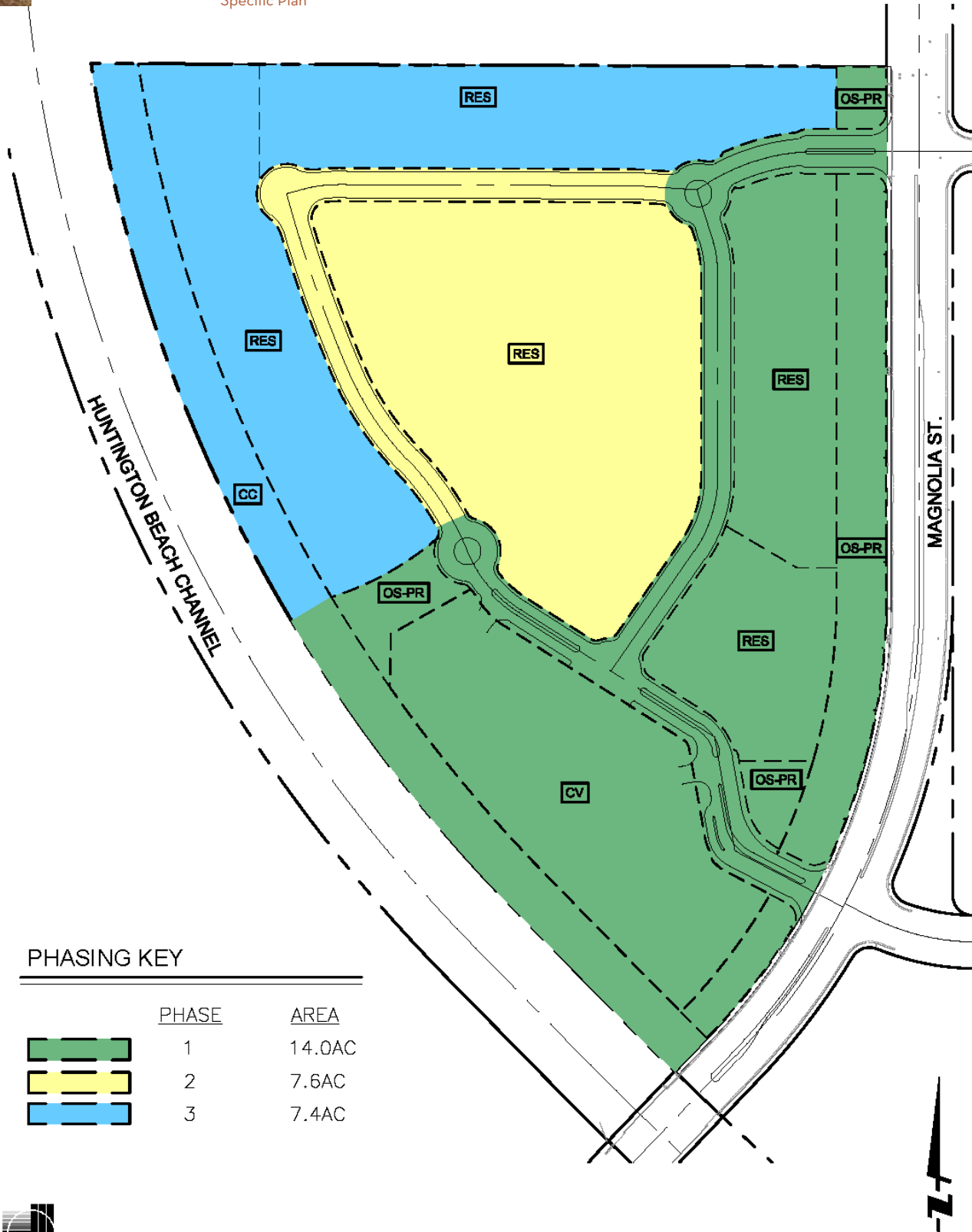
Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Maintaining
<b>Common Facilities</b>			
Private Streets and Sidewalks	Master Developer	Master Developer	Home Owners Association(HOA)/Property Owners Association (POA)
Community Walls/Fences	Master Developer	Master Developer	HOA/POA
Storm Drainage Facilities	Master Developer	Master Developer	HOA/POA
Water Facilities	Master Developer	Master Developer	City
Sewer	Master Developer	Master Developer	City
Parks/Open Spaces	Master Developer	Master Developer	HOA
CC Area	Master Developer	Master Developer	HOA
<b>Non-Residential</b>			
Landscape Setbacks	Builder	Builder	Property Owner/POA
Parking Lots	Builder	Builder	Property Owner/POA
Walls	Builder	Builder	Property Owner/POA
<b>Residential</b>			
Common Area & Landscaping Improvements	Developer/Builder	Developer/Builder	HOA
Walls/Fences	Developer/Builder	Developer/Builder	HOA
Private Front Yard Patio	Builder	Builder	Homeowner
Private Backyards	Homeowner	Homeowner	Homeowner







# Magnolia TANK FARM

Specific Plan



## PHASING KEY

	PHASE	AREA
	1	14.0AC
	2	7.6AC
	3	7.4AC



SCALE:  
1" = 200'

# APPENDIX A:

## LEGAL DESCRIPTION

The land referred to in this policy is situated in the County of Orange, State of California, and is described as follows:

### **Parcel 1: (A.P.N. 114-150-36)**

That portion of the southeast quarter of the southeast quarter of Section 13, Township 6 South, Range 11 West, San Bernardino Base and Meridian, in the Rancho Las Bolsas, in the City of Huntington Beach, County of Orange, State of California, as shown on a map recorded in Book 51 page 14 of miscellaneous maps, in the office of the County Recorder of said County, lying easterly of the easterly line of that certain strip of land 145.00 feet wide, described and designated as Parcel D1-104 in the final order of condemnation had in Case No. 80955 of the Superior Court of the State of California, in and for the County of Orange, a certified copy of which was recorded September 8, 1961 in Book 5842 page 7 of Official Records.

Except therefrom the "severed property" as described in Part B of the Grant Deed from the Southern California Edison Company, a corporation, recorded August 4, 2003 as Instrument No. 2003000931976 of Official Records.

Also excepting therefrom: "All oil, gas, petroleum and other mineral or hydrocarbon substances in and under or which may be produced from that certain portion of the hereinabove described as Parcels 1 and 2 together with the right to use those portions only of said lands which underlie a plane parallel to and five hundred (500) feet below the present surface of said lands, for the purpose of prospecting for, developing and/or extracting said oil, gas, petroleum and other mineral or hydrocarbon substances from said lands by means of wells drilled into said subsurface of said land from drill sites located on other land, it being expressly understood and agreed that said grantor, their successors and assigns, shall have no right to enter upon the surface of said lands or to use said lands or any portion thereof to said depth of five hundred (500) feet, for any purpose whatsoever", as reserved in the Deed from Dorothy Constance Smith recorded July 30, 1962 in Book 6194 page 470 of Official Records.

**Parcel 2: (A.P.N. 114-481-32)**

That portion of the northeast quarter of fractional Section 24, Township 6 South, Range 11 West, San Bernardino Base and Meridian, in the Rancho Las Bolsas, in the City of Huntington Beach, County of Orange, State of California, as shown on a map recorded in Book 51 page 14, in the office of the County Recorder of said County, described as follows:

Beginning at the intersection of the northerly line of said fractional Section 24 with the northeasterly right of way line of the Orange County Flood Control District's "Huntington Beach Channel" as described in the final order of condemnation recorded in Book 5591 page 500, et seq. of Official Records in the office of the County Recorder of said County; thence north 89° 32' 40" east along said northerly line of fractional Section 24 a distance of 360.17 feet to the southwesterly corner of that certain real property described and designated as "Parcel Two" in that certain road easement to the City of Huntington Beach recorded October 13, 1967 in Book 8418 page 439 of said Official Records, said southwesterly corner being also a point in a curve concave to the northwest having a radius of 950.00 feet from which point a radial line of said curve bears north 57° 33' 35" west; thence southwesterly along said curve through a central angle of 10° 37' 14" an arc distance of 176.10 feet; thence tangent to said last mentioned curve 80.37 feet to a point in a curve in said northeasterly right of way line of the Orange County Flood Control District's "Huntington Beach Channel", said last mentioned curve being concave to the northeast and having a radius of 4,717.50 feet from which point a radial line of said curve bears north 43° 40' 03" east; thence northwesterly along said last mentioned curve, through a central angle of 01° 10' 00" an arc distance of 96.06 feet; thence tangent to said curve north 45° 09' 57" west 181.36 feet to the point of beginning.

Except therefrom the "Severed Property" as described in Part B of the Grant Deed from the Southern California Edison Company, a corporation, recorded August 4, 2003 as Instrument No. 2003000931976 of Official Records.

**Basis of Bearing:**

Bearings shown hereon are based upon the centerline of Magnolia Street being north 00° 17' 10" west as shown on Record of Survey 2005-1075 filed in Book 232 pages 1-10, of Records of Survey, Records of Orange County, California.



# APPENDIX B:

## COASTAL HAZARDS

A major factor influencing the future use of the site is the issue of sea level rise (SLR). Given the site's low elevation, proximity to the ocean and Magnolia Marsh, addressing the future effects of SLR up to year 2100, has been a major consideration in formulating a land use plan and design features to comply with the *California Sea-Level Rise (SLR) Guidance: 2018* prepared by the Ocean Protection Council (OPC) and California Natural Resources Agency (CNRA) and the CCC guidance titled, *California Coastal Commission Sea Level Rise Policy Guidance, Interpretive Guidelines for Addressing Sea Level Rise in Local Coastal Programs and Coastal Development Permits* on August 12, 2015. Based on information in the 2018 document, mean sea level along the southern California coast is projected to rise up to between 2.1 and 9.9 feet by the year 2100 depending on three scenarios: Low Risk, Medium-High Risk and Extreme Risk. The medium-high risk aversion SLR projections using the low emissions scenario were selected to assess the vulnerability of the proposed development to coastal hazards in the future with SLR. SLR could potentially lead to increased tidal inundation, coastal erosion, and saltwater intrusion as well as increased flooding during coastal storms (high waves during high tide conditions), fluvial storms (river floods), and tsunamis. A SLR vulnerability assessment based primarily on guidance recommendations provided in the 2018 State SLR Policy Update was prepared for the project and a SLR adaptation plan based primarily on recommendations in the 2015 CCC SLR Policy guidance was then developed to address the potential vulnerabilities. A summary of the SLR vulnerability assessment and adaptation plan is provided below.

### 1. Potential Sea Levels

The closest National Oceanic and Atmospheric Administration (NOAA) tide gauge station is the Los Angeles Harbor Station (NOAA Station 9410660), which is located approximately 17 miles away. The low risk aversion, medium-high risk aversion, and extreme risk aversion SLR projections for this location from Year 2025 to Year 2100 are presented in Table 1: Sea Level Rise Projections for Los Angeles, California.



*Table 1: Sea Level Rise Projections for Los Angeles, California*

<b>Time Period*</b>	<b>Low Risk Aversion (Feet)</b>	<b>Medium-High Risk Aversion (Feet)</b>	<b>Extreme Risk Aversion (Feet)</b>
By 2030	0.5	0.7	1.0
By 2040	0.7	1.2	1.7
By 2050	1.0	1.8	2.6
By 2060	1.1/1.3**	2.2/2.5**	3.7
By 2070	1.3/1.7**	2.9/3.3**	5.0
By 2080	1.6/2.2**	3.6/4.3**	6.4
By 2090	1.8/2.7**	4.5/5.3**	8.0
By 2100	2.1/3.2**	5.4/6.7**	9.9

Source: Everest International Consultants and (CNRA & OPC) 2018

\*Baseline is year 2000

\*\* Low emissions scenario/high emissions scenario

There would be low to medium consequences to the Specific Plan area and surroundings if sea-level rise were underestimated. Flood damages and economic impacts to the residential and commercial properties would be limited to the Specific Plan area. Development would be moderately adaptive to sea-level rise in the future with both protection and accommodation adaptation measures available for implementation as part of initial project construction as well as part of future projects (e.g., floodwall elevation increase) and/or operational solutions (e.g., deployment of measures in advance of storms). Consequently, the medium-high risk aversion SLR projections were selected to assess the vulnerability of the development to future sea-level rise.

## 2 Flood Control Channel

The flood control channel along the southwesterly boundary of the site includes a channel wall (floodwall) with a crest elevation at approximately +13 feet (NAVD88). The City of Huntington Beach, along with the County of Orange and the US Army Corps of Engineers is responsible for their owned and operated infrastructure. It is possible that over the lifetime of the Specific Plan development, capital flood control improvement projects would be implemented to reduce SLR impacts for the thousands of residents potentially impacted within the region. This particular channel is owned by the County of Orange, so raising the floodwall would be the responsibility of the County of Orange. If such future work was not conducted by these organizations, then a small floodwall or earthen berm could be constructed along the southwesterly boundary in the future to address potential flooding resulting from overtopping of the floodwall. The potential for saltwater

to back up into the storm drain system during high tide conditions could be addressed through the addition of tide gates that would limit the ability of water to flow from the flood control channel to the Specific Plan area during high tide conditions.

### 3 Tidal Inundation

As long as there are no hydraulic connections between the site and flood control channel the site would not be expected to be inundated by typical high tides between now and the year 2100.

### 4 Coastal Erosion

The U.S. Geological Survey (USGS) has developed a numerical modeling system capable of simulating various coastal hazards under existing mean sea level and future mean sea level conditions (i.e., with SLR projections). This modeling system, known as the Coastal Storm Modeling System or CoSMoS (Version 3.0, Phase 2). CoSMoS results for the SLR scenarios mentioned above were accessed in map format from the Our Coast, Our Future website for coastal erosion, tidal inundation, and coastal wave storm scenarios. The results for the coastal erosion scenarios indicated that the magnitude of coastal erosion is not expected to be large enough to impact the Specific Plan area by year 2100 due to several factors. First, the beach is relatively wide (approximately 500 to 600 feet) at this location, which provides a buffer against coastal erosion. Second, the relatively high dune area on either side of PCH as well as PCH itself provide a further buffer from coastal erosion. Third, the Magnolia Marsh provides an additional buffer from SLR-induced erosion impacting the project site. These three factors represent a buffer distance of approximately 1,800 feet to 2,000 feet between the project site and beach.

### 5 Groundwater and Saltwater Intrusion

Rising sea levels can result in saltwater intrusion whereby relatively heavy saltwater moves landward migrating under relatively light fresh water displacing the fresh water in the process. Saltwater intrusion can adversely impact potable water aquifers, agriculture and infrastructure. The first two potential impacts are not applicable to the Specific Plan area; however, saltwater intrusion could adversely impact underground utilities and building foundations by increasing the potential for corrosion of metal elements and degradation of concrete. Building foundations and underground utilities could be impacted by hydrostatic uplift forces with these high groundwater levels that would tend to make them susceptible to saltwater intrusion, and should be constructed of material that is resistant to corrosion or degradation associated with higher salt levels. Rising groundwater levels could also adversely impact plants within the Specific Plan area; however





the site would be graded to raise planted areas to elevations that exceed the predicted future groundwater elevations.

Rising sea levels could result in corresponding increases in nearby groundwater levels. These increases in groundwater could adversely impact buildings and result in localized inundation in low-lying areas. Building foundations could be impacted by hydrostatic uplift forces associated with these high groundwater levels that would tend to make the structures buoyant like a boat. This potential impact would be addressed by designing the foundation and infrastructure to withstand the hydrostatic uplift pressure and salinity associated with high predicted groundwater levels due to sea level rise.

## 6 Coastal Wave Storm Flooding & Wave Runup

Coastal storms are characterized by higher than normal wave conditions and higher than normal ocean water levels associated with storm surge and wave setup. These conditions can be exacerbated when such storms occur during periods of relatively high ocean water levels such as El Nino years coincident with abnormally high tides (e.g., King Tides). During coastal storms, waves will break along the shoreline and runup the beach or coastal structure (e.g., revetment or seawall). If this wave run-up exceeds the height of the beach or coastal structure, then overtopping will occur causing coastal storm flooding landward of the shoreline.

Wave runup is not be expected to reach the site since it would have to overtop the beach, cross PCH, and flow through Magnolia Marsh before reaching the site. Moreover, it is anticipated that management efforts would be undertaken in the future to maintain the beach, PCH, and Magnolia Marsh for recreation, transportation, and wildlife, respectively. In the absence of these anticipated management efforts, wave runup is still not expected to reach the project site through Year 2100 with SLR.

## 7 Fluvial Flooding

Fluvial storms are associated with stream/river flooding due to rainfall across a watershed. The Specific Plan area is susceptible to fluvial flooding if flood waters overtop the floodwall. According to the most recent (August 15, 2016) FEMA flood insurance rate map (FIRM), the Specific Plan area is not located within the 100-year floodplain; refer to Figure 1: FEMA Flood Insurance Map (Preliminary August 15, 2016). During the 100-year flood, the water elevation in the flood control channel is estimated to reach +9.0 feet (NAVD88) with the base flood elevations shown in Table 2: Potential Base Flood Elevations for a 100-Year Flood.

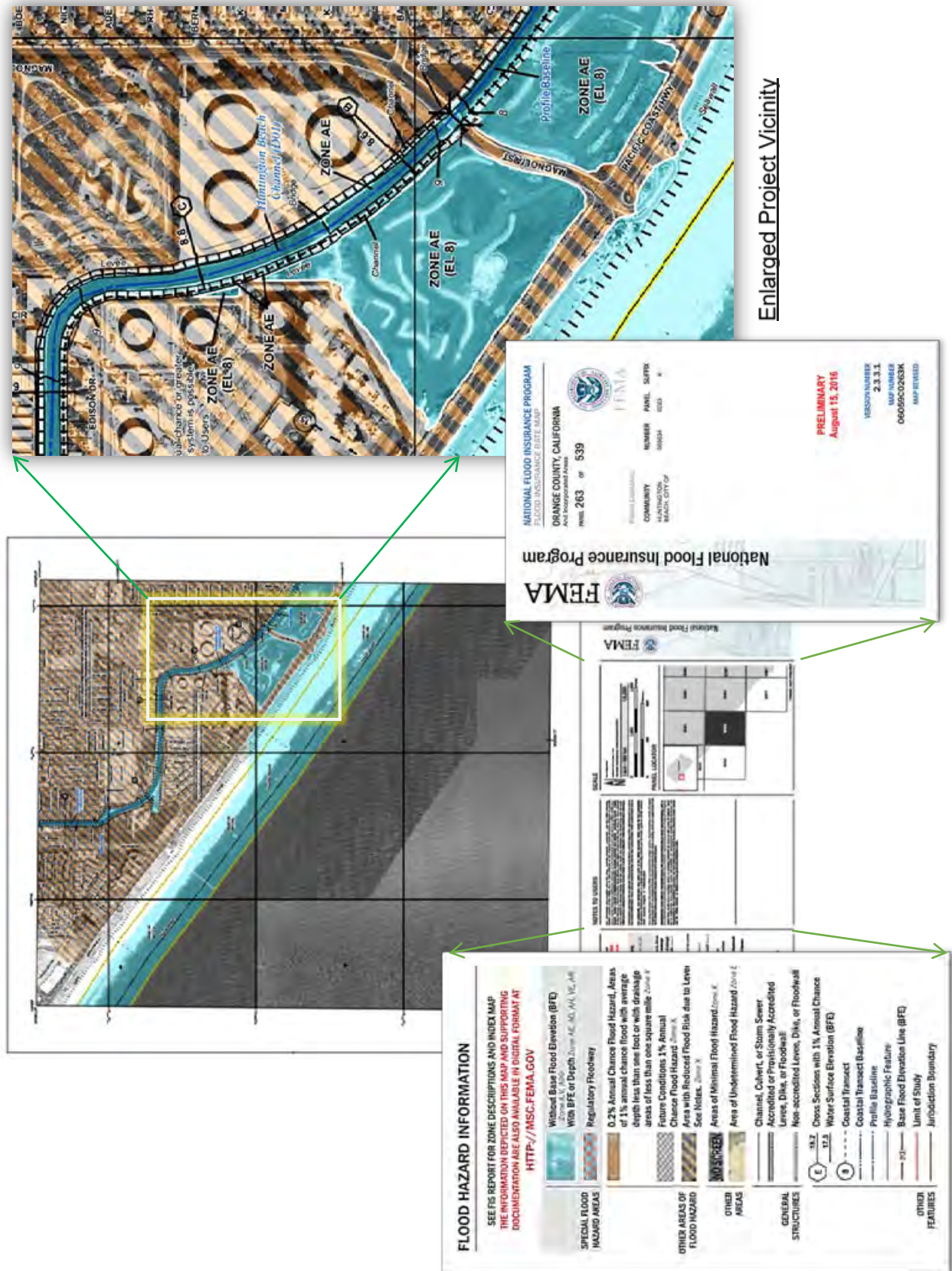


Figure 1: FEMA Flood Insurance Map (Preliminary August 15, 2016)



*Table 2: Potential Base Flood  
Elevations for a 100-Year Flood*

Time Period*	Medium-High Risk Aversion
By 2030	9.7 feet
By 2060	11.2 feet
By 2100	14.4 feet

Source: Everest International Consultants  
and (CNRA & OPC) 2018

Baseline is year 2000

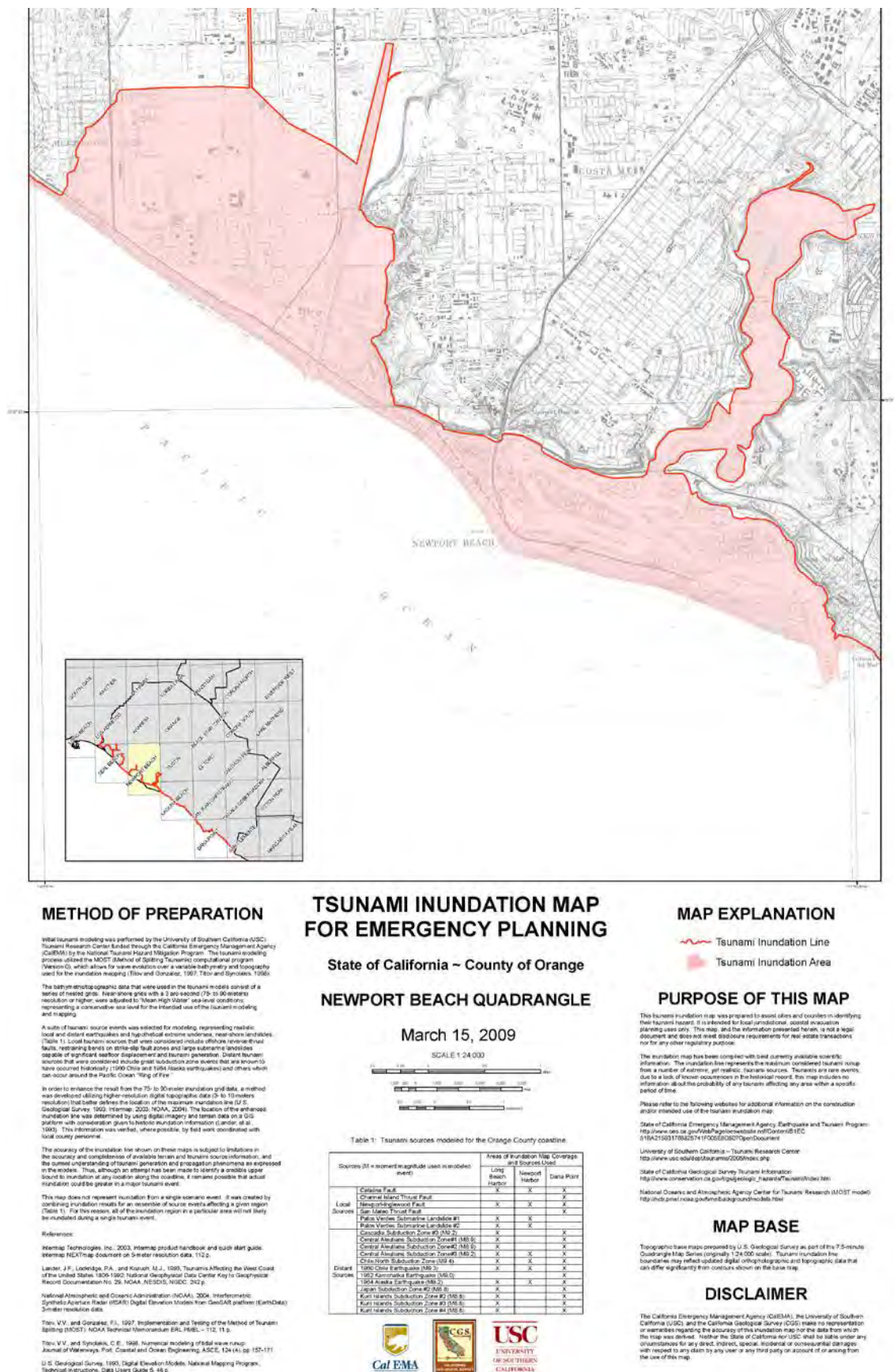
Since the crest elevation of the channel wall is +13 feet (NAVD88) the flood waters would not overtop the floodwall causing flooding of the low-lying areas of the Specific Plan area before the year 2060. However in year 2100 the elevation of the flood waters in the flood control channel adjacent to the Specific Plan area could reach 14.4 feet (NAVD88) which would exceed the crest elevation of the floodwall, thereby resulting in flooding of the low-lying areas of the Specific Plan area.

As previously mentioned, the City of Huntington Beach along with the County of Orange and the US Army Corps of Engineers are responsible for their owned and maintained infrastructure. It is a reasonable assumption that over the lifetime of the Specific Plan development, capital flood control improvement projects would be implemented to reduce SLR impacts for the thousands of residents potentially impacted within the region. *However, there are currently no specific projects by the City or the County of Orange (which owns the Huntington Beach Channel) to raise the floodwall along the western boundary of the site.*

## 8 Tsunamis

The entire coast of Huntington Beach would likely be inundated by a large tsunami under existing conditions (i.e., without SLR). Refer to Figure 2: Tsunami Inundation Map - Newport Beach Quadrangle. The tsunami hazard mapping analysis did not include an evaluation of tsunami hazards in the future with SLR. However, since the entire project site is in a tsunami hazard area now, it is reasonable to assume the entire area would be in a tsunami hazard area in the future with SLR. In addition, the magnitude of inundation would likely be higher in the future for a given tsunami event due to the higher water elevations associated with SLR.







## 9 Adaptation Measures

The floodwall provides protection for the project site from coastal hazards associated with high tides, coastal wave storms, and fluvial flooding under existing conditions. The floodwall is part of a flood control system (HBC & Talbert Channel) that provides flood protection for a large part of the City. Some of the area protected by this system is characterized by low ground elevations that would be subject to flooding in the absence of the flood control system. This flood control system is important from a regional (i.e., portion of city) as well as a local (i.e., project site and surrounding area) standpoint. Consequently, an adaptation strategy focused on protection has been pursued for this region over the past 50 years to address past and current coastal hazards associated with high tides, coastal wave storms, and fluvial flooding. Coastal hazard vulnerability associated with tsunamis was and is an unmitigated risk associated with the local area and region.

In the future, as sea level rises, low-lying residential neighborhoods surrounding the project site would be vulnerable to coastal hazards (coastal wave storms and fluvial flooding) sooner than the proposed project. The City is planning to prepare an updated Local Coastal Program (LCP) in the future. Given the relatively large amount of infrastructure and structures protected by the existing flood control system that would be vulnerable to future SLR, it is anticipated that the City will continue to pursue an adaptation strategy focused on protection, at least for the earlier time periods (e.g., through Year 2060) when SLR is not expected to result in extensive vulnerability. In the latter years (e.g., beyond Year 2060) the City may choose to pursue an adaptation strategy involving a hybrid mixture of protection, accommodation, and retreat (e.g., relocate/remove existing structures, new development limitations).

Given the information presented above several specific adaptation measures were developed for the Project. These measures are presented below with consideration given to the time period and risk aversion level of each SLR scenario.

- Raising the overall ground elevation of the interior portion of the site to an average ground elevation of +10.5 ft, NAVD88. This adaptation measure would address the vulnerability of project components to increased groundwater elevations that could impact structural stability (e.g., foundation buoyancy/uplift) and increased saltwater exposure that could lead to structural component oxidation (e.g., rebar rusting).
- Raising the interior ground elevation would reduce the depth of flooding that would occur if the floodwall were overtopped. In addition, the building pads would be raised an additional one to two feet above the elevation of the roads within the interior of the site. This adaptation measure would provide additional flood protection to the residential and commercial properties in the event of floodwall overtopping.

- Each outlet into the Huntington Beach Channel would be fitted with a tide gate to prevent flows in the channel from entering the project storm drain system. During rain events, the hydraulic head from the runoff in the storm drain would exceed the pressure on the other side of the tide gate and runoff would enter the channel.
- Manholes near the Huntington Beach Channel would allow for pumps to be retrofitted into the storm drain to provide the necessary pressure to drain the project site during storm events in the future. It is anticipated that the pumps would be required between Year 2060 and Year 2100.

Since the timing of a regional solution to SLR (increases of the floodwall height or upstream flow reduction) is uncertain, there is a temporal risk of SLR vulnerability that increases with time until such a solution (i.e., adaptation measure) is implemented. The following adaptation measures could be implemented to address this SLR vulnerability:

- The open space buffer located along the floodwall would remain open space with native upland habitat and limited human access. The area would be managed to preclude the establishment of sensitive habitats (e.g., ESHAs, wetlands) such that the area could be used for future implementation of SLR adaptation measures aimed at protecting the site.
- The elevation along this area could be raised in the future to provide protection from coastal wave storm and fluvial floods. This could be done by importing soil to raise the ground elevation across the area to create a protective berm that would then be covered with native plants and, possibly, a trail system.
- Alternatively, the elevation could be increased via construction of a permanent or temporary floodwall located on the side of the open space buffer closest to the Huntington Beach channel. The temporary floodwall would consist of elements that would be deployed in advance of storm conditions expected to cause flooding and then the elements would be removed/lowered and stored following passage of the storm.

All three of these options are currently used throughout the U.S. so this adaptation measure is feasible from an engineering and construction standpoint. These adaptation measures would not be implemented as part of the initial construction (i.e., Year 2025) but, rather, in future years if and when it is needed. Implementation of this adaptation measure now could result in changes to flood elevations for the surrounding area that could negatively impact flood protection for those areas. Consequently, if this adaptation is ultimately needed it should be implemented in the future when it is needed to provide protection to the project site.





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# APPENDIX C: PLANNING AREAS LEGAL DESCRIPTIONS

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# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

THOSE CERTAIN PORTIONS OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE RANCHO LAS BOLSAS, IN THE CITY OF HUNTINGTON BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA TOGETHER WITH THOSE CERTAIN PORTIONS OF THE NORTHEAST QUARTER OF FRACTIONAL SECTION 24, TOWNSHIP 6 SOUTH, RANGE 11 WEST, BOTH AS SHOWN ON A MAP RECORDED IN BOOK 51, PAGE 14 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

#### **PA 1:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 70.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4647.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 43°39'13" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID NORTHEASTERLY LINE;

THENCE NORTHWESTERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING THREE (3) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE 94.00 FEET THROUGH A CENTRAL ANGLE OF 01°09'32";
2. NORTH 45°11'15" WEST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET;
3. NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 1395.10 FEET THROUGH A CENTRAL ANGLE OF 35°33'56" TO A POINT OF NON-TANGENCY, SAID POINT BEING ON THE NORTHERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, AS SHOWN ON SAID RECORD OF SURVEY, A RADIAL LINE TO SAID POINT BEARS SOUTH 80°22'41" WEST;

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 70.88 FEET TO A POINT ON THE NORTHEASTERLY LINE OF SAID 145.00 FEET WIDE RIGHT OF WAY, SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2317.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 80°39'27" WEST;

THENCE ALONG SAID NORTHEASTERLY LINE, THE FOLLOWING THREE (3) COURSES:

1. SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE 1449.86 FEET THROUGH A CENTRAL ANGLE OF 35°50'42";
2. SOUTH 45°11'15" EAST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4717.50;
3. SOUTHEASTERLY ALONG SAID CURVE 96.20 FEET THROUGH A CENTRAL ANGLE OF 01°10'06" TO THE **POINT OF BEGINNING**.

CONTAINING 123,544 SQUARE FEET OR 2.836 ACRES, MORE OR LESS.

# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 2A:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 70.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4647.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 43°39'13" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID NORTHEASTERLY LINE;

THENCE NORTHWESTERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING THREE (3) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE 94.00 FEET THROUGH A CENTRAL ANGLE OF 01°09'32";
2. NORTH 45°11'15" WEST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET;
3. NORTHWESTERLY ALONG SAID CURVE 372.06 FEET THROUGH A CENTRAL ANGLE OF 09°29'06" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 54°17'51" WEST; SAID POINT BEING THE **TRUE POINT OF BEGINNING**;

THENCE NORTH 00°08'22" EAST 80.25 FEET;

THENCE NORTH 59°57'36" EAST 138.52 FEET;

THENCE NORTH 37°05'21" WEST 2.64 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 16.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE 12.74 FEET THROUGH A CENTRAL ANGLE OF 45°36'42" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 49.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 07°38'12" WEST;

THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 90.79 FEET THROUGH A CENTRAL ANGLE OF 106°09'23" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 454.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 41°30'29" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE 184.90 FEET THROUGH A CENTRAL ANGLE OF 23°20'05" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 58°25'50" WEST, SAID POINT BEING ON SAID PARALLEL AND CONCENTRIC LINE;

THENCE SOUTHEASTERLY ALONG SAID CURVE 162.12 FEET THROUGH A CENTRAL ANGLE OF 04°07'59" TO THE **TRUE POINT OF BEGINNING**.

CONTAINING 16,131 SQUARE FEET OR 0.370 ACRES, MORE OR LESS.

# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### **PA 2B:**

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAID INTERSECTION ALSO BEING THE NORTHEAST CORNER OF THAT CERTAIN LAND AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 75.00 FEET TO A LINE PARALLEL WITH AND 75 FEET WESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 00°40'51" EAST 93.84 FEET;

THENCE NORTH 89°19'09" EAST 50.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID WESTERLY LINE, NORTH 00°40'51" WEST 68.52 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 6,892 SQUARE FEET OR 0.158 ACRES, MORE OR LESS.



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 2C:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAID INTERSECTION ALSO BEING THE NORTHEAST CORNER OF THAT CERTAIN LAND AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 75.00 FEET TO A LINE PARALLEL WITH AND 75 FEET WESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 00°40'51" EAST 93.84 FEET;

THENCE NORTH 89°19'09" EAST 50.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID WESTERLY LINE, SOUTH 00°40'51" EAST 118.00 FEET TO A POINT OF CUSP ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 25.00 FEET, SAID POINT ALSO BEING THE **TRUE POINT BEGINNING**;

THENCE NORTHERLY, NORTHWESTERLY AND WESTERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE SOUTH 89°19'09" WEST 50.00 FEET TO A LINE 75.00 FEET WESTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°40'51" EAST 638.76 FEET TO THE BEGINNING OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 875.00 FEET;
2. SOUTHERLY ALONG SAID CURVE, 250.17 FEET THROUGH A CENTRAL ANGLE OF 16°22'54" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 74°17'57" EAST;

THENCE SOUTH 89°19'09" WEST 112.29 FEET;

THENCE SOUTH 10°48'29" EAST 68.67 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 92.00 FEET;

THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE 84.16 FEET THROUGH A CENTRAL ANGLE OF 52°24'43";

THENCE SOUTH 63°13'12" EAST 48.69 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 26.00 FEET;

THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY ALONG SAID CURVE 42.31 FEET THROUGH A CENTRAL ANGLE OF 93°13'50" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET, SAID POINT BEING THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 950.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 66°27'02" EAST;

THENCE ALONG SAID WESTERLY LINE, THE FOLLOWING TWO (2) COURSES:

1. NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 401.75 FEET THROUGH A CENTRAL ANGLE OF 24°13'49";
2. NORTH 00°40'51" WEST 613.76 FEET TO THE **TRUE POINT BEGINNING**.

CONTAINING 88,010 SQUARE FEET OR 2.020 ACRES, MORE OR LESS.

# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 2D:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 70.00 FEET TO THE **TRUE POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 10.56 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 950 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE 202.51 FEET THROUGH A CENTRAL ANGLE OF 12°12'49" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 25.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 59°11'41" EAST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE 41.03 FEET THROUGH A CENTRAL ANGLE OF 94°01'31";

THENCE NORTH 63°13'12" WEST 28.61 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 895.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 60°39'47" EAST, SAID CURVE BEING 55.00 FEET NORTHWESTERLY OF AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHWESTERLY ALONG SAID CURVE 213.72 FEET THROUGH A CENTRAL ANGLE OF 13°40'55" TO A POINT OF TANGENCY WITH A LINE PARALLEL WITH AND 55.00 FEET NORTHWESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 43°01'08" WEST 9.62 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4647.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 44°19'54" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND CONCENTRIC WITH THE NORTHEASTERLY LINE OF SAID 145.00 FEET WIDE RIGHT OF WAY;

THENCE SOUTHEASTERLY ALONG SAID CURVE 55.00 FEET THROUGH A CENTRAL ANGLE OF 00°40'41" TO THE **TRUE POINT OF BEGINNING**.

CONTAINING 12,587 SQUARE FEET OR 0.289 ACRES, MORE OR LESS.

# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 3:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, SAID INTERSECTION ALSO BEING THE NORTHEAST CORNER OF THAT CERTAIN LAND AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID NORTHERLY LINE, SOUTH 89°33'26" WEST 75.00 FEET TO THE **TRUE POINT OF BEGINNING**, SAID POINT BEING ON A LINE PARALLEL WITH AND 75 FEET WESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 00°40'51" EAST 93.84 FEET;

THENCE NORTH 89°19'09" EAST 50.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID WESTERLY LINE, SOUTH 00°40'51" EAST 118.00 FEET TO A POINT OF CUSP ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 25.00 FEET;

THENCE NORTHERLY, NORTHWESTERLY AND WESTERLY ALONG SAID CURVE 39.27 FEET THROUGH A CENTRAL ANGLE OF 90°00'00";

THENCE SOUTH 89°19'09" WEST 50.00 FEET TO A LINE 75.00 FEET WESTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHERLY ALONG SAID PARALLEL AND CONCENTRIC LINE, THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°40'51" EAST 638.76 FEET TO THE BEGINNING OF A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 875.00 FEET;
2. SOUTHERLY ALONG SAID CURVE, 250.17 FEET THROUGH A CENTRAL ANGLE OF 16°22'54" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 74°17'57" EAST;

THENCE SOUTH 89°19'09" WEST 112.29 FEET;

THENCE SOUTH 80°36'12" WEST 29.01 FEET;

THENCE NORTH 15°37'33" WEST 25.50 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 40.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE 14.45 FEET THROUGH A CENTRAL ANGLE OF 20°42'06" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 81.00 FEET, A RADIAL LINE TO SAID POINT BEARS NORTH 53°40'21" EAST;

THENCE NORTHWESTERLY ALONG SAID CURVE 30.93 FEET THROUGH A CENTRAL ANGLE OF 21°52'41";

THENCE NORTH 58°12'20" WEST 317.23 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 200.00 FEET;



# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### **PA 3:**

(CONTINUATION)

THENCE NORTHWESTERLY ALONG SAID CURVE 69.42 FEET THROUGH A CENTRAL ANGLE OF 19°53'12" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 51°40'52" WEST;

THENCE SOUTH 59°57'36" WEST 24.23 FEET;

THENCE NORTH 37°05'21" WEST 2.64 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 16.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE 12.74 FEET THROUGH A CENTRAL ANGLE OF 45°36'42" TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 49.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 07°38'12" WEST;

THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 90.79 FEET THROUGH A CENTRAL ANGLE OF 106°09'23" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 454.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 41°30'29" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE 184.90 FEET THROUGH A CENTRAL ANGLE OF 23°20'05" TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 58°25'50" WEST, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND CONCENTRIC WITH THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE NORTHWESTERLY AND NORTHERLY ALONG SAID CURVE 860.92 FEET THROUGH A CENTRAL ANGLE OF 21°56'51" TO A POINT OF NON-TANGENCY, SAID POINT BEING ON SAID NORTHERLY LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF FRACTIONAL SECTION 13, TOWNSHIP 6 SOUTH, RANGE 11 WEST, A RADIAL LINE TO SAID POINT BEARS SOUTH 80°22'41" WEST;

THENCE ALONG SAID NORTHERLY LINE, NORTH 89°33'26" EAST 1052.78 FEET TO THE **TRUE POINT OF BEGINNING.**

CONTAINING 825,809 SQUARE FEET OR 18.958 ACRES, MORE OR LESS.

# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 4:

**BEGINNING** AT THE INTERSECTION OF THE WESTERLY LINE OF MAGNOLIA STREET, 50.00 FOOT HALF-WIDTH, AND THE NORTHEASTERLY LINE OF THE ORANGE COUNTY FLOOD CONTROL DISTRICT RIGHT OF WAY, 145.00 FEET WIDE, AS SHOWN ON A RECORD OF SURVEY RECORDED IN BOOK 91, PAGE 35 OF RECORDS OF SURVEY, IN THE OFFICE OF THE OF THE COUNTY RECORDER OF SAID COUNTY,

THENCE ALONG SAID WESTERLY LINE, NORTH 43°01'08" EAST 80.56 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 950 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE 202.51 FEET THROUGH A CENTRAL ANGLE OF 12°12'49" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 25.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 59°11'41" EAST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE 41.03 FEET THROUGH A CENTRAL ANGLE OF 94°01'31";

THENCE NORTH 63°13'12" WEST 28.61 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 895.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 60°39'47" EAST, SAID CURVE BEING 55.00 FEET NORTHWESTERLY OF AND CONCENTRIC WITH SAID WESTERLY LINE;

THENCE SOUTHWESTERLY ALONG SAID CURVE 213.72 FEET THROUGH A CENTRAL ANGLE OF 13°40'55" TO A POINT OF TANGENCY WITH A LINE PARALLEL WITH AND 55.00 FEET NORTHWESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

THENCE ALONG SAID PARALLEL LINE, SOUTH 43°01'08" WEST 9.62 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 4647.50 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 44°19'54" WEST, SAID POINT BEING THE **TRUE POINT OF BEGINNING**, SAID CURVE BEING 70.00 FEET NORTHEASTERLY OF AND CONCENTRIC WITH THE NORTHEASTERLY LINE OF SAID 145.00 FEET WIDE RIGHT OF WAY;

THENCE NORTHWESTERLY ALONG SAID CURVE AND THE NORTHWESTERLY EXTENSION OF A LINE 70.00 FEET NORTHEASTERLY OF AND PARALLEL AND CONCENTRIC WITH SAID 145.00 FEET WIDE RIGHT OF WAY, THE FOLLOWING THREE (3) COURSES:

1. NORTHWESTERLY ALONG SAID LAST MENTIONED CURVE 39.00 FEET THROUGH A CENTRAL ANGLE OF 00°28'51";
2. NORTH 45°11'15" WEST 247.34 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2247.50 FEET;
3. NORTHWESTERLY ALONG SAID CURVE 372.06 FEET THROUGH A CENTRAL ANGLE OF 09°29'06" TO A POINT OF NON-TANGENCY, A RADIAL LINE TO SAID POINT BEARS SOUTH 54°17'51" WEST;

THENCE NORTH 00°08'22" EAST 80.25 FEET;

THENCE NORTH 59°57'36" EAST 162.74 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 200.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 51°40'52" WEST;

THENCE SOUTHEASTERLY ALONG SAID CURVE 69.42 FEET THROUGH A CENTRAL ANGLE OF 19°53'12";

THENCE SOUTH 58°12'20" EAST 317.23 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 81.00 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE 30.93 FEET THROUGH A CENTRAL ANGLE OF 21°52'41" TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 40.00 FEET, A RADIAL LINE TO SAID POINT BEARS NORTH 53°40'21" EAST;

# EXHIBIT "A"

## PLANNING AREAS

### LEGAL DESCRIPTIONS

#### PA 4:

(CONTINUATION)

THENCE SOUTHEASTERLY ALONG SAID CURVE 14.45 FEET THROUGH A CENTRAL ANGLE OF 20°42'06";

THENCE SOUTH 15°37'33" EAST 25.50 FEET;

THENCE NORTH 80°36'12" EAST 29.01 FEET;

THENCE SOUTH 10°48'29" EAST 68.67 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 92.00 FEET;

THENCE SOUTHERLY AND SOUTHEASTERLY ALONG SAID CURVE 84.16 FEET THROUGH A CENTRAL ANGLE OF 52°24'43";

THENCE SOUTH 63°13'12" EAST 48.69 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 26.00 FEET;

THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY ALONG SAID CURVE 42.31 FEET THROUGH A CENTRAL ANGLE OF 93°13'50" TO A POINT OF TANGENCY TO SAID WESTERLY LINE OF MAGNOLIA STREET, SAID POINT BEING A POINT OF CUSP AND THE BEGINNING OF A CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 950.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 66°27'02" EAST;

THENCE SOUTHWESTERLY ALONG SAID CURVE 120.31 FEET THROUGH A CENTRAL ANGLE OF 07°15'21" TO A POINT OF CUSP ON A CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 25.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 59°11'41" EAST;

THENCE NORTHEASTERLY, NORTHERLY AND NORTHWESTERLY ALONG SAID CURVE 41.03 FEET THROUGH A CENTRAL ANGLE OF 94°01'31";

THENCE NORTH 63°13'12" WEST 28.61 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 895.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 60°39'47" EAST, SAID CURVE BEING 55.00 FEET NORTHWESTERLY OF AND CONCENTRIC WITH SAID WESTERLY LINE;


THENCE SOUTHWESTERLY ALONG SAID CURVE 213.72 FEET THROUGH A CENTRAL ANGLE OF 13°40'55" TO A POINT OF TANGENCY WITH A LINE PARALLEL WITH AND 55.00 FEET NORTHWESTERLY OF SAID WESTERLY LINE OF MAGNOLIA STREET;

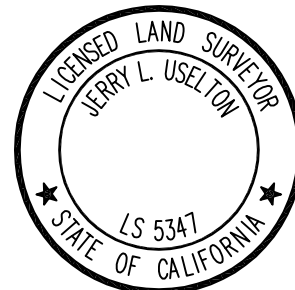
THENCE ALONG SAID PARALLEL LINE, SOUTH 43°01'08" WEST 9.62 FEET TO **TRUE POINT OF BEGINNING.**

CONTAINING 189,964 SQUARE FEET OR 4.361 ACRES, MORE OR LESS.

ALL AS SHOWN ON EXHIBIT "B" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF.

DATED THIS 20TH DAY OF JUNE, 2018.

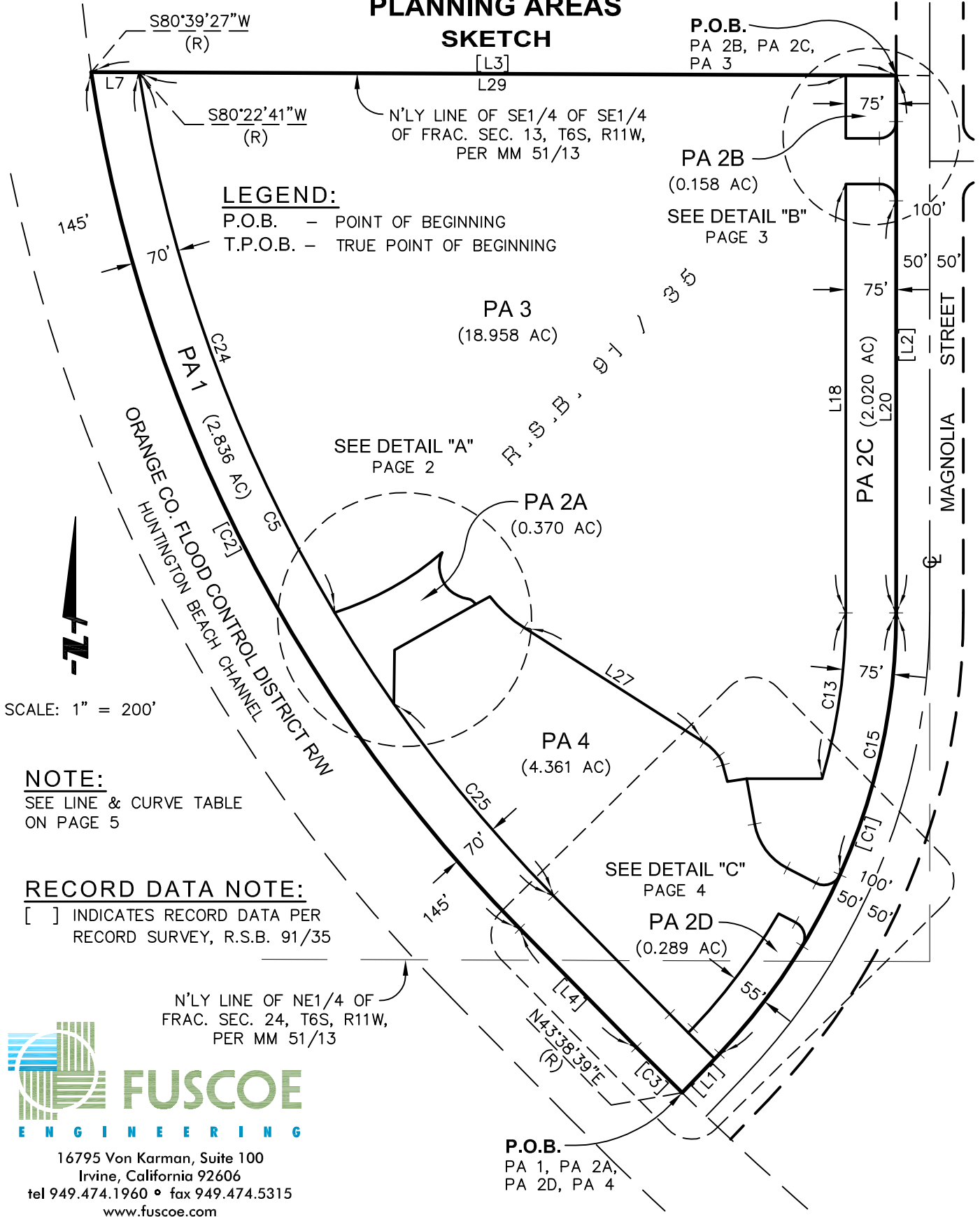
  
JERRY L. USELTON, L.S. 5347





# EXHIBIT "B"

## PLANNING AREAS SKETCH



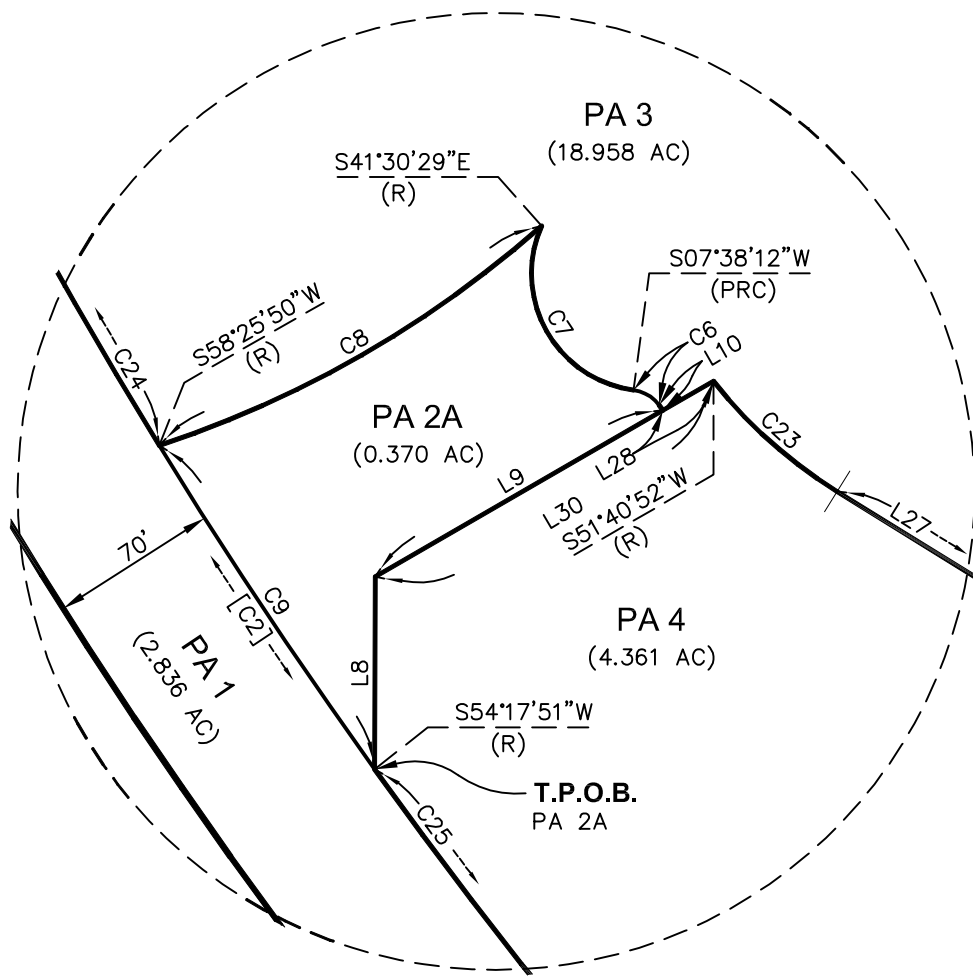
# EXHIBIT "B"

## PLANNING AREAS

### SKETCH



SCALE: 1" = 80'



DETAIL "A"



16795 Von Karman, Suite 100  
Irvine, California 92606  
tel 949.474.1960 • fax 949.474.5315  
www.fuscoe.com

#### NOTE:

SEE LINE & CURVE TABLE  
ON PAGE 5

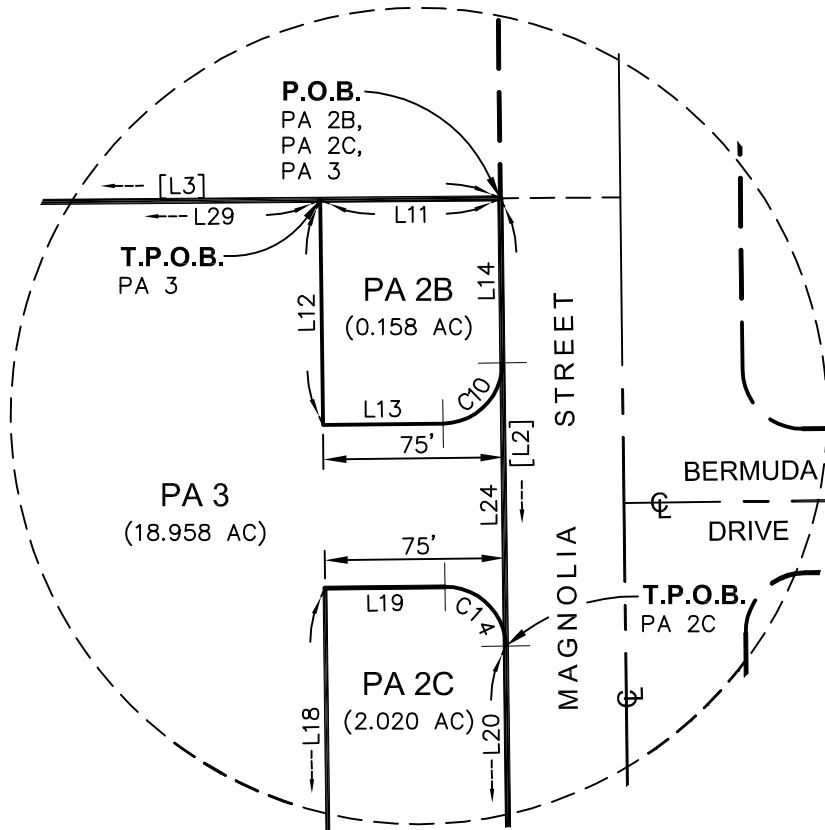
# EXHIBIT "B"

## PLANNING AREAS

### SKETCH



SCALE: 1" = 80'



DETAIL "B"



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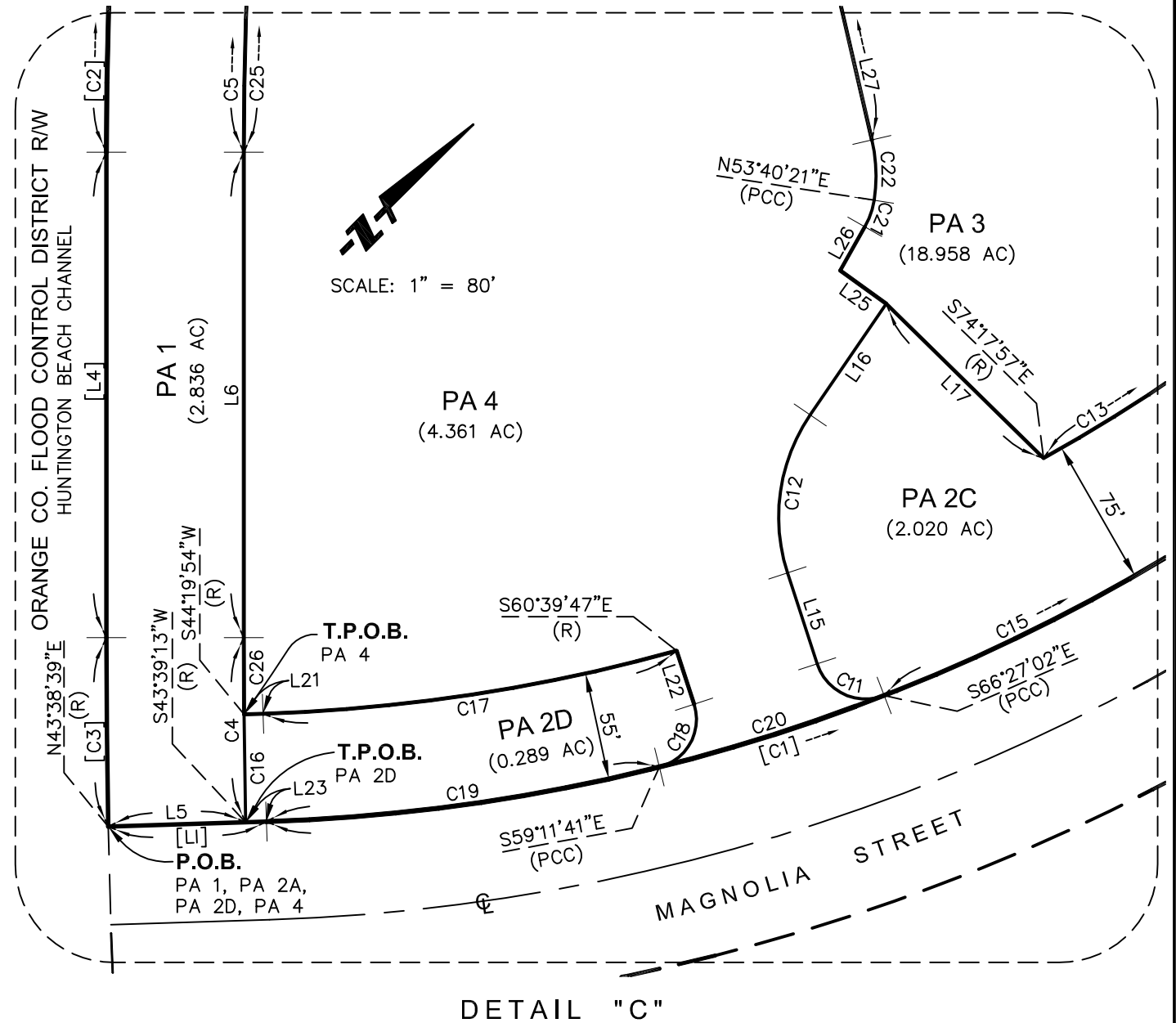
**NOTE:**  
SEE LINE & CURVE TABLE  
ON PAGE 5



# EXHIBIT "B"

## PLANNING AREAS

### SKETCH



#### NOTE:

SEE LINE & CURVE TABLE  
ON PAGE 5



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# EXHIBIT "B"

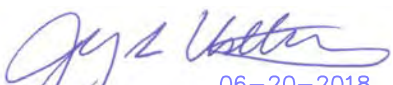
## PLANNING AREAS

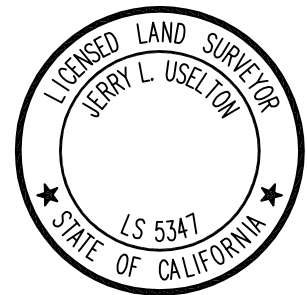
### SKETCH

LINE TABLE		
NO.	BEARING	LENGTH
[L1]	N43°01'08"E	80.56'
[L2]	N00°40'51"W	800.28'
[L3]	N89°33'26"E	1198.66'
[L4]	S45°11'15"E	247.34'
L5	N43°01'08"E	70.00'
L6	N45°11'15"W	247.34'
L7	S89°33'26"W	70.88'
L8	N00°08'22"E	80.25'
L9	N59°57'36"E	138.52'
L10	N37°05'21"W	2.64'
L11	S89°33'26"W	75.00'
L12	S00°40'51"E	93.84'
L13	N89°19'09"E	50.00'
L14	N00°40'51"W	68.52'
L15	S63°13'12"E	48.69'
L16	S10°48'29"E	68.67'
L17	S89°19'09"W	112.29'
L18	S00°40'51"E	638.76'
L19	S89°19'09"W	50.00'
L20	N00°40'51"W	613.76'
L21	S43°01'08"W	9.62'
L22	N63°13'12"W	28.61'
L23	N43°01'08"E	10.56'
L24	S00°40'51"E	118.00'
L25	S80°36'12"W	29.01'
L26	N15°37'33"W	25.50'
L27	N58°12'20"W	317.23'
L28	S59°57'36"W	24.23'
L29	N89°33'26"E	1052.78'
L30	N59°57'36"E	162.74'

CURVE TABLE			
NO.	DELTA	RADIUS	LENGTH
[C1]	43°41'59"	950.00'	724.57'
[C2]	35°50'42"	2317.50'	1449.86'
[C3]	01°10'06"	4717.50'	96.20'
C4	01°09'32"	4647.50'	94.00'
C5	35°33'56"	2247.50'	1395.10'
C6	45°36'42"	16.00'	12.74'
C7	106°09'23"	49.00'	90.79'
C8	23°20'05"	454.00'	184.90'
C9	04°07'59"	2247.50'	162.12'
C10	90°00'00"	25.00'	39.27'
C11	93°13'50"	26.00'	42.31'
C12	52°24'43"	92.00'	84.16'
C13	16°22'54"	875.00'	250.17'
C14	90°00'00"	25.00'	39.27'
C15	24°13'49"	950.00'	401.75'
C16	00°40'41"	4647.50'	55.00'
C17	13°40'55"	895.00'	213.72'
C18	94°01'31"	25.00'	41.03'
C19	12°12'49"	950.00'	202.51'
C20	07°15'21"	950.00'	120.31'
C21	20°42'06"	40.00'	14.45'
C22	21°52'41"	81.00'	30.93'
C23	19°53'12"	200.00'	69.42'
C24	21°56'51"	2247.50'	860.92'
C25	09°29'06"	2247.50'	372.06'
C26	00°28'51"	4647.50'	39.00'

PREPARED UNDER MY SUPERVISION:

  
 06-20-2018  
 JERRY L. USELTON, L.S. 5347



16795 Von Karman, Suite 100  
 Irvine, California 92606  
 tel 949.474.1960 • fax 949.474.5315  
 www.fuscoec.com

---

To: James O'Malley, SLF-HB Magnolia, LLC

From: David Cannon and Berry Ueoka, Anchor QEA, LLC

**Re: Magnolia Tank Farm Redevelopment Project – Flood Assessment with Sea Level Rise**

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## Introduction

The City of Huntington Beach has submitted a Local Coastal Program Amendment (LCPA) for a proposed redevelopment project in Huntington Beach for approval by the California Coastal Commission (CCC). The Magnolia Tank Farm Redevelopment Project (Project) proposes new development of residential and commercial space at a 29-acre site (project site). A Sea Level Rise Vulnerability Assessment and Adaptation Plan (SLR VAAP; Anchor QEA 2021) was prepared to determine the potential for coastal hazards to impact the project site for Existing and Proposed Conditions. Coastal hazards evaluated included fluvial flooding under current and future sea levels. The SLR VAAP also identified SLR adaptation measures that were incorporated into the project design including 1) open space buffers with berms along the west boundary adjacent to the Huntington Beach Channel and east boundary adjacent to Magnolia Street and 2) higher ground elevations to prevent flooding of the project site and reduce vulnerability to future groundwater levels.

In response to the LCPA, the CCC issued a Notice of Incomplete (NOI) submittal that identified additional information necessary for the CCC staff to review the LCPA. The NOI included comments on the SLR VAAP, specifically regarding the potential impacts to surrounding areas. CCC staff raised concerns that the SLR VAAP did not evaluate if the proposed Project would increase flood risk in the area surrounding the project site by directing floodwaters to the surrounding areas. In response, results of the HEC-RAS modeling used in the SLR VAAP were reviewed to evaluate the potential impact to the surrounding areas. The HEC-RAS modeling simulated fluvial flooding with a 100-year storm event under current and future sea levels under Existing Condition and Proposed Condition with Berms.

This technical memorandum summarizes the results of the flood assessment with future sea levels focusing on potential impacts of the Project to surrounding areas. This flood assessment with SLR was conducted for the following conditions:

- Existing Condition – Existing Condition without the Project evaluated in the SLR VAAP
- Proposed Condition with Berms – Proposed Condition evaluated in the SLR VAAP



- Proposed Condition without Berms – Modified Proposed Condition without perimeter berms on the west and east boundaries of the project site developed to reduce potential future impacts to the surrounding areas

The Existing Condition and Proposed Condition with Berms were analyzed in the SLR VAAP. To further address CCC staff concerns, a modified Proposed Condition without the perimeter berms along the west and east boundaries of the project site, herein referred to as Proposed Condition without Berms, was developed to reduce potential future impacts to the surrounding areas. A schematic of the project site cross section, as shown in Figure 1, compares the ground elevations across the project site for the Existing Condition, Proposed Condition with Berms, and Proposed Condition without Berms to illustrate the differences among the three conditions analyzed.

## Sea Level Rise Projections

In the SLR VAAP, four SLR projections were selected based on the most applicable CCC SLR guidance (CCC 2018). The CCC 2018 SLR guidance provides SLR projections aversion for Los Angeles from 2030 to 2100 based on three probability scenarios: low risk aversion, medium-high risk aversion, and extreme risk, as shown in Table 1. These SLR projections are based on the State's SLR Guidance (CNRA and OPC 2018) for high-emissions scenario, which represents the best available science on SLR projections. For residential and commercial development, the CCC 2018 SLR guidance recommends the medium-high risk aversion scenario, as indicated in bold in Table 1, for coastal development projects that have greater consequences or lower ability to adapt. The medium-high risk aversion scenario has a 0.5% probability that SLR exceeds this level. Subsequently in 2020, the State issued a set of principles for use in planning, policy setting, project development, and decision making that guides a unified approach to addressing SLR throughout California (CNRA and CalEPA 2020), which included a minimum target of 3.5 feet of SLR by 2050. The CCC adopted the principles for aligned state action in May 2020.

For the SLR VAAP, a range in SLR projections, as summarized in Table 2, was selected to assess the vulnerability of the Project to future SLR. A minimum SLR of 3.5 feet was selected based on the State and CCC 2020 guidance. There is a 14% probability that SLR will meet or exceed 3.5 feet by 2100. A maximum SLR of 7.0 feet was selected based on the CCC 2018 SLR guidance for the medium-high risk aversion scenario at 2100, which has a 0.4% probability that SLR will meet or exceed 7.0 feet by 2100. Because the 2020 guidance of 3.5 feet by 2050 is greater than the CCC 2018 SLR guidance at 2050 (Table 1), two additional intermediate SLR projections of 5.0 and 6.0 feet were selected between the minimum and maximum SLR projections. There is a 2% probability that SLR will meet or exceed 5.0 feet by 2100 and 1% probability that SLR will meet or exceed 6.0 feet by 2100.

**Table 1**  
**Sea Level Rise Projections for Los Angeles**

Year	Projected SLR (feet)		
	Low Risk Aversion	Medium-High Risk Aversion	Extreme Risk Aversion
2030	0.5	<b>0.7</b>	1.0
2040	0.7	<b>1.2</b>	1.7
2050	1.0	<b>1.8</b>	2.6
2060	1.3	<b>2.5</b>	3.7
2070	1.7	<b>3.3</b>	5.0
2080	2.2	<b>4.3</b>	6.4
2090	2.7	<b>5.3</b>	8.0
2100	3.2	<b>6.7</b>	9.9

Notes:

1. Low risk aversion: Upper limit of "likely range" (~17% probability SLR exceeds this level)
2. Medium-high risk aversion: 1-in-200 chance (0.5% probability SLR exceeds this level)
3. Extreme risk aversion: Single scenario (no associated probability)
4. Bold: Recommended SLR projections for residential
5. Source: CCC 2018

**Table 2**  
**Sea Level Rise Projections for SLR VAAP**

Projected SLR (feet)	Probability that SLR will meet or exceed height by 2100	Description
3.5	14%	State and CCC 2020 guidance for 3.5 feet of SLR by 2050
5.0	2%	Intermediate projection between minimum and maximum SLR projections
6.0	1%	Intermediate projection between minimum and maximum SLR projections
7.0	0.4%	CCC 2018 SLR Policy Guidance for medium-high risk aversion scenario at 2100 (rounded up from 6.7 feet)

## Existing Condition

The SLR VAAP evaluated fluvial flooding of the project site under current and future sea levels for Existing Condition (without Project). It was determined that under current sea levels, there would be no fluvial flooding of the project site or surrounding area for Existing Condition. Under future sea levels, flooding of the project site would not occur with 3.5 and 5.0 feet of SLR, but flooding would occur with 6.0 and 7.0 feet of SLR. The 100-year flood maximum water levels under future sea levels for Existing Condition are shown in Figures 2 to 5. With 3.5 feet of SLR, the project site and adjacent areas would not be flooded under Existing Condition. With 5.0 feet of SLR, the project site would not be flooded, but some flooding would occur downstream near the Talbert Channel. Figures 4 and 5 show that under Existing Condition, the project site and surrounding areas would be flooded with 6.0

or 7.0 feet of SLR, respectively. In the figures, the numbered notations indicate existing critical infrastructure (e.g., major streets, power plant, wastewater treatment plant, schools, or environmentally sensitive area) in the surrounding areas. The flooding of the surrounding areas occurs from overtopping of the floodwall downstream of Magnolia Street and floods the project site at the northern corners. Under Existing Condition, the ASCON property located to the north of the project site would not be inundated with 7.0 feet of SLR. It should be noted that this assumes that no changes to the flood control infrastructure are implemented between Year 2025 and Year 2100.

## **Proposed Condition with Berms**

Figures 2 to 5 also show the 100-year flood maximum water levels under future sea levels for Proposed Condition with Berms based on the SLR VAAP. The project site and surrounding areas would not be flood under 3.5 or 5.0 feet of SLR. With 6.0 and 7.0 of SLR for the Proposed Condition with Berms, some flooding would occur along the edges of the project site within the open space buffers, but the central portion of the project site would not be flooded.

Impacts to the surrounding areas were evaluated by determining the changes in the 100-year flood maximum water levels as the difference between the Proposed Condition with Berms and Existing Condition. Under current sea levels, results indicated that the proposed project would not have any impact on flood elevations in the surrounding areas, as shown in Figure 6. The changes in the 100-year flood water levels showed that there is no flood risk to the surrounding areas under Existing Condition or Proposed Condition with Berms under current sea levels.

With a SLR projection of 7.0 feet, the project site and surrounding areas would be inundated under Existing Condition. Whereas under Proposed Condition with Berms, the central portion of the project site would not be inundated but the surrounding areas would be inundated. Under Proposed Condition with Berms, the ASCON property located to the north of the project site would not be inundated with 7.0 feet of SLR. The changes in the 100-year flood water levels with 7.0 feet of SLR are shown Figure 7. Results indicated that the proposed Project (with Berms) would increase the 100-year flood water levels in the surrounding areas from 0.1 to 0.5 foot. It should be noted that this assumes that no changes to the flood control infrastructure are implemented between Year 2025 and Year 2100.

## **Proposed Condition Without Berms**

CCC staff expressed concern about the increases in the 100-year flood water levels in the surrounding areas for the Proposed Condition with Berms. To further address CCC staff concerns, the project grading was modified along the western and eastern boundaries of the project site (Proposed Condition without Berms). The overall ground elevation of the project site was maintained at an average elevation of +11.3 feet NAVD88. Modifications were to the open space buffer and road alignment at the northwest corner of the project site. For the Proposed Condition without Berms, the



western berm between the Huntington Beach floodwall and project site and eastern berm between the project site and Magnolia Street were not included. It should be noted that this assumes that no changes to the flood control infrastructure are implemented between Year 2025 and Year 2100.

Additional HEC-RAS modeling of the 100-year storm event under future sea levels was conducted for the Project Condition without Berms. The 100-year flood maximum water levels under 3.5, 5.0, 6.0, and 7.0 feet of SLR are provided in Figures 8 to 11, respectively. The results show no flood risk to the project site or surrounding areas under future sea levels up to 5.0 feet of SLR. Under Existing Condition, flooding of project site and surrounding areas would occur under future SLR of 6.0 and 7.0 feet. Flooding occurs from overtopping of the floodwall downstream of Magnolia Street and enters the project site from the northeast corner. Under Proposed Condition without Berms, flooding would also occur on the edges of the project and in surrounding areas, but floodwater would not enter the project site at the northeast corner. This indicates that the small increase in flooding (0.1 to 0.25 foot) of the surrounding areas from Existing Condition is caused mainly by the reduction in flood storage capacity within the project site due to the fill that would be placed within the project site as a SLR adaptation measure that follows the CCC residential adaptation guidance for flood hazard mitigation. Under both Existing Condition and Proposed Condition without Berms, the ASCON property would not be inundated with 7.0 feet of SLR.

Changes in the 100-year flood water levels with 6.0 feet of SLR are shown Figure 12. Results showed minimal (i.e., less than 0.1 foot) changes in the 100-year flood water levels within surrounding areas. Changes in the 100-year flood water levels with 7.0 feet of SLR are shown Figure 13. Results indicated that the Proposed Condition without Berms would increase the 100-year flood water levels in the surrounding areas from 0.1 to 0.25 foot. This corresponds to up to a 0.25-foot reduction compared to the Proposed Condition with Berms. In addition, the extent (area) of the impact to surrounding areas was reduced.

## **Conclusions**

The flood assessment with future sea levels analyzed the 100-year flood maximum water levels under different SLR projections for Existing Condition (without Project) and Proposed Conditions (with and without Berms) to assess potential flood risks at the project site and surrounding areas. The project site and surrounding areas are not vulnerable to fluvial flooding with up to 5.0 feet of SLR for Existing or Proposed (with or without Berms) Conditions. There is a 2% probability SLR would meet or exceed 5.0 feet of SLR by 2100.

For Existing Conditions, the project site and surrounding areas would be vulnerable to fluvial flooding under 6.0 and 7.0 feet of SLR, which have a 1.0% and 0.4% probability of occurrence by 2100, respectively. For the Proposed Conditions (with or without Berms), the central portion of the project site would be less vulnerable to fluvial flooding compared to Existing Condition because the

higher ground elevations prevent flood water from entering that area. Fluvial flooding with 6.0 or 7.0 feet of SLR would be limited to the open space buffer along the west and east boundary of the project site. Thus, flood waters would remain in the area outside of but adjacent to the project site resulting in a relatively small increase of the flood water levels in the surrounding areas. Removal of the perimeter berms would reduce the impact to surrounding areas under Proposed Conditions.

Overall, the flood assessment with future sea levels showed that the fluvial flooding with 6.0 and 7.0 feet of SLR would be similar for Existing Condition, Proposed Condition with Berms, or Proposed Condition without Berms. The flood assessment was based on conservative estimates of fluvial flooding and SLR. There is a low probability that SLR would meet or exceed 6.0 feet (1.0% probability) or 7.0 feet (0.4% probability) by 2100 and an even lower joint probability that this amount of SLR at spring high tide would occur with the 100-year peak flood. Because the flood risk remains with or without the Project (i.e., Existing Condition), it is reasonable to assume that improvements to the floodwall would be conducted in the future to address flood impacts to existing critical infrastructure (e.g., AES Power Plant, Orange County Sanitation District Wastewater Treatment Plant, Brookhurst Street, Magnolia Street, Edison High School, John H. Eader Elementary School) and the surrounding residential neighborhoods. Consequently, it is important to note that the need for flood control infrastructure improvement is being driven by SLR and the associated need to protect existing critical infrastructure and existing residential neighborhoods as opposed to the proposed redevelopment project.

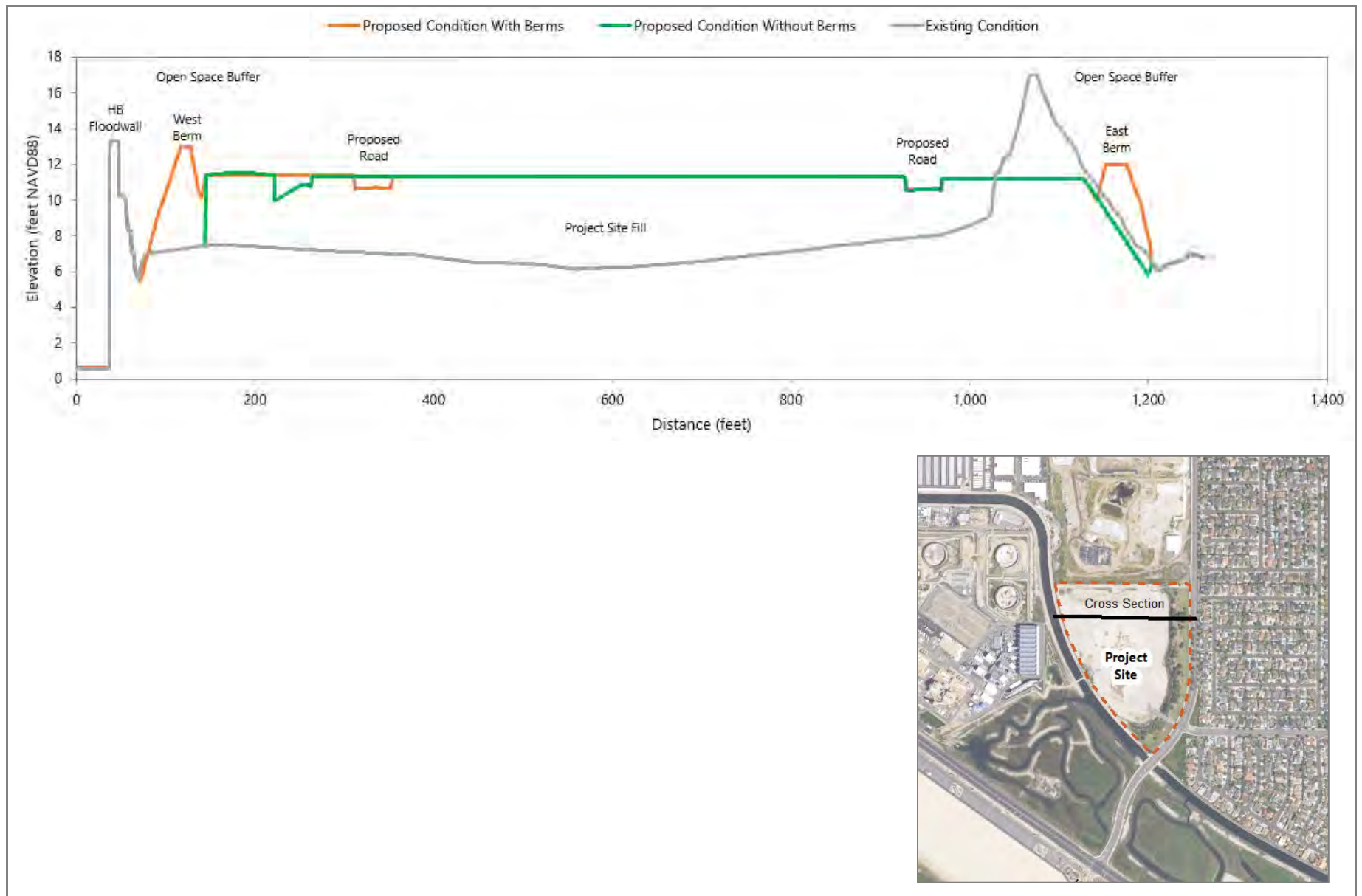
## References

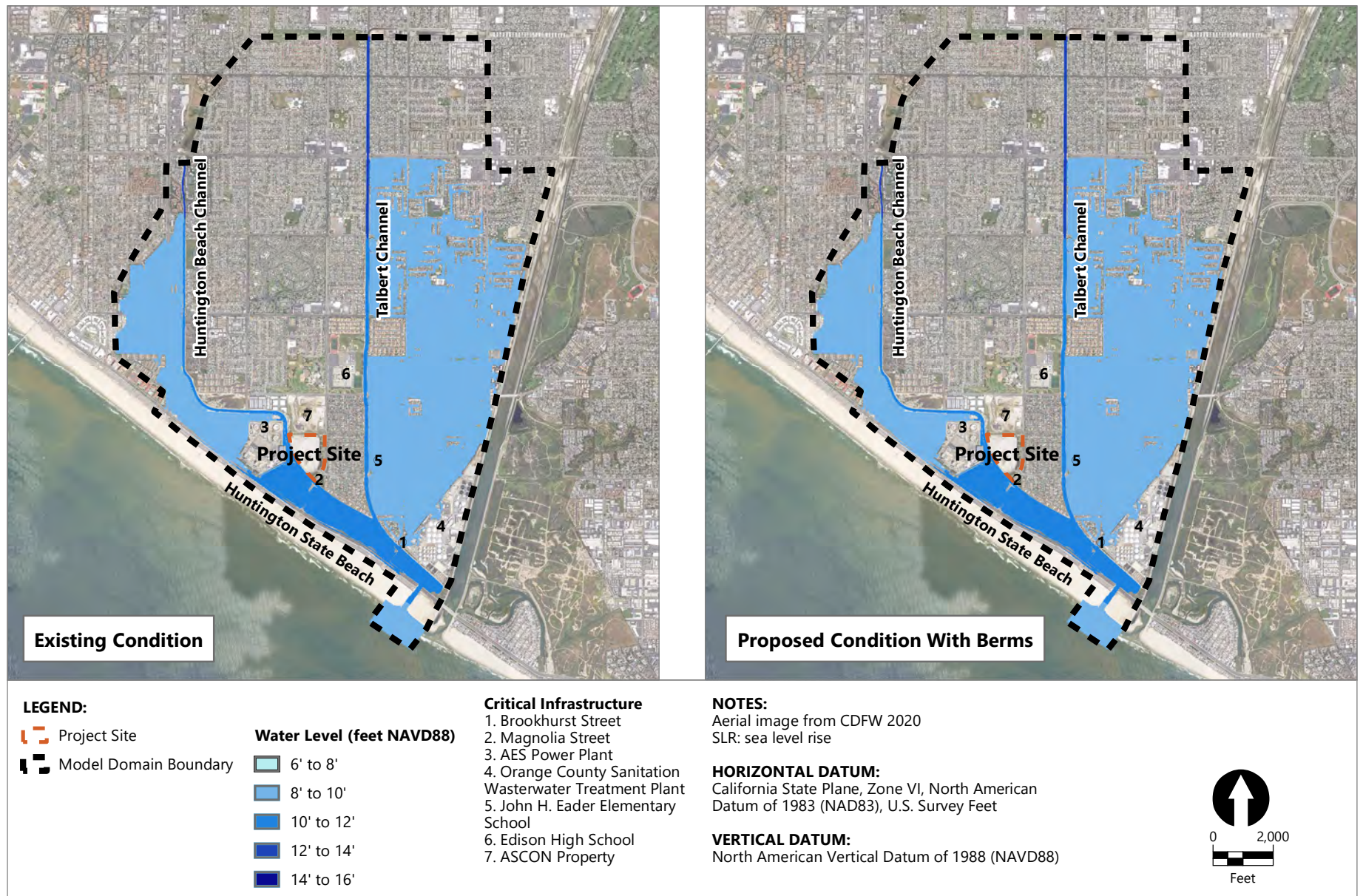
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- CNRA and OPC (California Natural Resources Agency and California Ocean Protection Council), 2018. *State of California Sea-Level Rise Guidance: 2018 Update*. Approved by Ocean Protection Council on March 14, 2018.

## Figures

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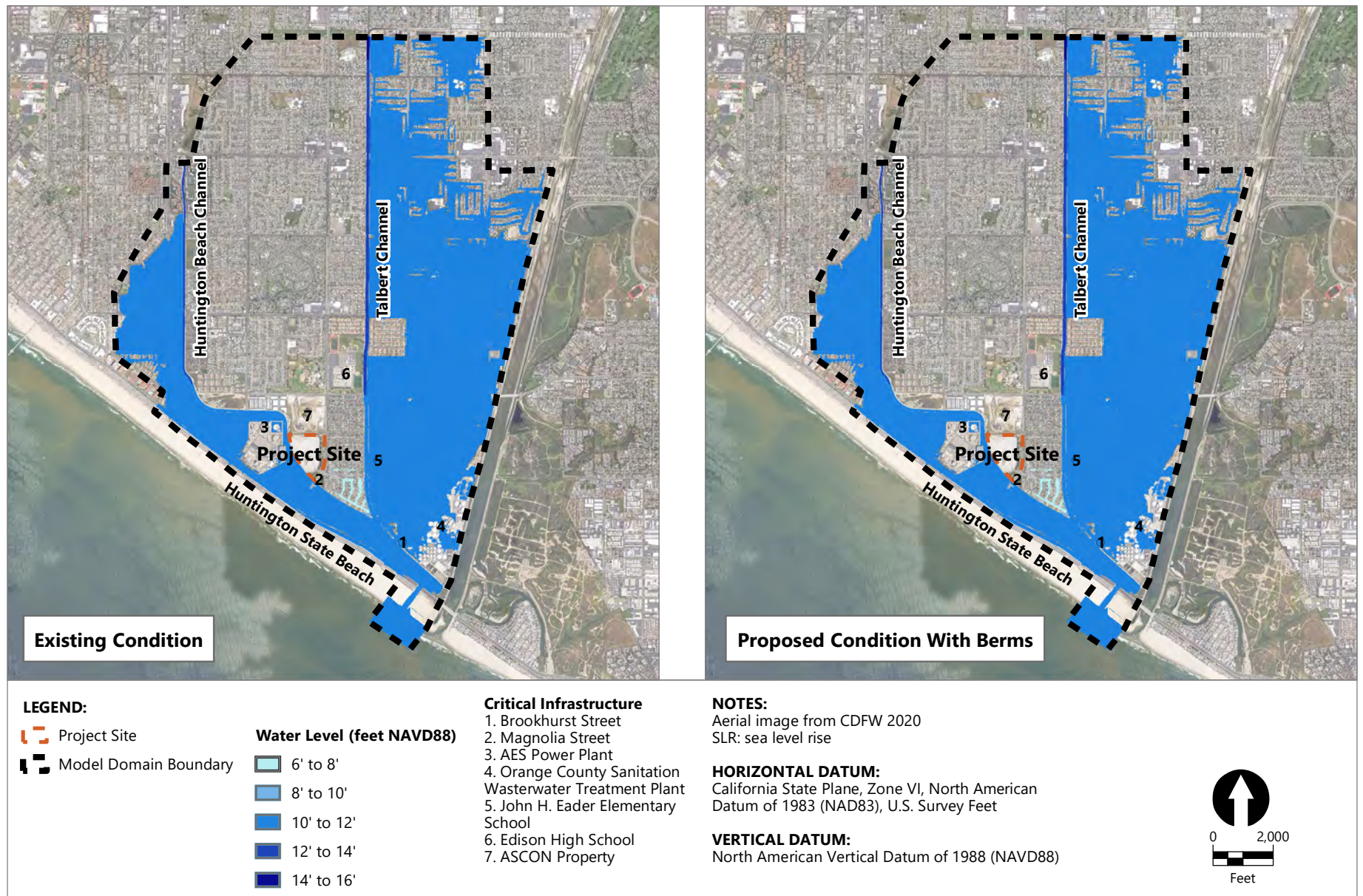
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**Figure 2**

**100-Year Flood Maximum Water Levels Under 3.5 feet SLR for Existing Condition and Proposed Condition With Berms**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project





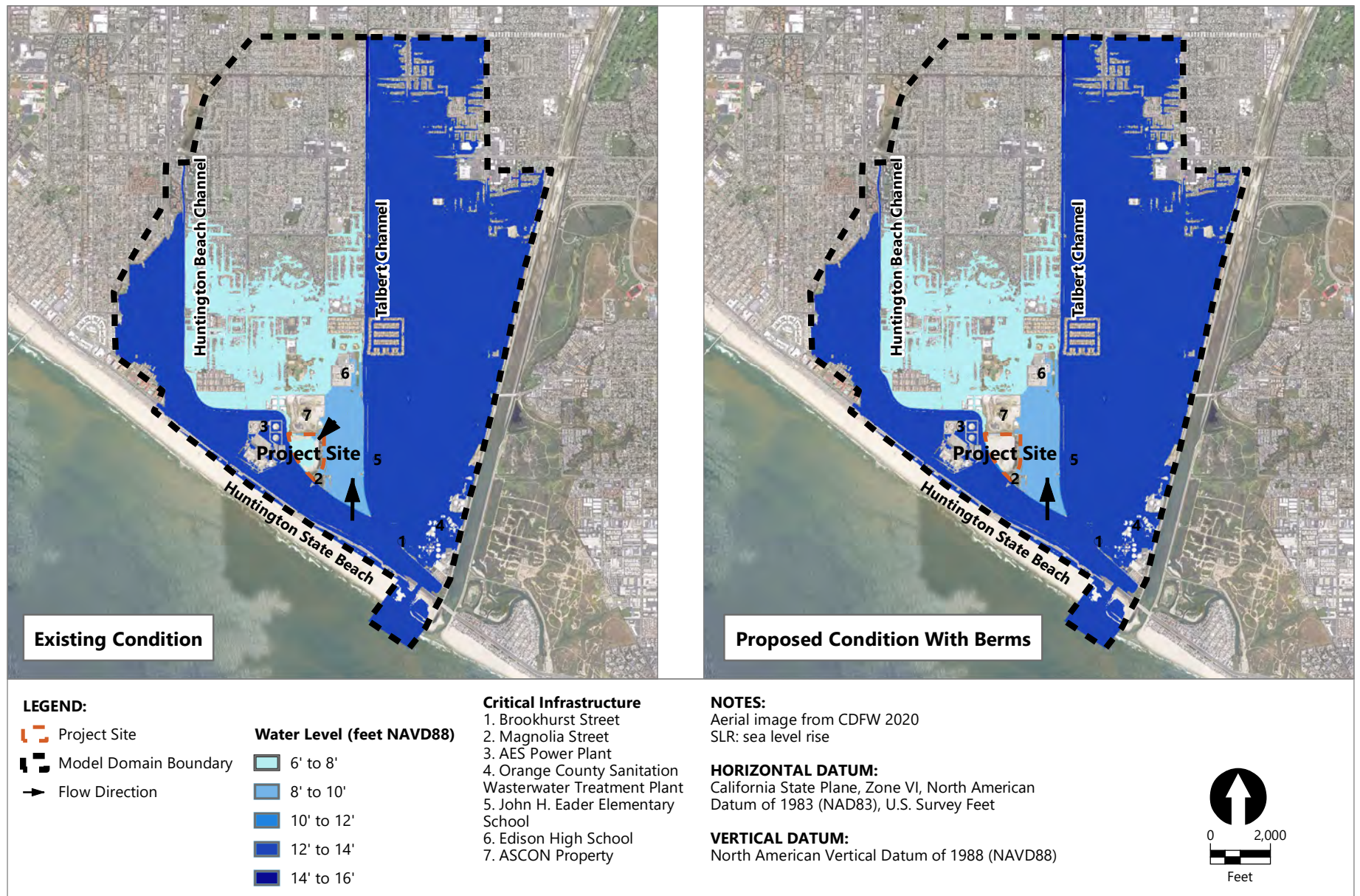
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**Figure 3**

**100-Year Flood Maximum Water Levels Under 5.0 feet SLR for Existing Condition and Proposed Condition With Berms**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project





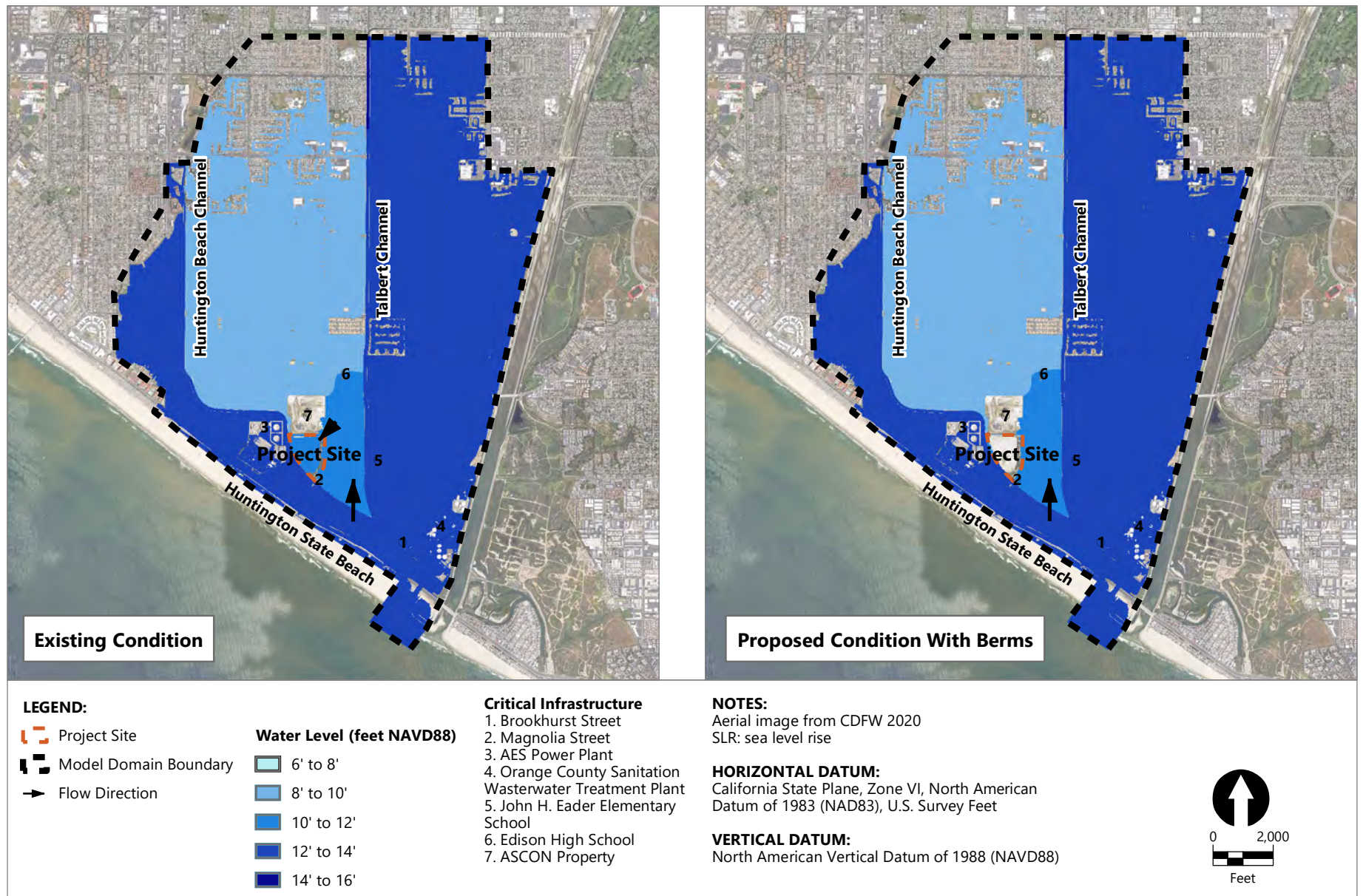
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**Figure 4**

**100-Year Flood Maximum Water Levels Under 6.0 feet SLR for Existing Condition and Proposed Condition With Berms**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project





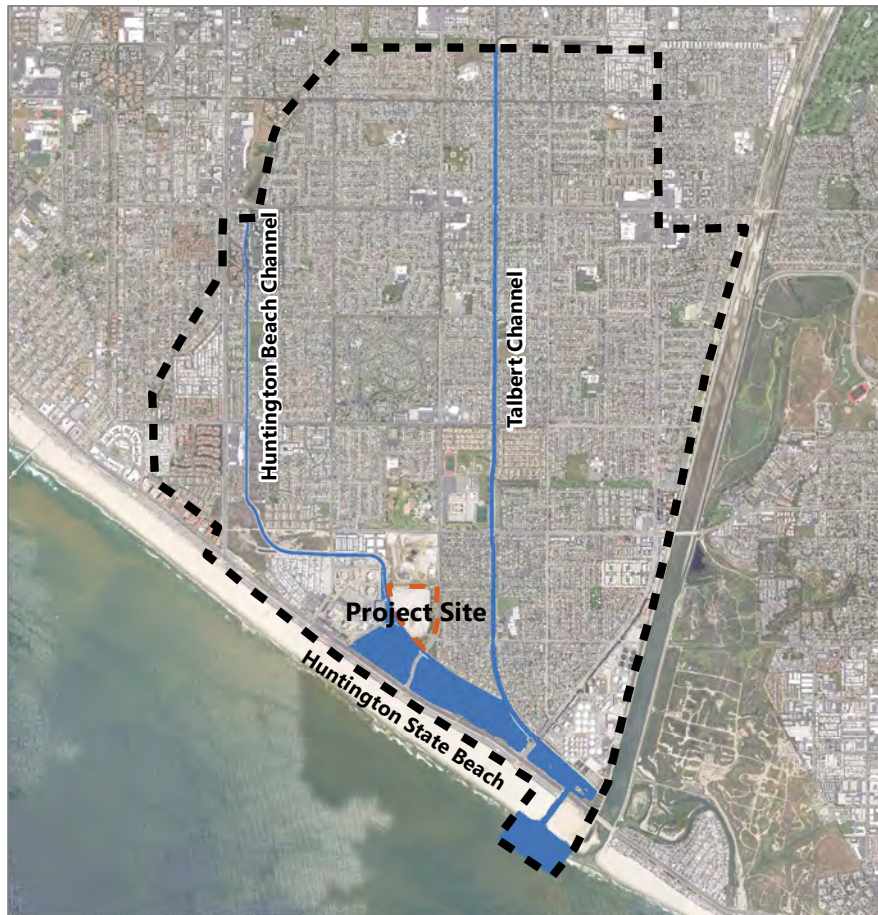
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**Figure 5**

**100-Year Flood Maximum Water Levels Under 7.0 feet SLR for Existing Condition and Proposed Condition With Berms**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project





**LEGEND:**

Project Site

Model Domain Boundary

**Change in Water Level (feet)**

- <0.0'
- 0.0' to 0.1'
- 0.1' to 0.5'
- 0.5' to 1.0'
- 1.0' to 2.0'
- 2.0' to 2.5'

**NOTE:**

Aerial image from CDFW 2020

**HORIZONTAL DATUM:**

California State Plane, Zone VI, North American Datum of 1983 (NAD83), U.S. Survey Feet



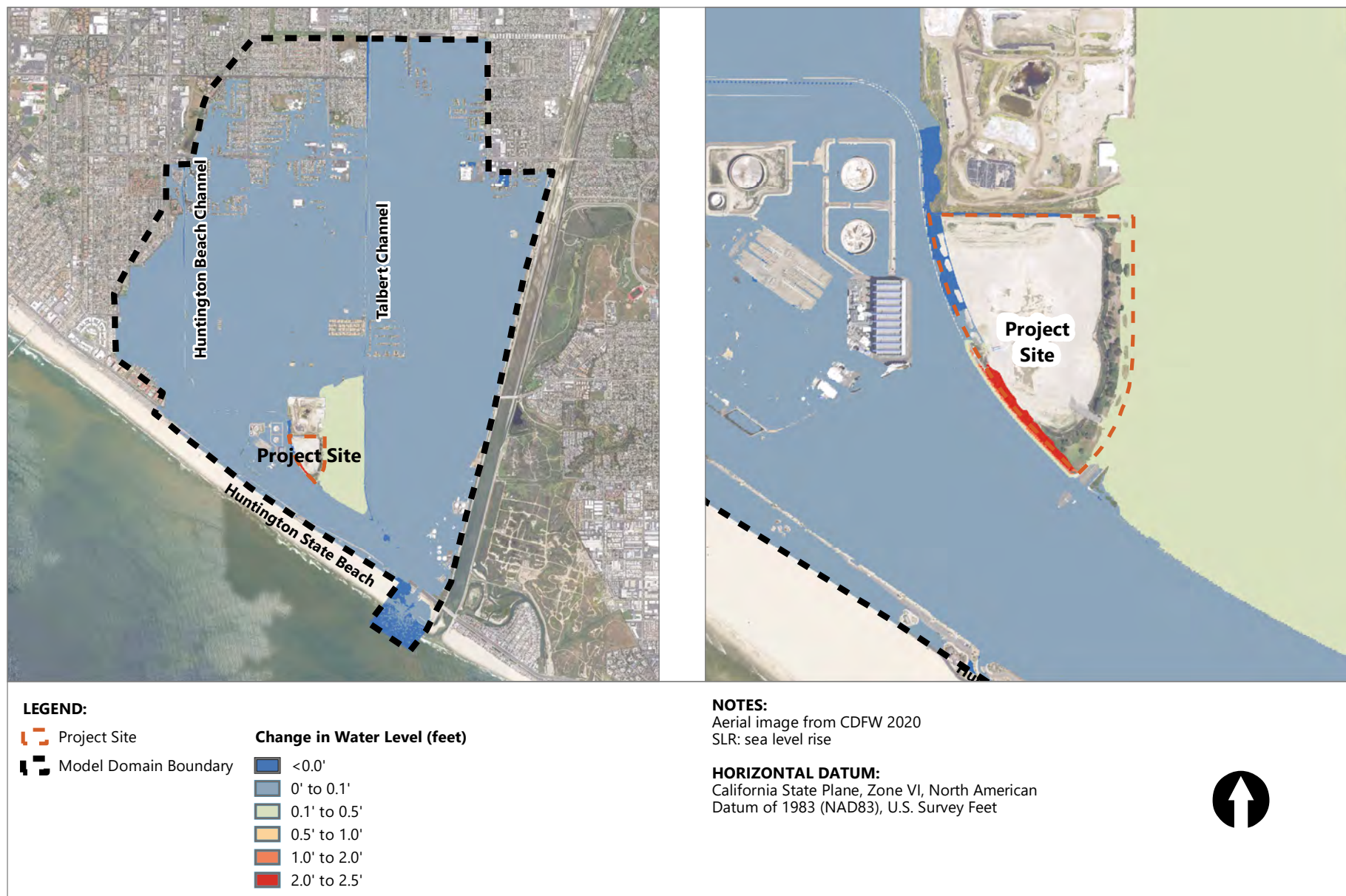
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**Figure 6**

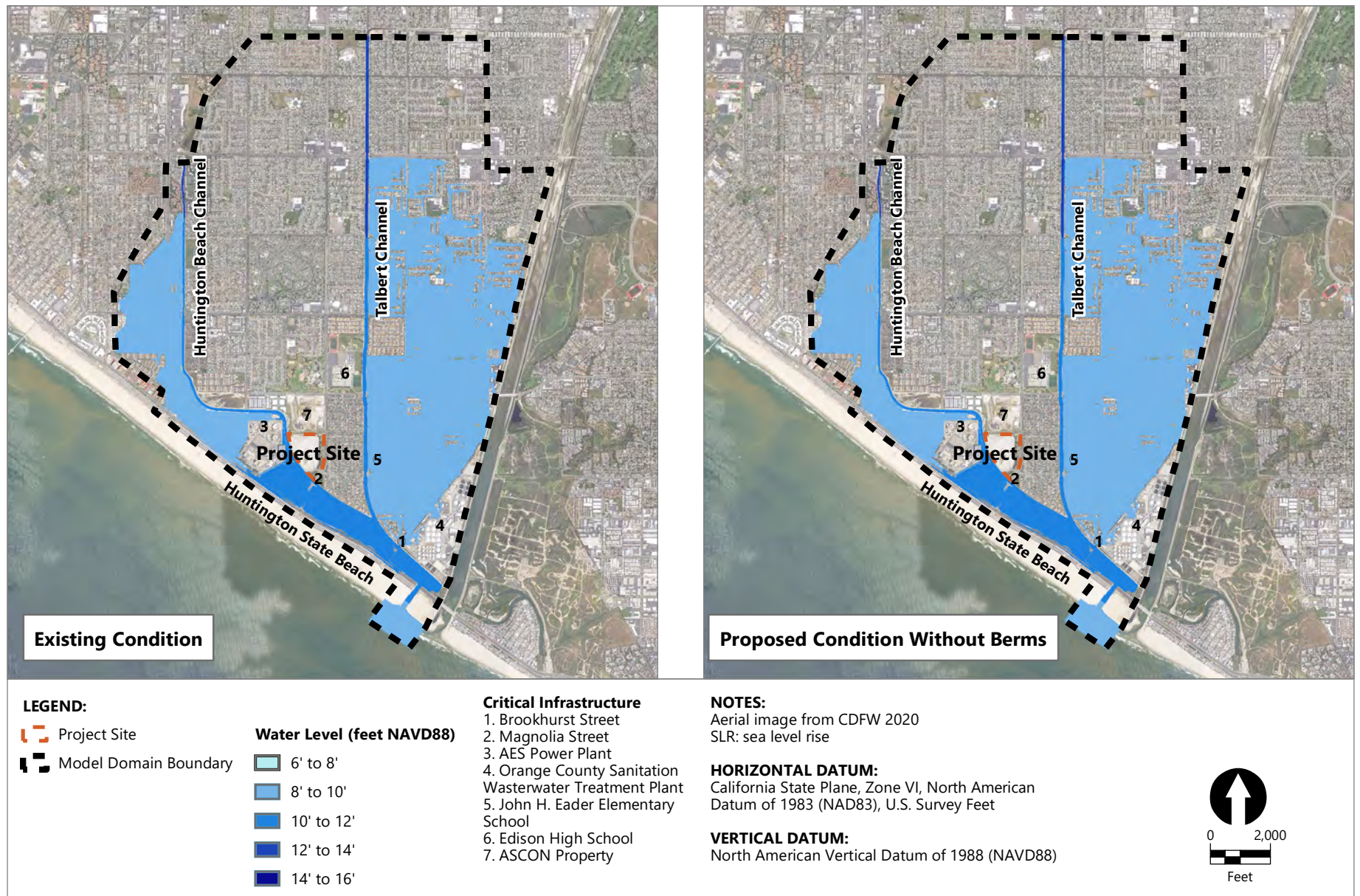
**Change in 100-Year Flood Maximum Water Levels Under Current Sea Level Between Existing and Proposed With Berms Conditions**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project



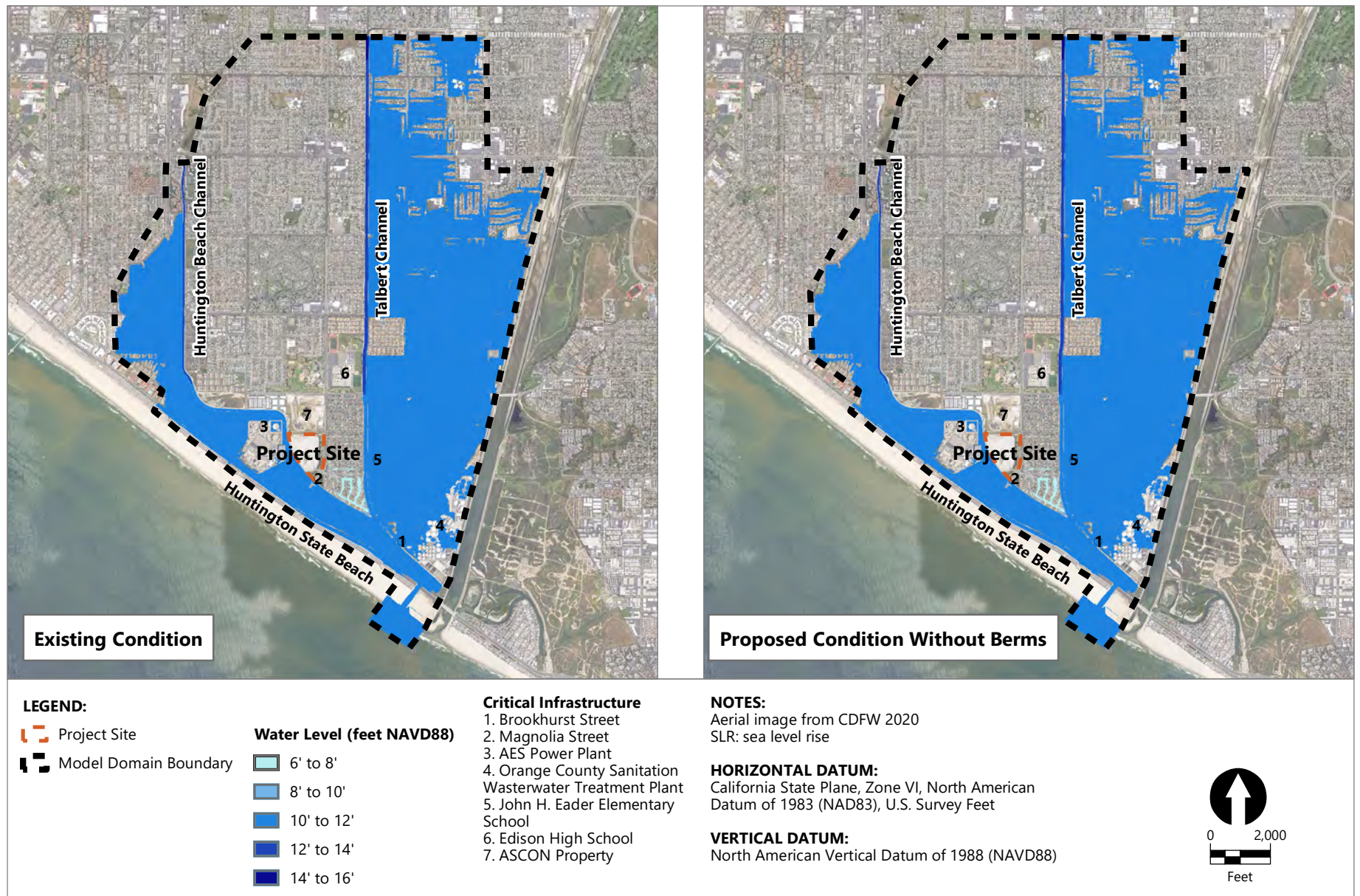


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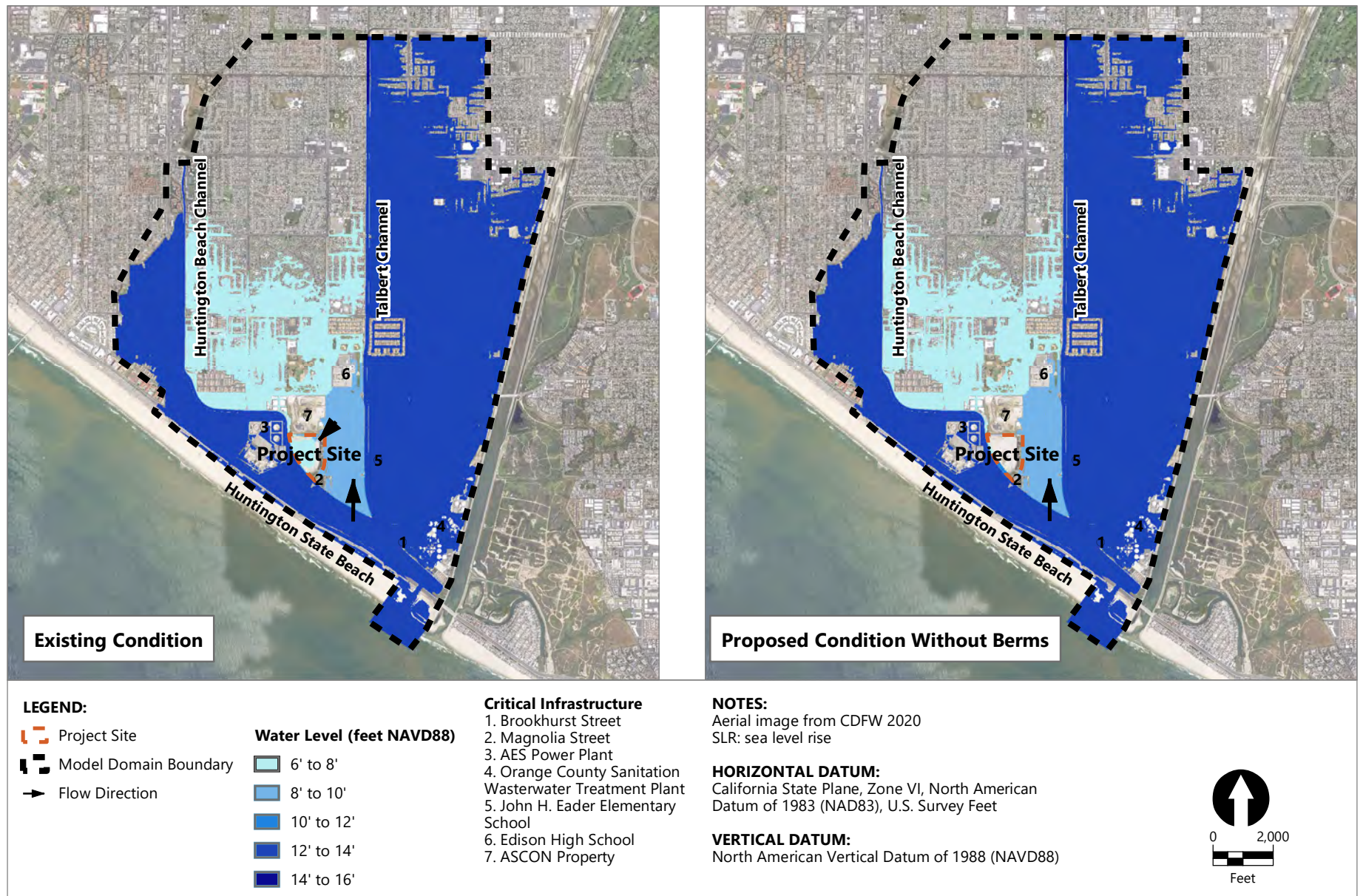
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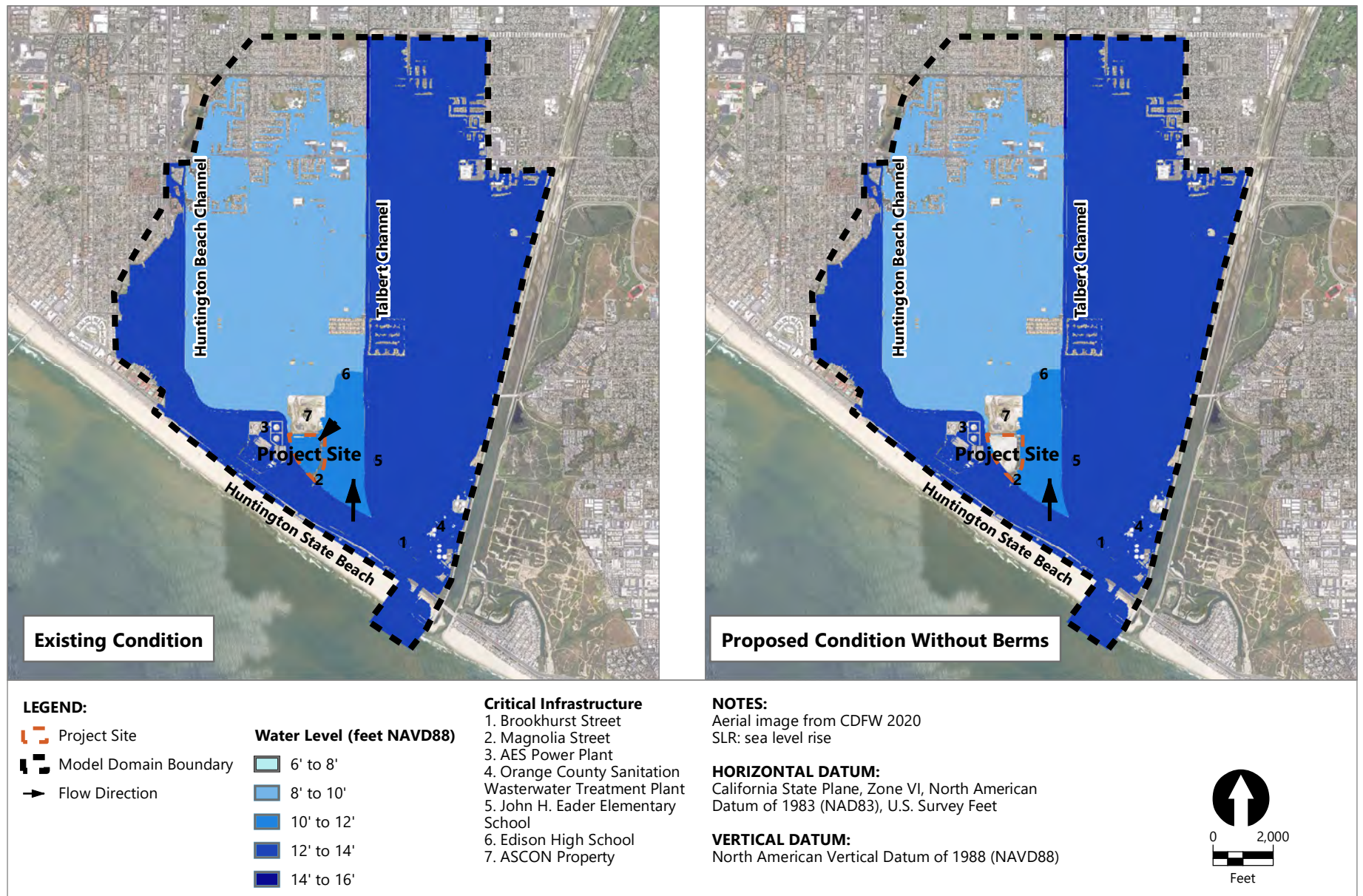


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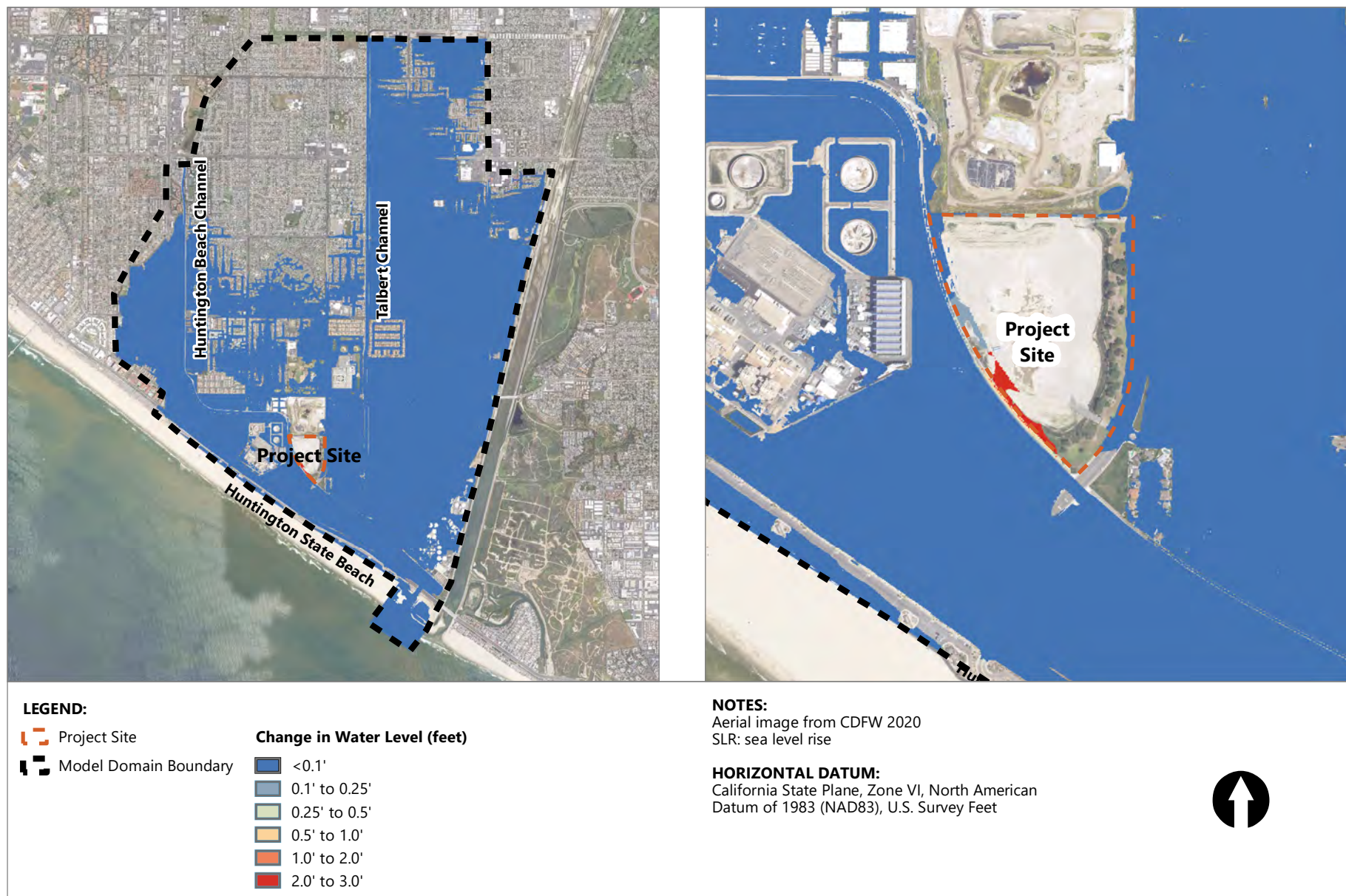


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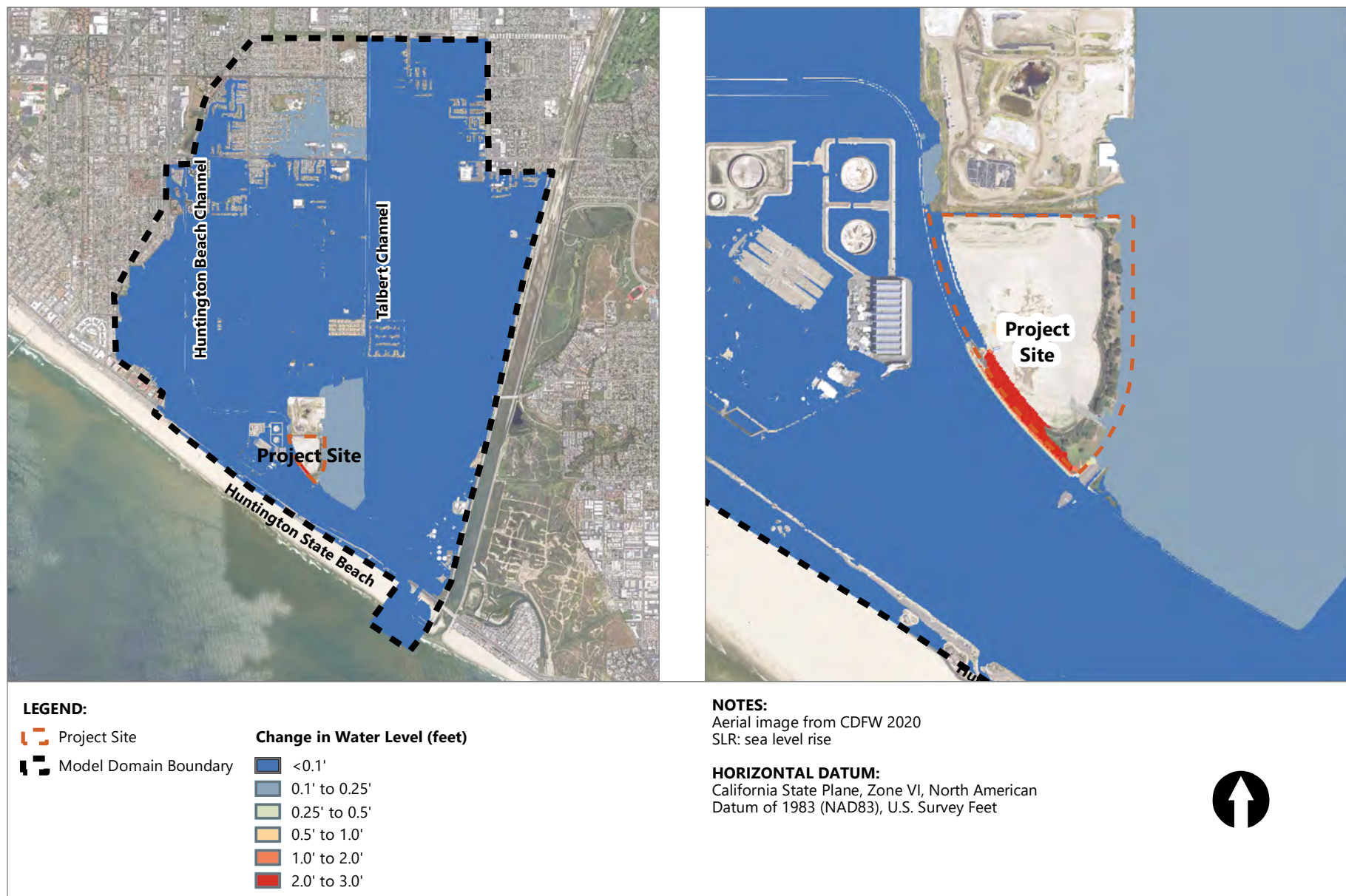
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**Figure 12**

**Change in 100-Year Flood Maximum Water Levels Under 6.0 feet SLR Between Existing and Proposed Without Berms Conditions**

Flood Assessment with Sea Level Rise  
Magnolia Tank Farm Redevelopment Project





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