

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



Th6a

5-23-0296 (Barney)

September 7, 2023

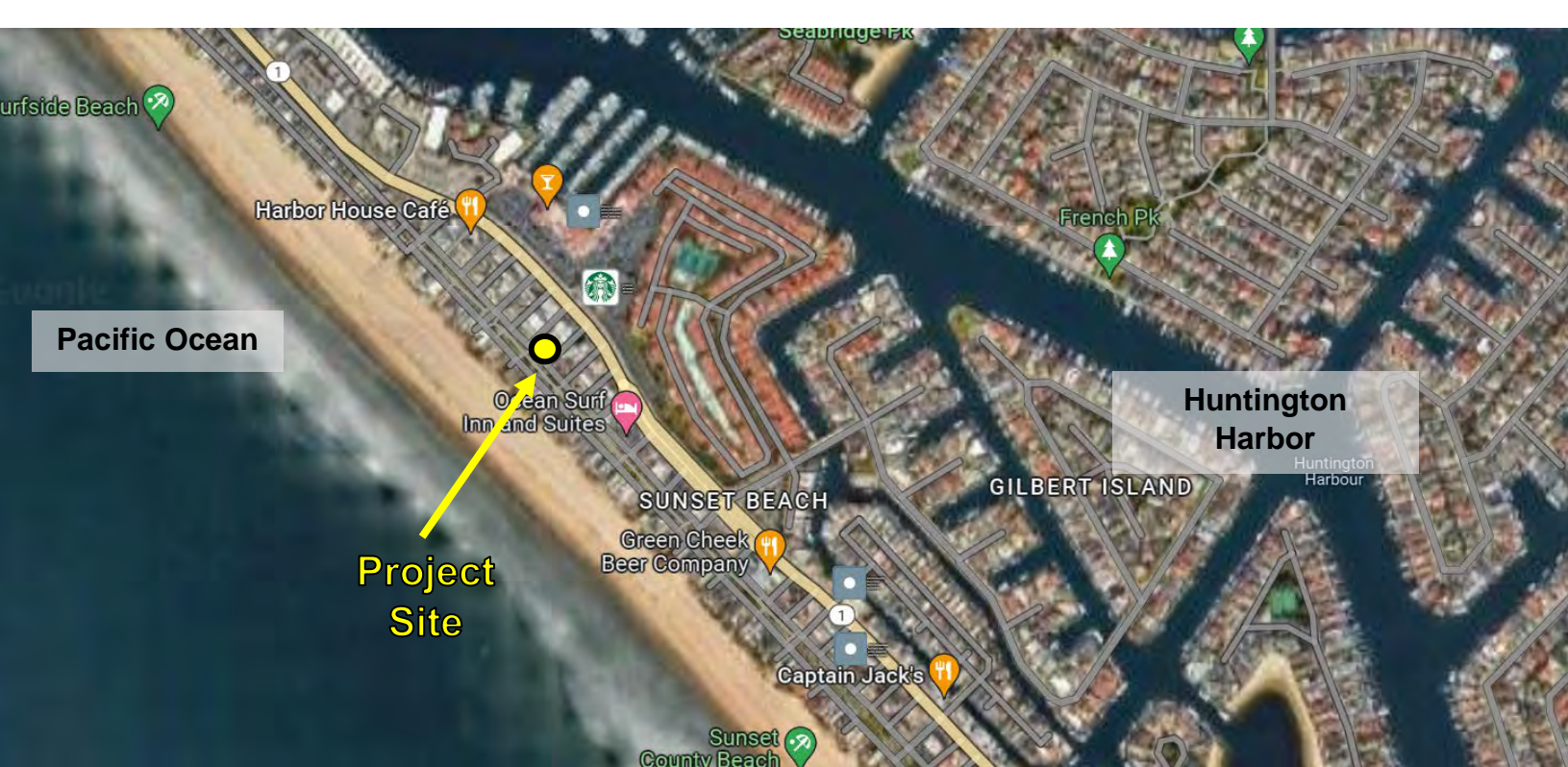
EXHIBITS

Table of Contents

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 - CoSMoS Sea Level Rise Map





CALIFORNIA COASTAL COMMISSION CONDITIONS:

1. BEACH FACING DECK RAILING SYSTEMS, FENCES, SCREEN WALLS, GATES, AND WINDOWS SUBJECT TO THIS PERMIT SHALL USE MATERIALS DESIGNED TO MINIMIZE BIRD-STRIKES WITH THE DECK RAILING, FENCE, GATE, OR WINDOW. SUCH MATERIALS MAY CONSIST, ALL OR IN PART, OF WOOD, WROUGHT IRON, FROSTED OR PARTIALLY-FROSTED GLASS, PLEXIGLAS OR OTHER VISUALLY PERMEABLE BARRIERS THAT ARE DESIGNED TO PREVENT ORCA OF A BIRD STRIKE HAZARD. CLEAR GLASS OR PLEXIGLAS MAY BE INSTALLED ONLY IF IT CONTAINS UV-REFLECTIVE GLAZING THAT IS VISIBLE TO BIRDS DESIGNED TO REDUCE BIRD STRIKES BY REDUCING REFLECTIVITY AND TRANSPARENCY. ALL MATERIALS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE DEVELOPMENT TO ENSURE CONTINUED EFFECTIVENESS AT MINIMIZING BIRD STRIKES AND SHALL BE MAINTAINED AT A MINIMUM IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. THE PERMITTEE SHALL UNDERTAKE DEVELOPMENT IN ACCORDANCE WITH THE APPROVAL FINAL PLANS, ANY PROPOSED CHANGES TO THE APPROVED FINAL PLANS SHALL BE REPORTED TO THE EXECUTIVE DIRECTOR, NO CHANGES TO THE APPROVED FINAL PLANS SHALL OCCUR WITHOUT A COMMISSION AMENDMENT TO THIS COASTAL DEVELOPMENT PERMIT. UNLESS THE EXECUTIVE DIRECTOR DETERMINES THAT NO AMENDMENT IS LEGALLY REQUIRED.
2. STORAGE OF CONSTRUCTION MATERIALS, MECHANIZED EQUIPMENT AND REMOVAL OF CONSTRUCTION DEBRIS, THE PERMITTEE SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION-RELATED REQUIREMENTS:
 - A. NO DEMOLITION OR CONSTRUCTION MATERIALS, DEBRIS, OR WASTE SHALL BE PLACED OR STORED WHERE IT MAY ENTER SENSITIVE HABITAT, RECEIVING WATERS OF A STORM URINAL, OR BE SUBJECT TO WAVE, WIND, OR TIDE. EROSION AND DISPERSION;
 - B. NO DEMOLITION OR CONSTRUCTION EQUIPMENT, MATERIALS, OR ACTIVITY SHALL BE PLACED IN OR OCCUR IN ANY LOCATION THAT WOULD RESULT IN IMPACTS TO ENVIRONMENTALLY SENSITIVE HABITAT AREAS, STREAMS, WETLANDS OR THEIR BUFFERS;
 - C. ANY AND ALL DEBRIS RESULTING FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMOVED FROM THE PROJECT SITE WITHIN 24 HOURS OF COMPLETION OF THE PROJECT;
 - D. DEMOLITION OR CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE REMOVED FROM WORK AREAS EACH DAY THAT DEMOLITION OR CONSTRUCTION OCCURS TO PREVENT THE ACCUMULATION OF SEDIMENT AND OTHER DEBRIS THAT MAY BE DISCHARGED INTO COASTAL WATERS;
 - E. ALL TRASH AND DEBRIS SHALL BE DISPOSED IN THE PROPER TRASH AND RECYCLING RECEPTACLES AT THE END OF EVERY CONSTRUCTION DAY;
 - F. THE PERMITTEE SHALL PROVIDE ADEQUATE DISPOSAL FACILITIES FOR SOLID WASTE, INCLUDING EXCESS CONCRETE, PRODUCED DURING DEMOLITION OR CONSTRUCTION;
 - G. DEBRIS SHALL BE DISPOSED OF AT A LEGAL DISPOSAL SITE OR RECYCLED AT A RECYCLING FACILITY. IF THE DISPOSAL SITE IS LOCATED IN THE COASTAL ZONE, A COASTAL DEVELOPMENT PERMIT OR AN AMENDMENT TO THIS PERMIT SHALL BE REQUIRED BEFORE DISPOSAL. CAN TAKE PLACE UNLESS THE EXECUTIVE DIRECTOR DETERMINES THAT NO AMENDMENT OR NEW PERMIT IS LEGALLY REQUIRED;
 - H. ALL STOCK PILES AND CONSTRUCTION MATERIALS SHALL BE COVERED, ENCLOSED ON ALL SIDES, SHALL BE LOCATED AS FAR AWAY AS POSSIBLE FROM DRAIN INLETS AND ANY WATERWAYS, AND SHALL NOT BE STORED IN CONTACT WITH THE SOIL;
 - I. MACHINERY AND EQUIPMENT SHALL BE MAINTAINED AND WASHED IN CONFINED AREAS SPECIFICALLY DESIGNED TO CONTROL RUNOFF. THINNERS OR SOLVENTS SHALL NOT BE DISCHARGED INTO SANITARY OR STORM SEWER SYSTEMS;
 - J. THE DISCHARGE OF ANY HAZARDOUS MATERIALS INTO ANY RECEIVING WATERS SHALL BE PROHIBITED;
 - K. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED TO ENSURE THE PROPER HANDLING AND STORAGE OF PETROLEUM PRODUCTS AND OTHER CONSTRUCTION MATERIALS. MEASURES SHALL INCLUDE A DESIGNATED FUELING AND VEHICLE MAINTENANCE AREA WITH APPROPRIATE BERMES AND PROTECTION TO PREVENT ANY SPILLAGE OF GASOLINE OR RELATED PETROLEUM PRODUCTS OR CONTACT WITH RUNOFF. THE AREA SHALL BE LOCATED AS FAR AWAY FROM THE RECEIVING WATERS AND STORM DRAIN INLETS AS POSSIBLE;
 - L. BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING PRACTICES (GHPs) DESIGNED TO PREVENT SPILLAGE AND/OR RUNOFF OF DEMOLITION OR CONSTRUCTION-RELATED MATERIALS, AND TO CONTAIN SEDIMENT OR CONTAMINANTS ASSOCIATED WITH DEMOLITION OR CONSTRUCTION ACTIVITY, SHALL BE IMPLEMENTED PRIOR TO THE ON-SET OF SUCH ACTIVITY; AND
 - M. ALL BMPs SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY.
 - N. DURING CONSTRUCTION OF THE PROJECT, NO RUNOFF, SITE DRAINAGE OR DEWATERING SHALL BE DIRECTED FROM THE SITE INTO ANY STREET, ALLEY OR STORMDRAIN, UNLESS SPECIFICALLY AUTHORIZED BY THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.

SCOPE OF WORK:

- THE FOLLOWING SCOPE OF WORK DESCRIPTION IS A GENERALIZED SUMMARY AND NOT A COMPREHENSIVE DESCRIPTION OF THE REQUIRED CONSTRUCTION WORK. REVIEW ALL PLANS SHEETS FOR A COMPLETE DEPICTION OF THE WORK OF THESE PLANS.
1. REMOVE ENTIRE STRUCTURE OF EXISTING TWO-STORY HOME AT EAST SIDE OF LOT.
 2. PERFORM GROUND IMPROVEMENTS TO PORTION OF LOT UNDER PROPOSED PROJECT PER GEOTECH REPORT.
 3. REBUILD NEW THREE-STORY STRUCTURE PER PLANS TO INCLUDE 3 BEDROOMS, 3.5 BATHS & 3 CAR GARAGES.
 4. CONSTRUCTION STAGING AREA SHOWN ON SITE PLAN IS AVAILABLE FOR CONSTRUCTION STAGING AND STORAGE OF MATERIALS. FINAL STAGING AREA WILL BE DETERMINED BY THE GENERAL CONTRACTOR. NO STAGING SHALL OCCUR ON THE BEACH, THE ROUTE TO THE BEACH, OR ANY PUBLIC PARKING SPACES. CONSTRUCTION STAGING MAY ALSO OCCUR ON THE FINISHED FLOOR SLAB AS DETERMINED BY THE GENERAL CONTRACTOR.
 5. STREET USE PERMIT - ANY REQUIRED PERMITS FOR USE OF PUBLIC STREET BY THE CITY OF HUNTINGTON BEACH BEFORE AND DURING CONSTRUCTION SHALL BE OBTAINED BY THE GENERAL CONTRACTOR.
 6. PROVIDE STORM FLOODING PROTECTION PER PLANS AS REQUIRED BY CALIFORNIA COASTAL COMMISSION
- * NO WORK IS BEING PROPOSED TO THE EXISTING SECOND DWELLING (16472 24TH STREET) UNIT ON SITE.

PROJECT TEAM:

BUILDING OWNER:
DR. CHRISTIAN BARNEY
16472 24TH STREET
SUNSET BEACH, CA 90742
PHONE: 949-697-5022

ARCHITECT:
E.C. LIND ARCHITECT, LLP
P.O. BOX 1107
CAMARILLO, CA 93011
PHONE: 805-389-6644
EMAIL: ec@ecclind.com
CONTACT: ERIC LIND

SURVEYOR:
COMMERCIAL DEVELOPMENT RESOURCES
4121 WESTLEY PLACE #112
NEWPORT BEACH, CA 92660
PHONE: 949-640-8997
CONTACT: ROBERT RUSSELL

GEOTECH:
ENVIRONMENTAL GEOTECHNOLOGY LABORATORY, INC
11819 GOLDING ROAD, SUITE A
ARCADIA, CA 91006
PHONE: 626-263-3588
EMAIL: ryan@eglab.com
CONTACT: RYAN JONES

COASTAL HAZARDS/SEA LEVEL STUDY:
GEOSOLS, INC.
5741 PALMER WAY
CARLSBAD, CA 92010
PHONE: 760-438-3155
EMAIL: ec@geosolsinc.com
CONTACT: DAVID SKELLY

CODE ANALYSIS / PROJECT DATA:

PROJECT ADDRESS: 16474 24TH STREET
SUNSET BEACH, CA 90742

APN: 178-514-04

LEGAL DESCRIPTION: LOT 2, BLOCK 124, TRACT 757

ZONE: SP 17-02 SUNSET BEACH SPECIFIC PLAN - COASTAL ZONE OVERLAY, RESIDENTIAL HIGH DENSITY DISTRICT

LOT AREA: 3,149 S.F. (0.07 ACRE)

CONSTRUCTION TYPE: V-B W/ FIRE SPRINKLERS

OCCUPANCY GROUP(S): R-3 - DWELLING
U - GARAGE

AREAS:

EXISTING - 16472:	(NO WORK)
(E) FIRST FLOOR	726 S.F.
(E) SECOND FLOOR	821 S.F.
(E) TOTAL RESIDENCE	1,557 S.F.
(E) SECOND FLOOR DECK	213 S.F.
EXISTING - 16474:	(REMOVE COMPLETELY)
(E) FIRST FLOOR GARAGE	1,091 S.F.
(E) SECOND FLOOR	1,051 S.F.
(E) TOTAL RESIDENCE	2,142 S.F.
(E) SECOND FLOOR DECK	328 S.F.
REBUILD - 16474:	
FIRST FLOOR	1,127 S.F.
SECOND FLOOR	1,338 S.F.
THIRD FLOOR	1,000 S.F.
TOTAL RESIDENCE	3,534 S.F.
(697 S.F. GARAGE)	
THIRD FLOOR DECK	234 S.F.
THIRD FLOOR LANDING	16 S.F.
ROOF DECK	990 S.F.
TOTAL DECK AREA	1,210 S.F.

BUILDING HEIGHT: 35'-0" MAXIMUM FROM CENTERLINE OF 24TH STREET

SET BACKS:

FRONT	5'-0" ON GROUND FLOOR 6" ABOVE GROUND FLOOR
SIDE ADJACENT TO STREETS & ALLEYS	3'-0" ON GROUND FLOOR 5'-0" AT GARAGE 6" ABOVE GROUND FLOOR
SIDE ADJACENT TO OTHER BUILDING SITES	3'-0" ALL FLOORS
REAR	5'-0" ON GROUND FLOOR 6" ABOVE GROUND FLOOR

PARKING:

EXISTING PROVIDED	4 COVERED (3 GARAGE & 1 CARPORT) 4 COVERED (3 GARAGE & 1 CARPORT)
-------------------	--

APPLICABLE CODES:

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- 2022 CALIFORNIA GREEN BUILDING STANDARDS

AND ALL OTHER APPLICABLE LOCAL CITY AND COUNTY CODES, ORDINANCES AND STANDARDS.

SHEET INDEX:

ARCHITECTURAL:

A-1.1	SITE PLAN & PROJECT DATA
A-2.1	FIRST & SECOND FLOOR PLAN
A-2.2	THIRD FLOOR & ROOF PLAN
A-2.3	FOUNDATION PLAN
A-3.1	EXTERIOR ELEVATIONS
A-3.2	SECTIONS

SURVEY:

1	SURVEY
---	--------

REVISIONS		
NO.	REVISION	DATE
1	PLANNING	1-31-23
2	CA COASTAL	6-13-23
3	CA COASTAL	7-21-23

ARCHITECT:

E.C. LIND
Architect, LLP

P.O. BOX 1107
Camarillo, California 93011
Phone: 805-389-6644

CONSULTANT:

PROJECT - REMODEL & ADDITION TO:

BARNEY RESIDENCE
16474 24TH STREET
SUNSET BEACH, CA 90742

SHEET TITLE - SITE PLAN & PROJECT DATA

JOB NO: 22114

DRAWN: J.T.P.

CHECKED BY: E.C.L.

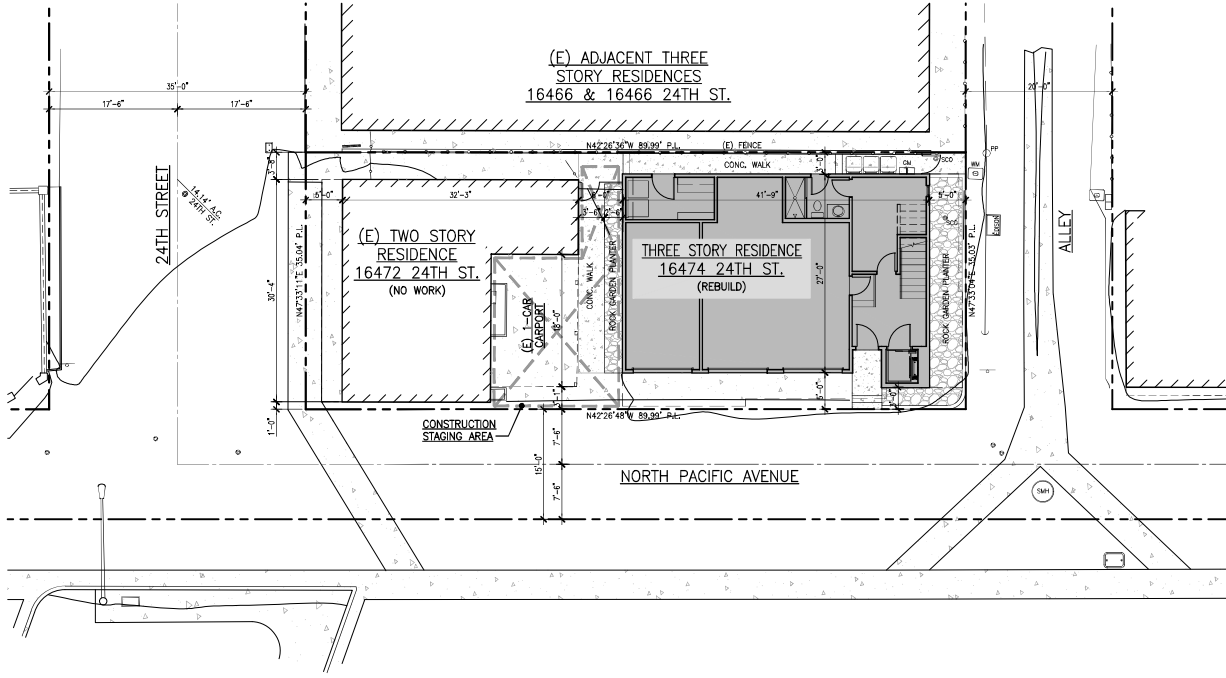
DATE: 11-30-2022

YEAR:

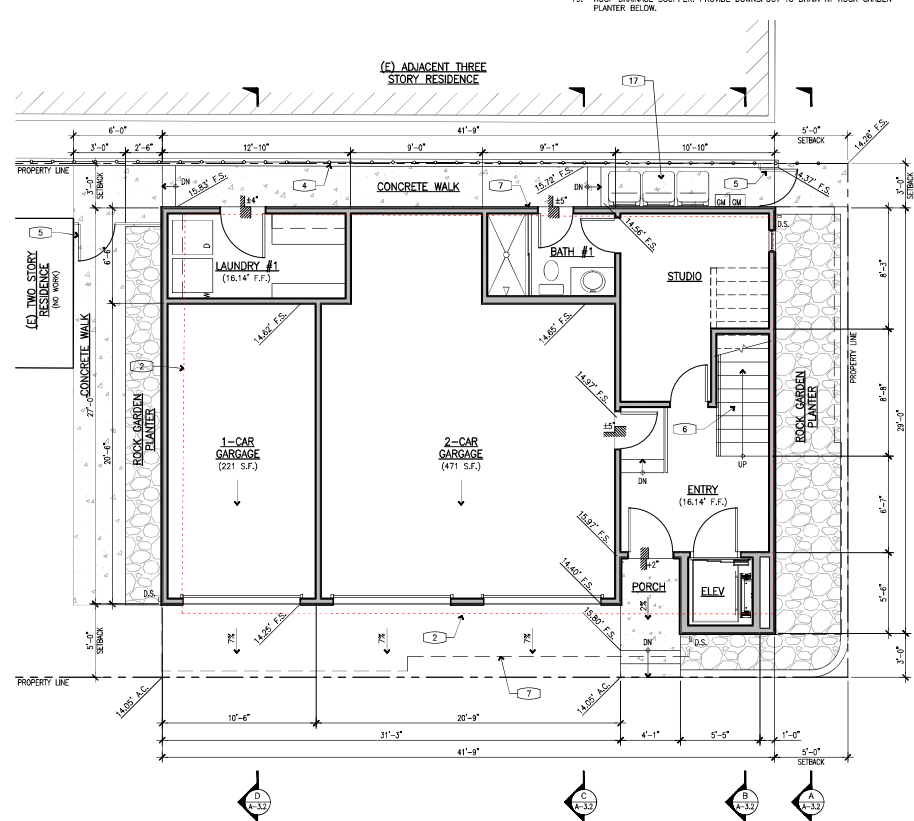
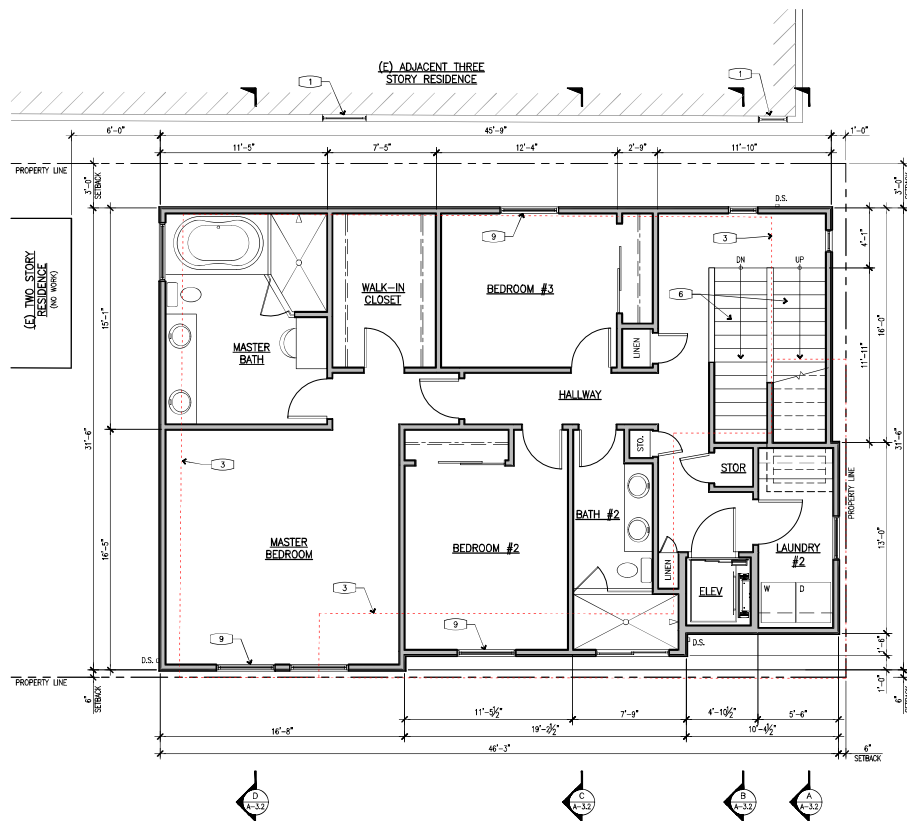
REGISTERED ARCHITECT
E.C. LIND
C-16909
05/31/23
STATE OF CALIFORNIA



VICINITY MAP
SCALE: N.T.S.



SITE PLAN
SCALE: 1/8" = 1'-0"



- KEY NOTES:**
- APPROXIMATE LOCATION OF EXISTING WINDOWS OF ADJACENT RESIDENCE.
 - LINE OF (E) RESIDENCE FIRST FLOOR TO BE REMOVED.
 - LINE OF (E) RESIDENCE SECOND FLOOR WALLS & DECK TO BE REMOVED.
 - (E) VINYL FENCE TO REMAIN.
 - (N) GATE TO MATCH (E) FENCE.
 - STAIRS WITH 1" TREADS & 7"-1/4" RISERS (7'-3/4" MAX.).
 - LINE OF FLOOR ABOVE.
 - LINE OF CEILING ABOVE.
 - PROVIDE AN OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING FROM ALL SLEEPING ROOMS. THE NET CLEAR OPENING AREA SHALL BE NOT LESS THAN 5.7 S.F. (EXCEPTION: GROUND FLOOR OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5.0 S.F.). THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20". THE BOTTOM OF THE CLEAR OPENING AREA SHALL NOT BE GREATER THAN 44" ABOVE THE FLOOR. THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED. (CIC 8310)
 - PROVIDE METAL & GLASS GUARD RAIL WITH TOP CAP, 42" MIN. HEIGHT ABOVE DECK SURFACE. GUARDS SHALL NOT ALLOW PASSAGE OF A 4" SPHERE, TYP.
 - PROVIDE GUARD WALL WITH METAL CAP, 42" MIN. HEIGHT ABOVE DECK SURFACE.
 - PROVIDE WATERPROOFING MEMBRANE AT DECK SURFACE.
 - PROVIDE CRICKET AT DECK SURFACE TO PROVIDE DRAINAGE TO SLOPPERS.
 - 10"-12" CHIMNEY FLUE W/ CAP & SPARK ARRESTOR PER FIREPLACE MANUFACTURER. SET HEIGHT 2' MIN. ABOVE ANY STRUCTURE WITHIN 10'. FLUE NOT TO EXCEED DIMENSIONS OF 2'-2" & NOT TO EXCEED THE HEIGHT OF THE BUILDING BY MORE THAN 10 PERCENT (3.5').
 - SOLAR PANELS PER ENERGY ANALYSIS FORM.
 - LOCATION OF HOT TUB SPA PER OWNER, MAXIMUM CAPACITY OF 1,000 GALLONS.
 - APPROXIMATE LOCATION OF TRASH BINS SCREENED BY FENCE/GATE. ENCLOSURE, NUMBER & SIZE OF BINS PER TRASH REMOVAL SERVICE.
 - ROOFTOP MECHANICAL UNITS SCREENED BY PARAPET.
 - ROOF DRAINAGE SLOPPER, PROVIDE DOWNSPOUT TO DRAIN AT ROCK GARDEN PLANTER BELOW.

REVISIONS		
NO.	REVISION	DATE
1	PLANNING	1-31-23
2	CA COASTAL	6-13-23

ARCHITECT:
E.C. LIND
Architect, LLP
P.O. BOX 1107
Camarillo, California 93011
Phone: 805-399-6644

CONSULTANT:

PROJECT : REMODEL & ADDITION TO:
BARNEY RESIDENCE
16474 24TH STREET
SUNSET BEACH, CA 90742

SHEET TITLE :
**FIRST & SECOND
FLOOR PLANS**

JOB NO.: 22114
DRAWN: J.T.P.
CHK'D BY: E.C.L.
DATE: 11-30-2022
STAMP:



GENERAL NOTES:

1. ALL ROOF STRUCTURES, SUCH AS AIR CONDITIONING UNITS, ELEVATOR EQUIPMENT, OR OTHER ROOF MOUNTED APPURTENANCES, SHALL BE SCREENED FROM VIEW AND SHALL NOT EXCEED THE OVERALL 35 FOOT HEIGHT LIMIT, EXCEPT CHIMNEYS AND OTHER VENTILATION STRUCTURES NOT TO INDIVIDUALLY EXCEED DIMENSIONS OF TWO FEET BY TWO FEET PER FLUE AND NOT TO EXCEED THE HEIGHT OF THE BUILDING BY MORE THAN 10 PERCENT.
2. ALL ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET OR SHALL BE SETBACK 15' FROM BUILDING EDGE.

KEY NOTES:

1. APPROXIMATE LOCATION OF EXISTING WINDOWS OF ADJACENT RESIDENCE.
2. LINE OF (E) RESIDENCE FIRST FLOOR TO BE REMOVED.
3. LINE OF (E) RESIDENCE SECOND FLOOR WALLS & DECK TO BE REMOVED.
4. (E) VINYL FENCE TO REMAIN
5. (N) GATE TO MATCH (E) FENCE
6. STAIRS WITH 1 1/2" TREADS & 27-1/4" RISERS (7-3/4" MAX.)
7. LINE OF FLOOR ABOVE
8. LINE OF CEILING ABOVE
9. PROVIDE AN OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING FROM ALL SLEEPING ROOMS. THE NET CLEAR OPENING AREA SHALL BE NOT LESS THAN 5.7 S.F. (EXCEPTION: GROUND FLOOR OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5.0 S.F.). THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20". THE BOTTOM OF THE CLEAR OPENING AREA SHALL NOT BE GREATER THAN 44" ABOVE THE FLOOR. THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F2090 SHALL BE PERMITTED. (CIC 8310)
10. PROVIDE METAL & GLASS GUARD RAIL WITH TOP CAP, 42" MIN. HEIGHT ABOVE DECK SURFACE. GUARDS SHALL NOT ALLOW PASSAGE OF A 4" SPHERE, TYP.
11. PROVIDE GUARD WALL WITH METAL CAP, 42" MIN. HEIGHT ABOVE DECK SURFACE.
12. PROVIDE WATERPROOFING MEMBRANE AT DECK SURFACE.
13. PROVIDE CROCKET AT DECK SURFACE TO PROVIDE DRAINAGE TO SLOPPERS.
14. 10"-12" CHIMNEY FLUE W/ CAP & SPARK ARRESTOR PER FIREPLACE MANUFACTURER. SET HEIGHT 2' MIN. ABOVE ANY STRUCTURE WITHIN 10'. FLUE NOT TO EXCEED DIMENSIONS OF 2'x2' & NOT TO EXCEED THE HEIGHT OF THE BUILDING BY MORE THAN 10 PERCENT (3.5').
15. SOLAR PANELS PER ENERGY ANALYSIS FORM
16. LOCATION OF HOT TUB SPA PER OWNER, MAXIMUM CAPACITY OF 1,000 GALLONS.
17. APPROXIMATE LOCATION OF TRASH BINS SCREENED BY FENCE/GATE. ENCLOSURE NUMBER & SIZE OF BINS PER TRASH REMOVAL SERVICE.
18. ROOFTOP MECHANICAL UNITS SCREENED BY PARAPET.
19. ROOF DRAINAGE SLOPPER, PROVIDE DOWNSPOUT TO DRAIN AT ROOF GARDEN PLANTER BELOW.

REVISIONS

NO.	REVISION	DATE
1	PLANNING	1-31-23
2	CA COASTAL	6-23-23

ARCHITECT:
E.C. LIND
Architect, LLP
P.O. BOX 1107
Camarillo, California 93011
Phone: 805-399-6644
CONSULTANT:

PROJECT : REMODEL & ADDITION TO:
BARNEY RESIDENCE
16474 24TH STREET
SUNSET BEACH, CA 90742

SHEET TITLE :
THIRD FLOOR & ROOF PLANS

JOB NO: 22114
DRAWN: J.T.P.
CHK'D BY: E.C.L.
DATE: 11-30-2022
STAMP:

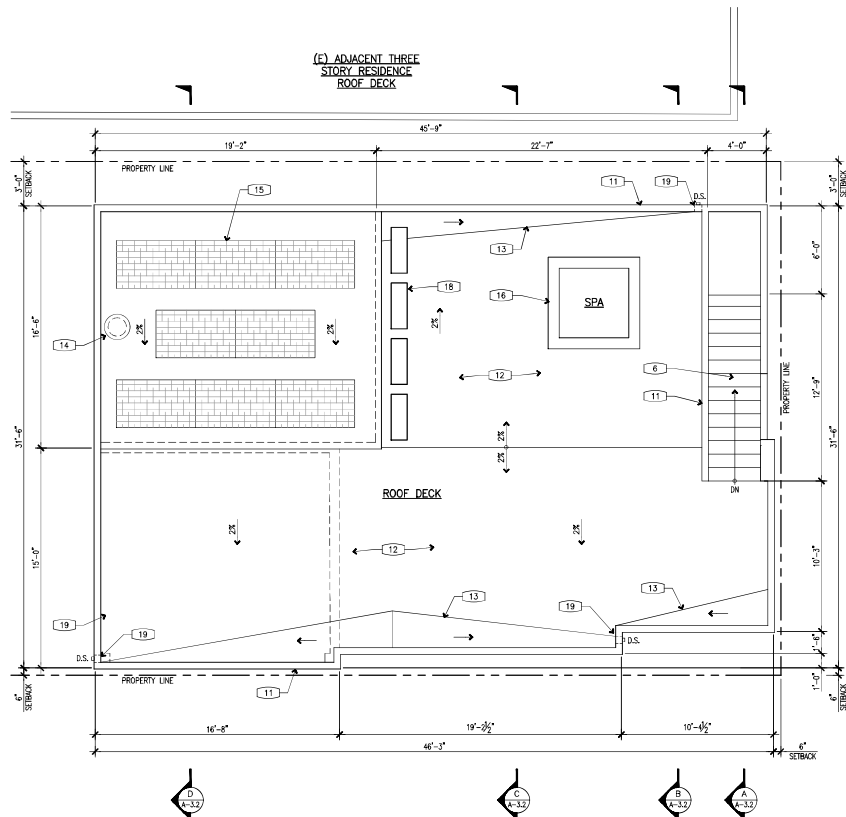


California Coastal Commission

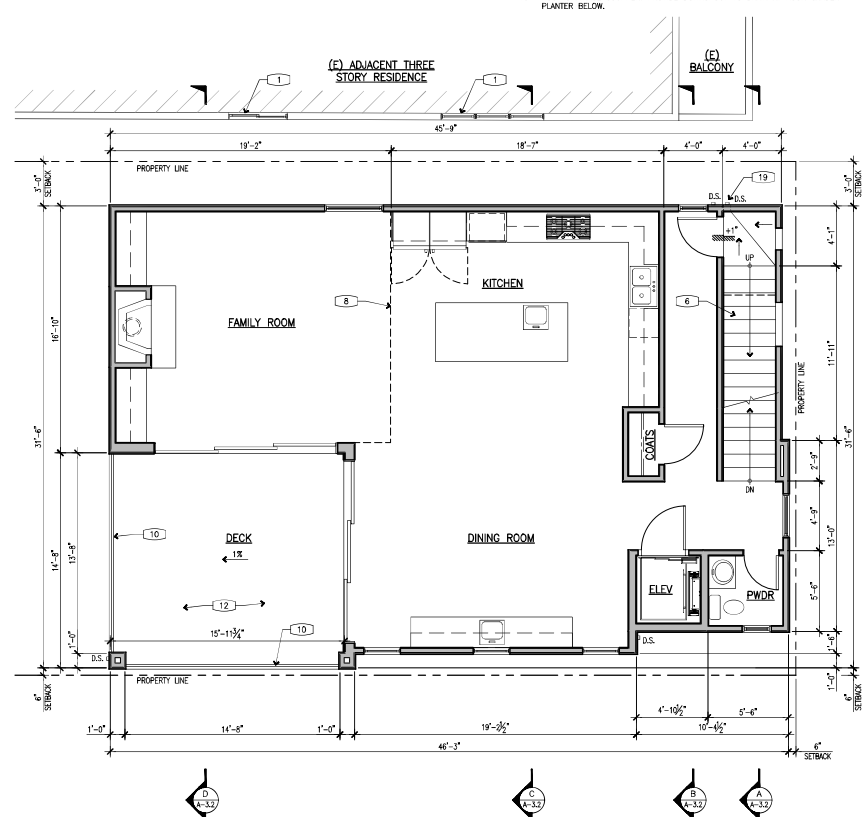
5-23-0296

Exhibit 2

Page 3 of 7



ROOF PLAN
SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

1. ALL EXISTING AND PROPOSED ELEVATIONS REFERENCED IN THE PLAN SET ARE DERIVED FROM THE ATTACHED SURVEY DATA USING A BENCHMARK SET BY NAVD88.
2. FOUNDATION DESIGN: PROVIDE 18" MIN. THICK CONCRETE MAT SLAB W/ #5 BARS @ 12" O.C. POUR OVER 10-MIL POLYETHYLENE MEMBRANE W/ ALL LAPS SEALED. DO NOT USE A SAND BASE.
3. PROVIDE AN APPROVED WATERPROOF COATING TO THE EXTERIOR OF ALL CONCRETE FOUNDATION WALLS.

THE HOMEOWNER IS PROPOSING TO FOLLOW FEMA & THE CITY OF HUNTINGTON BEACH PLANS AND RECOMMENDATION FOR FUTURE RETROFITTING AND/OR WATERPROOFING AS THEY ARE DEVELOPED, WHICH MAY INCLUDE SOME OF THE OPTIONS PROPOSED IN SHEETS A2.3, A3.1, & A3.2.

1. ELEVATE BUILDING UTILITIES

THIS MEASURE INVOLVES ELEVATING ALL BUILDING UTILITY SYSTEMS AND ASSOCIATED EQUIPMENT (E.G., FURNACES, SEPTIC TANKS, AND ELECTRIC AND GAS METERS) TO PROTECTED UTILITIES FROM DAMAGE OR LOSS OF FUNCTION FROM FLOODING. SOMEHOWERS MAY ELEVATE BUILDING UTILITIES USING A VARIETY OF TECHNIQUES, INCLUDING USING ELEVATED PEDESTALS OR PLATFORMS FOR OUTDOOR EQUIPMENT, MOVING EQUIPMENT TO HIGHER FLOORS OR ATTIC SPACES, AND BUILDING AN ELEVATED UTILITY ROOM. TO REDUCE FLOOD DAMAGE TO THE GREATEST EXTENT POSSIBLE, ELEVATE UTILITIES TO THE BFE OR ABOVE.

THIS MEASURE INVOLVES THE USE OF FLOOD DAMAGE-RESISTANT MATERIALS SUCH AS NON-PAPER-FACED GYPSUM BOARD AND TERRAZZO TILE FLOORING FOR BUILDING MATERIALS AND FURNISHINGS LOCATED BELOW THE BFE TO REDUCE STRUCTURAL AND NON-STRUCTURAL DAMAGE AND POST-FLOOD EVENT CLEANUP.

THIS MEASURE INVOLVES INSTALLING A PASSIVE (WORKS AUTOMATICALLY WITHOUT HUMAN ASSISTANCE) DRY FLOODPROOFING SYSTEM AROUND A HOME TO PROTECT THE BUILDING FROM FLOOD DAMAGE. THE COATING OR COVERING MUST BE IMPERVIOUS TO FLOODWATER AND CERTIFIED AND CONSTRUCTED TO A MAXIMUM OF 3' ABOVE GRADE (GROUND LEVEL). TO REDUCE FLOOD DAMAGE TO THE GREATEST EXTENT POSSIBLE, FLOODPROOF TO THE RISE OR ABOVE.

IN DRY FLOODPROOFING, THE PORTION OF THE STRUCTURE THAT IS BELOW THE BFE (WALLS AND OTHER EXTERIOR COMPONENTS) IS SEALED TO MAKE IT WATER-TIGHT AND SUBSTANTIALLY IMPERMEABLE TO FLOODWATERS. SUCH WATER-TIGHT IMPERVIOUS MEMBRANE SEALANT SYSTEMS CAN INCLUDE WALL COATINGS, WATERPROOFING COMPOUNDS, IMPERMEABLE SHEETING AND, SUPPLEMENTAL IMPERMEABLE WALL SYSTEMS, SUCH AS CAST-IN-PLACE CONCRETE. DOORS, WINDOWS, SEWER AND WATER LINES, AND VENTS ARE CLOSED WITH PERMANENT OR REMOVABLE SHIELDS OR VALVES.

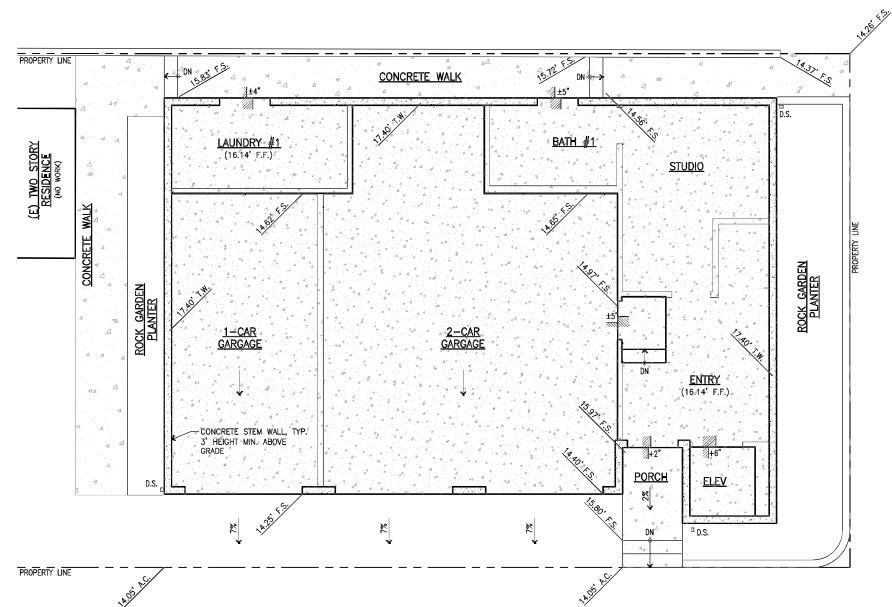
ARCHITECT:



E. C. LIND
Architect, LLP

P.O. BOX 1107
Camarillo, California 93011
Phone: 805-389-6644

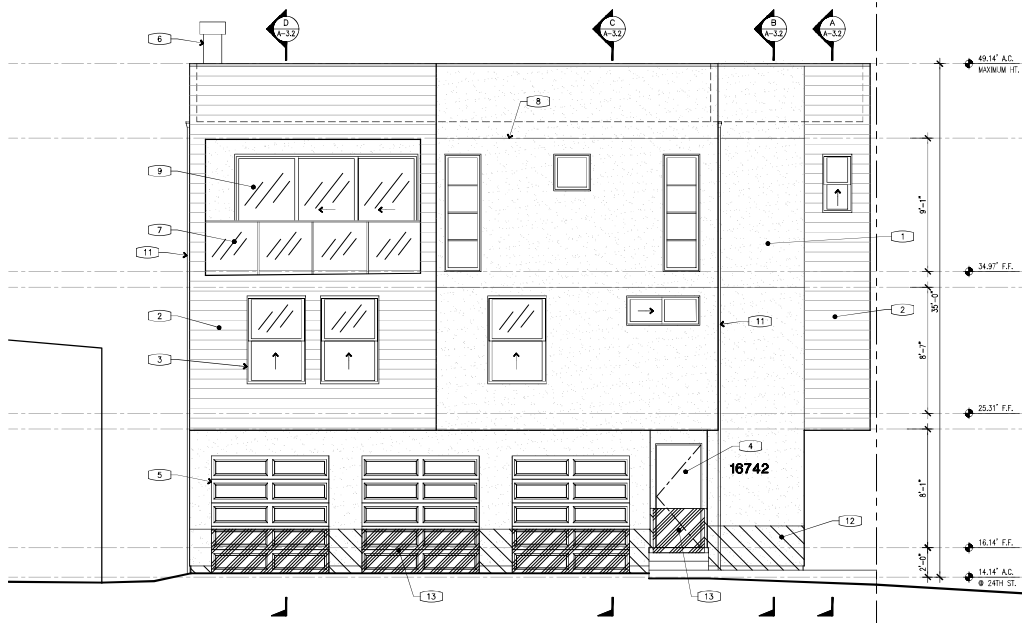
SHEET TITLE :
FOUNDATION PLAN



California Coastal Commission

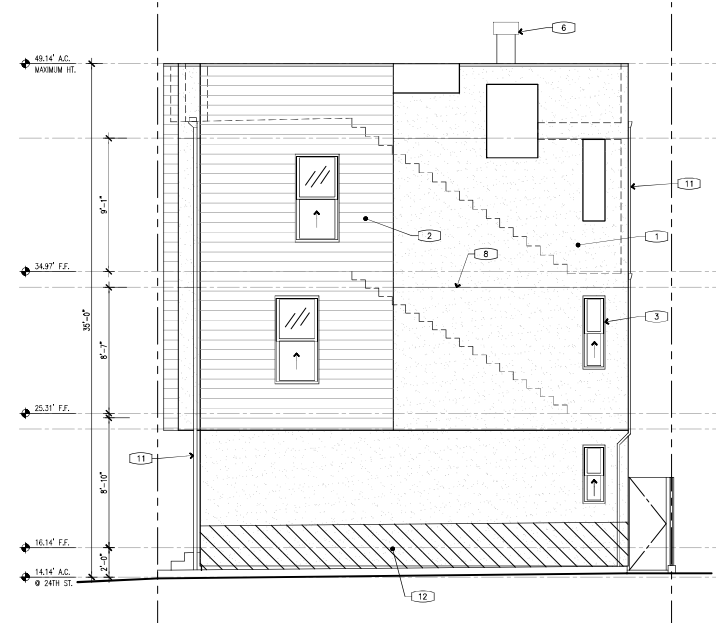
Exhibit 2

Page 4 of 7



SOUTH WEST ELEVATION

SCALE: 1/4" = 1'-0"

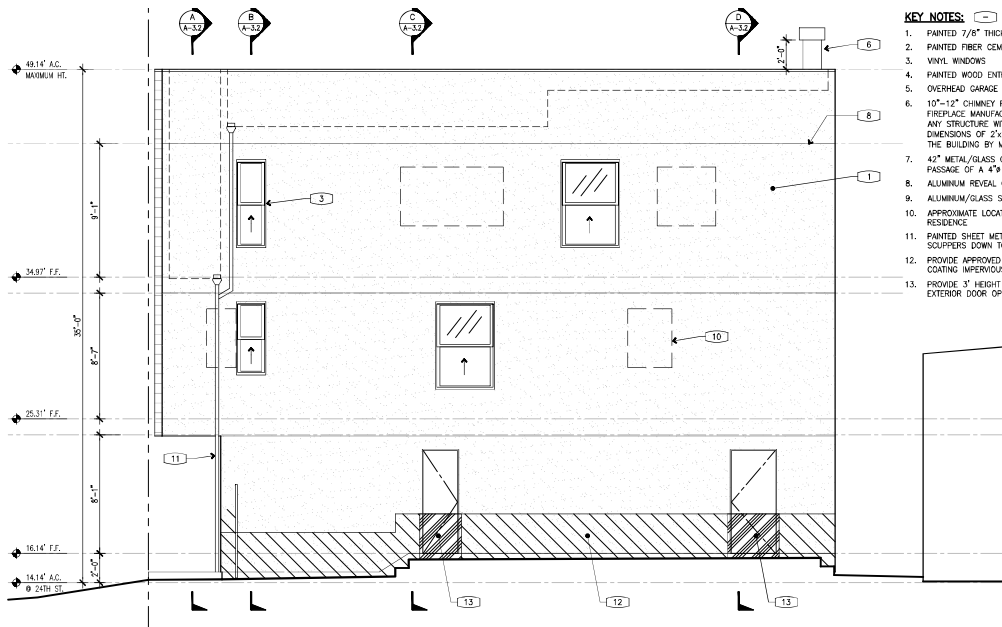


SOUTH EAST ELEVATION

SCALE: 1/4" = 1'-0"

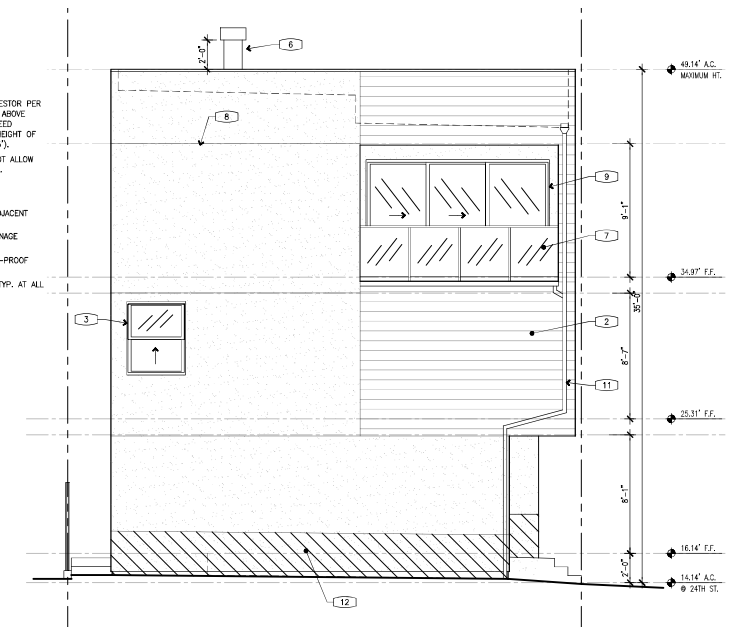
KEY NOTES:

1. PAINTED 7/8" THICK EXTERIOR PLASTER
2. PAINTED FIBER CEMENT SIDING
3. VINYL WINDOWS
4. PAINTED WOOD ENTRY DOOR
5. OVERHEAD GARAGE DOOR
6. 10"-12" CHIMNEY FLUE W/ CAP & SPARK ARRESTOR PER FIREPLACE MANUFACTURER, SET HEIGHT 2' MIN. ABOVE ANY STRUCTURE WITHIN 10'. FLUE NOT TO EXCEED DIMENSIONS OF 2'x2' & NOT TO EXCEED THE HEIGHT OF THE BUILDING BY MORE THAN 10 PERCENT (3.5').
7. 42" METAL/GLASS GUARD RAIL WHICH SHALL NOT ALLOW PASSAGE OF A 4" SPHERE PER DTL. 10/A-5.2.
8. ALUMINUM REVEAL CHANNEL
9. ALUMINUM/GLASS SLIDING PATIO DOORS
10. APPROXIMATE LOCATION OF (E) WINDOWS ON ADJACENT RESIDENCE
11. PAINTED SHEET METAL DOWNSPOUTS FROM DRAINAGE SCUPPERS DOWN TO ROCK GARDEN PLANTER.
12. PROVIDE APPROVED 3' HEIGHT EXTERIOR WATER-PROOF COATING IMPERVIOUS TO FLOOD WATER
13. PROVIDE 3' HEIGHT REMOVABLE FLOOD SHIELD TYP. AT ALL EXTERIOR DOOR OPENINGS.



NORTH EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH WEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	REVISION	DATE
1	PLANNING	1-31-23
2	CA COSTAL	6-13-23
3	CA COSTAL	7-20-23

ARCHITECT:

E.C.LIND
Architect, LLP

P.O. BOX 1107
Camarillo, California 93011
Phone: 805-389-6644

CONSULTANT:

PROJECT : REMODEL & ADDITION TO:
BARNEY RESIDENCE

16474 24TH STREET
SUNSET BEACH, CA 90742

SHEET TITLE :
EXTERIOR ELEVATIONS

JOB NO.:

22114

DRAWN:

J.T.P.

CHECKED BY:

E.C.L.

DATE:

11-30-2022

STAMP:



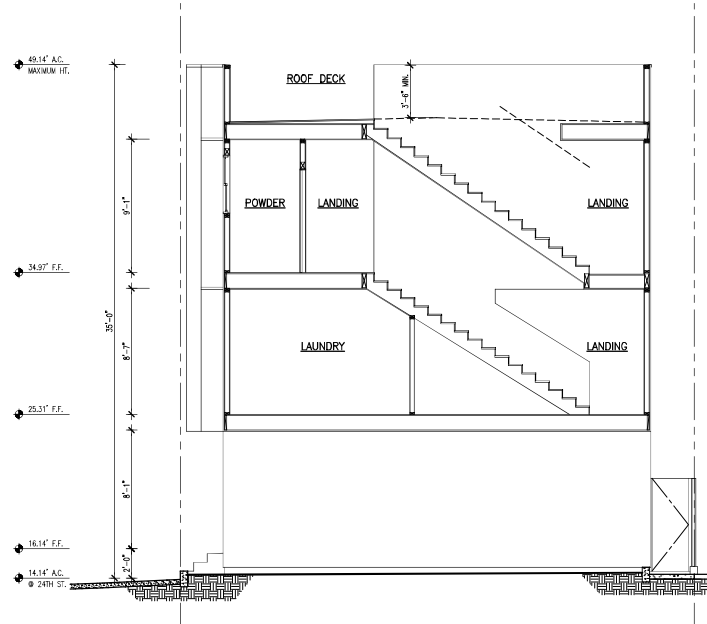
California Coastal Commission
Application #31

5-23-0296

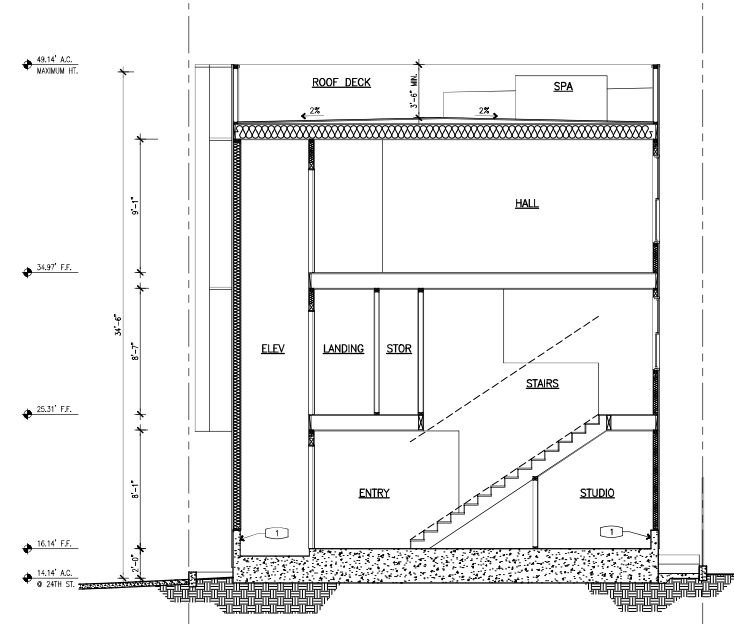
Exhibit 2

Page 5 of 7

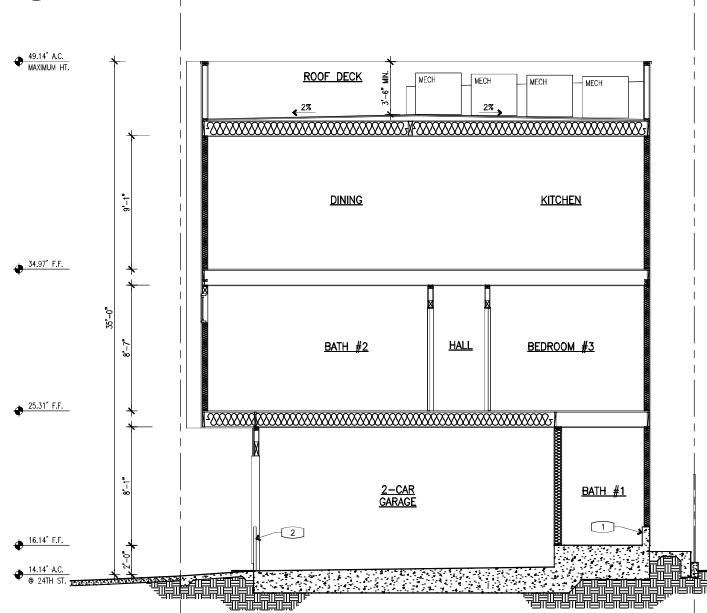
- KEY NOTES:**
1. CONCRETE STEM WALL, TYP. 3' HEIGHT MIN. ABOVE GRADE
 2. 3' HEIGHT FLOOD SHIELD TYP. AT ALL EXTERIOR DOOR OPENINGS



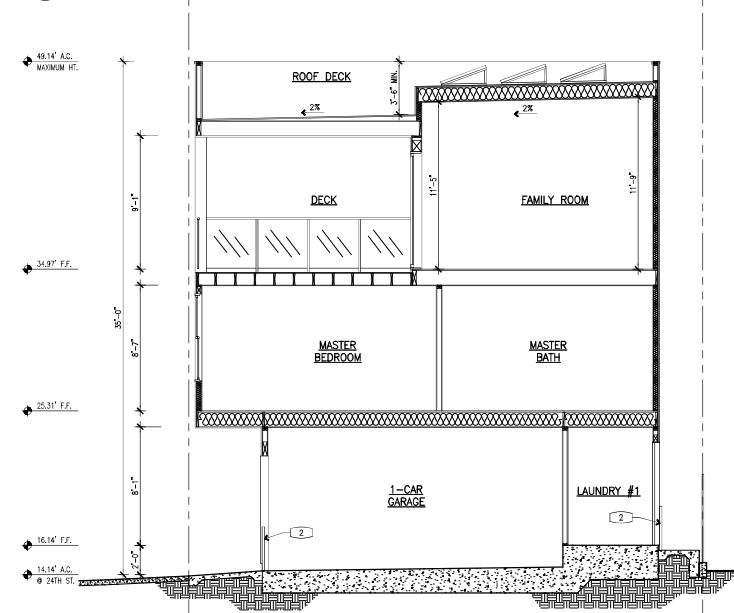
A SECTION
SCALE: 1/4" = 1'-0"



B SECTION
SCALE: 1/4" = 1'-0"



C SECTION
SCALE: 1/4" = 1'-0"



D SECTION
SCALE: 1/4" = 1'-0"

REVISIONS		
NO.	REVISION	DATE
1	PLANNING	1-31-23
2	CA. COASTAL	6-13-23
3	CA. COASTAL	7-21-23

ARCHITECT:

E.C. LIND
Architect, LLP

P.O. BOX 1107
Camarillo, California 93011
Phone: 805-389-6644

CONSULTANT:

PROJECT : REMODEL & ADDITION TO:

BARNEY RESIDENCE
16474 24TH STREET
SUNSET BEACH, CA 90742

SHEET TITLE :

SECTIONS

JOB NO: 22114

DRAWN: J.T.P.

CHECKED BY: E.C.L.

DATE: 11-30-2022

STAMP:

REGISTERED ARCHITECT
E.C. LIND
C-16909
05/31/23
STATE OF CALIFORNIA

California Coastal Commission

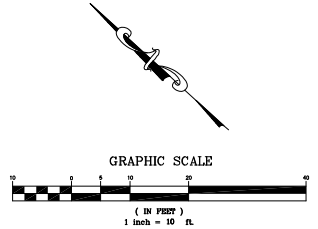
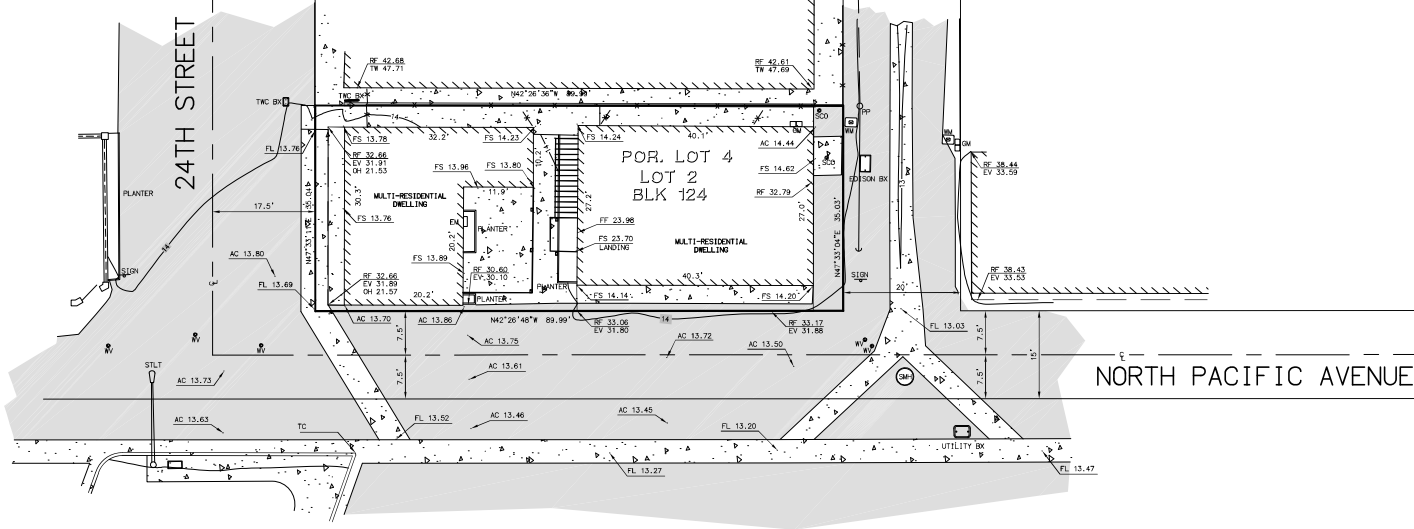
5-23-0296

Exhibit 2

Page 6 of 7

LEGEND

- AC --- ASPHALT CONCRETE
- BFP --- BACK FLOW PREVENTOR
- BM --- BOTTOM OF WALL
- EG --- EXISTING GROUND
- EP --- EDGE OF PAVEMENT
- FF --- FINISH FLOOR
- FW --- FIRE HYDRANT
- FL --- FLOW LINE
- FS --- FINISH SURFACE
- GM --- GAS METER
- GV --- GAS VALVE
- OHU --- OVERHEAD UTILITY
- PP --- POWER POLE
- (R) --- RADIAL BEARING
- SOD --- SEWER CLEANKOUT
- SMH --- SEWER MANHOLE
- TC --- TOP OF CURB
- TW --- TOP OF WALL
- WM --- WATER METER
- WV --- WATER VALVE
- EXISTING WALL



REVISIONS

NUMBER	DATE	REVISIONS

DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 APPROVE: _____
BENCHMARK:
 THE BENCHMARK FOR THIS SURVEY, A COUNTY OF ORANGE VERTICAL CONTROL MONUMENT, BEING AN ORANGE COUNTY SURVEYOR'S 3 3/4" ALUMINUM DISC STAMPED "1-149-83" SET IN TOP OF A 6" CONCRETE POST, LOCATED IN THE S'LY COR. OF THE INTERSECTION OF ANDERSON AVE. AND NORTH PACIFIC AVE., 15' S'LY OF THE CENTERLINE OF ANDERSON 10' S'LY OF THE CENTERLINE OF NORTH PACIFIC AND 3' SE'LY OF UTILITY POLE #20474164E.
 ELEVATION: 11.165' (NAVD 88)

PLANS PREPARED BY:
 ROBERT J. FURBELL, PLB
 DATE: 05/24/22



BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE ON 23RD STREET, N 47°32'57" E, AS SHOWN ON RECORD OF SURVEY NO. 2018-1091.

16472 24TH STREET
 SUNSET BEACH, CA 90742

SHEET

California Coastal Commission
 168-514-04

5-23-0296
 Exhibit 2
 Page 7 of 7



