

CALIFORNIA COASTAL COMMISSION

CENTRAL COAST DISTRICT
725 FRONT STREET, SUITE 300
SANTA CRUZ, CA 95060
PHONE: (831) 427-4863
WEB: WWW.COASTAL.CA.GOV



Th16b

3-24-0149 (801 EMBARCADERO RESTAURANT/HOTEL) JUNE 13, 2024 HEARING EXHIBITS

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Exhibit 2: Photos of Project Site

Exhibit 3: Proposed Project Plans

Exhibit 4: City of Morro Bay Conditional Use Permit #CUP22-09

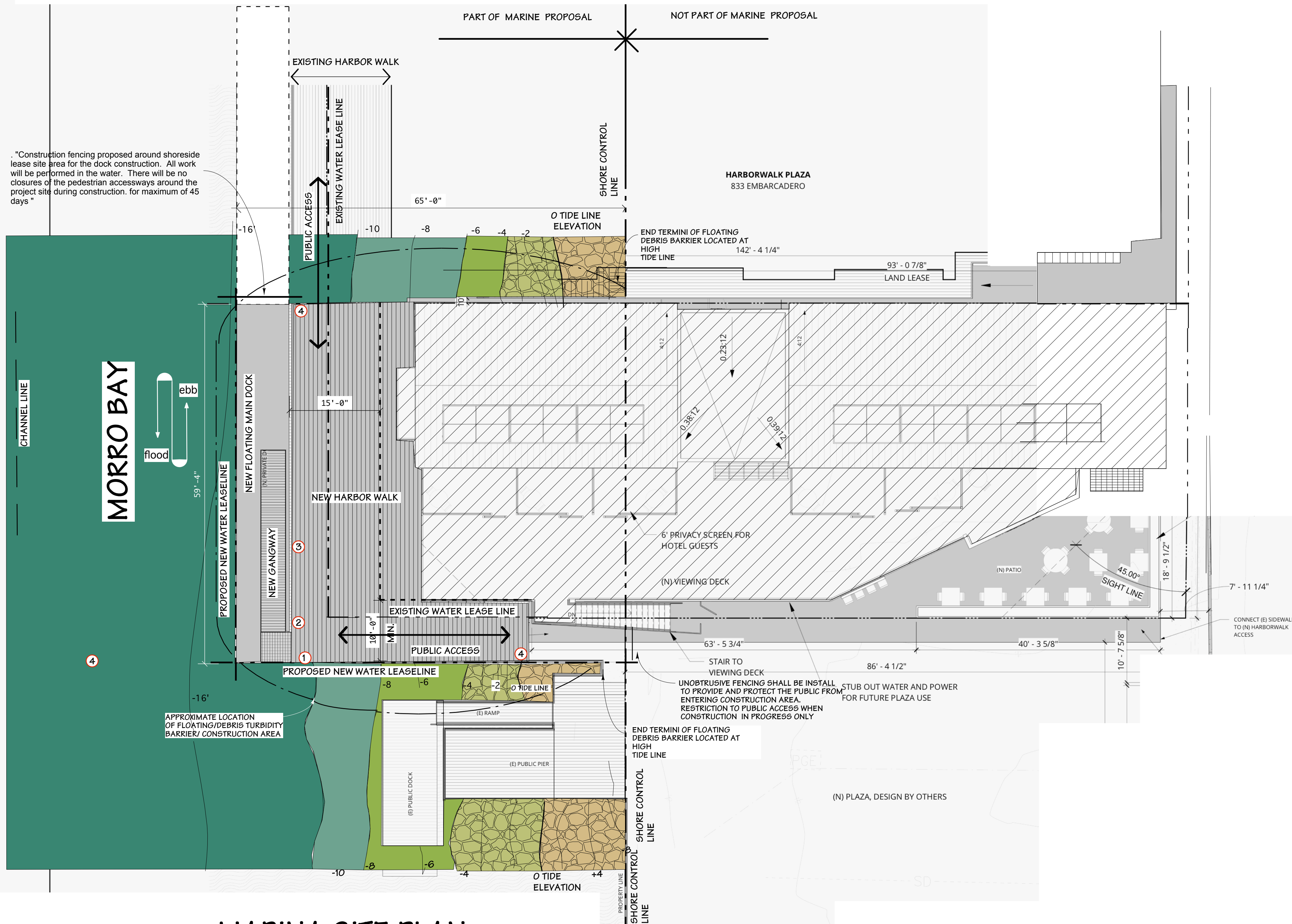




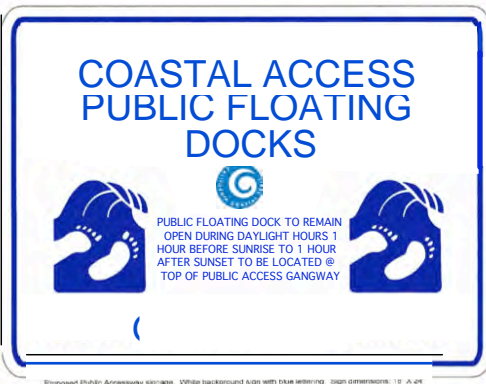
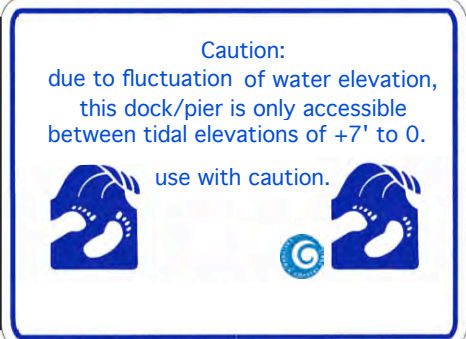
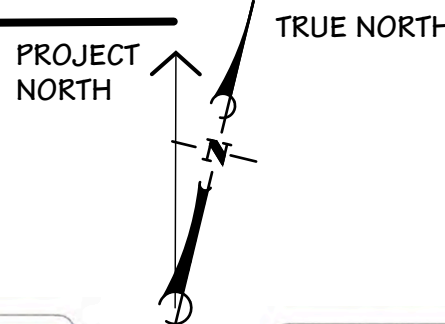
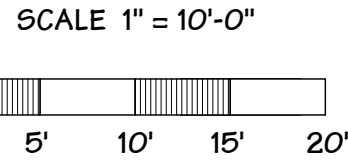
Photo 1 shows the existing building and street end parking lot as viewed from the Embarcadero.



Photo 2 shows the rear side of the building overlooking the bay.



MARINA SITE PLAN



1 SIGNAGE SHALL BE 24" WIDE X 18" HIGH METAL SIGN W/ IMAGES MOUNTED FLAT ON 4X4 POST w/ white background & blue lettering
A sign that states "Caution: due to fluctuation of water elevation, this dock/pier is only accessible between tidal elevations of +7' to 0. use with caution, to be located @ top of private access."

2 SECURITY SIGN @ TOP OF GANGWAY
SIGNAGE SHALL BE 24" WIDE X 18" HIGH METAL SIGN W/ IMAGES ON CHAIN GUARD W/ white background & blue lettering

3 INTERPRETIVE SIGNAGE DEPICTING COMMERCIAL AND SPORTFISHING IN MORRO BAY

4 SIGNAGE SHALL BE 24" WIDE X 18" HIGH METAL SIGN W/ IMAGES MOUNTED FLAT ON 4X4 POST w/ white background & blue lettering
PUBLIC BOARDWALK TO REMAIN OPEN 24 HOURS A DAY to be located upcoast & downcoast & entrance to courtyard

SITE INFORMATION

LEASE INFORMATION		MARINA INFORMATION	
EXISTING LAND LEASE	5430 S.F..	ENCASE OR SLEEVE EXISTING 16" DIA. PILES --3	
PROPOSED LAND LEASE	6200 S.F..	INSTALL NEW STEEL/EPOXY PILING -----	7
EXISTING WATER LEASE	(1957 S.F.)	EXISTING FLOAT LENGTH-----	52- LF.
PROPOSED WATER LEASE	(2235 S.F.)	PROPOSED SLIP LENGTH-----	52 LF.
PROPOSED		EXISTING MAIN FLOAT AREA -----	(416 S.F.)
TOTAL LEASE AREA	8435. S.F.	PROPOSED MAIN FLOAT AREA -----	(416 S.F.)
EXISTING DECKING-----	587 S.F		
PROPOSED HARBOR WALK-----	1360.S.F..		
BUILDING USE --MIX USE GROUP B-2/TYPE -----	V		

VICINITY PHOTO

DATE 1-10-22 GOOGLE EARTH

PROPOSED IMPROVEMENTS

INSTALL MORROBAY HARBORWALK 15' WIDE. INCLUDING NEW HANDRAIL
REPLACE AND INSTALL 7 NEW 16" STEEL PILES. SLEEVE 3 EXISTING PILING
INSTALL NEW STEEL SUPPORT BEAMS
ENLARGE AND REPLACE EXISTING DEMOLISHED DOCK W/ NEW FLOATING MAIN FLOAT
INCLUDING NEW MARINE UTILITY PEDESTALS
CONNECT FLOATING MAIN FLOAT TO ADJACENT FLOAT. INSTALL NEW 10' VERTICAL HARBORWALK ACCESS TO ADJACENT STREET END
REMOVE AND RELOCATE NEW H.C. ACCESSIBLE GANGWAY
EXTEND EXISTING WATER LEASE 15' TO THE WEST AND 7'-4" TO THE SOUTH

LEGAL DESCRIPTION

OWNERS----- CALIFORNIA COASTAL INVESTMENT LLC
2436 BROAD ST. SAN LUIS OBISPO, CALIF.
805 544-5583 ERIC NEWTON
SITE ADDRESS----- 801 Embarcadero
MORRO BAY, CALIF
LEASE SITES----- 86 W
Morro Bay, California
COUNTY OF SAN LUIS OBISPO, CALIFORNIA
APN.----- 066-322 008
ZONE----- H. WF. (PD/S.4)

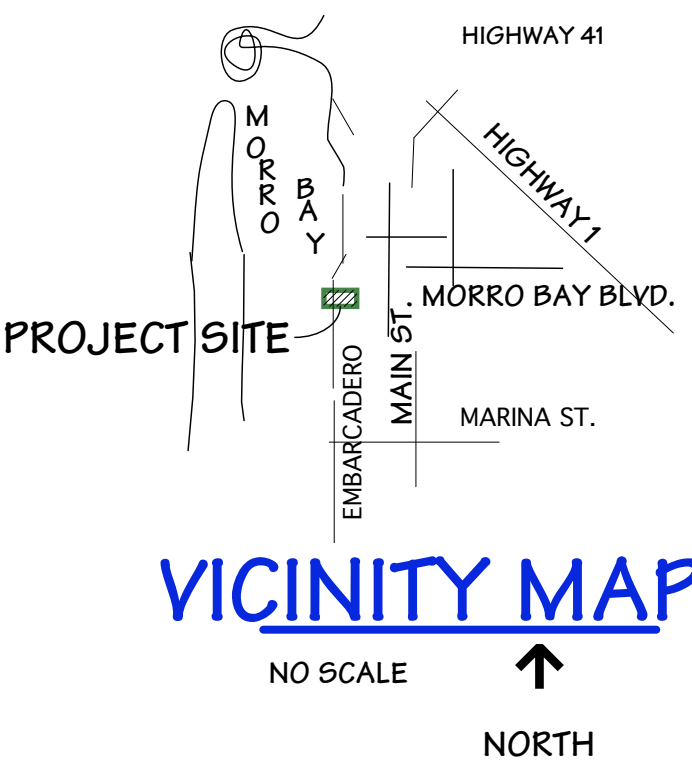
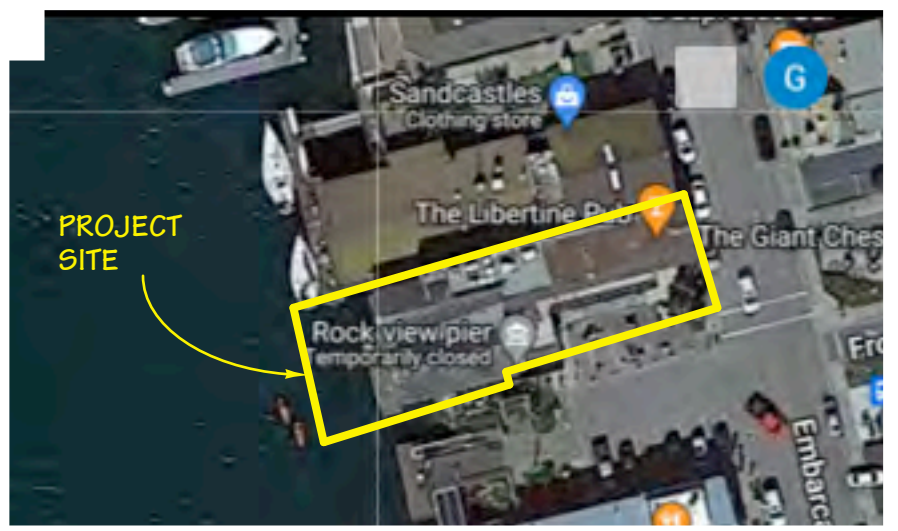
GENERAL NOTES

NOTE!
THE CONSTRUCTION COORDINATORS INFORMATION SHALL BE POSTED ON SITE
CONSTRUCTION COORDINATOR SHALL BE PAUL GILLEN
495 Embarcadero 93442 805 772-7472
ALL WORK SHALL BE COMPLETED IN A GOOD WORKMANSHIP MANNER
CONTRACTOR SHALL HAVE ON SITE 2022 COPY OF C.B.C., ALL WORK SHALL COMPLY W/ 2022 C. B.C.
CITY OF MORRO BAY, CODES AND REQUIREMENTS, CONDITIONS OF APPROVAL
CALIFORNIA COASTAL COMMISSIONS STANDARD AND SPECIAL CONDITIONS, ARMY CORPS OF ENGINEERS AND REGIONAL WATER QUALITY CONTROL BOARD
CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER PRIOR TO CHANGES OF CONSTRUCTION FOR APPROVAL.
STAGING AREA SHALL BE LOCATED INLAND
CONSTRUCTION PRACTICES SHALL BE AS REQUIRED BY CITY OF MORRO BAY CODES AND REQUIREMENTS, CALIFORNIA COASTAL COMMISSION CONDITIONS OF APPROVAL.
SILT SCREENS SHALL BE PLACED WITHIN THE AREA OF ALL IN-WATER CONSTRUCTION OR DISTURBANCE TO REDUCE POTENTIAL TURBIDITY ASSOCIATED IMPACTS. ALL CONSTRUCTION SHALL OCCUR WITHIN THE PROJECT FOOTPRINT.
NOTE! PILING SHALL BE EMBEDDED MIN20' OR REFUSAL AS PER SPECIAL INSPECTION & OBSERVATION AND APPROVED BY PROJECT ARCHITECT (SEE S-1)
ARCHITECT SHALL SUBMIT REPORT TO CITY OF THE INSTALLATION OF PILES FOLLOWING INSTALLATION OF THE PILING
NOTE!
SPECIAL OBSERVATIONS FOR MARINE MAMMALS BY QUALIFIED PERSONAL SHALL BE REQUIRED DURING PILING DRIVING INSTALLATION
NOTE! A POST MEETING REPORT SHALL BE PROVIDED TO PLANNING TO DOCUMENT THAT TRAINING OCCURRED
FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL BE IN ACCORDANCE WITH 2022 CALIFORNIA FIRE CODE CHAPTER 35, THIS CHAPTER PERQUIRES MINIMUM SAFEGUARDS FOR CONSTRUCTION ALTERATIONS AND DEMOLITION OPERATIONS TO PROVIDE REASONABLE SAFETY OF LIFE AND PROPERTY FROM FIRE DURING SUCH OPERATIONS
ALL CONTRACTORS AND SUBCONTRACTORS SHALL APPLY (BMP) BEST MANAGEMENT PRACTICES THROUGHOUT COURSE OF CONSTRUCTION
CONSTRUCTION PRACTICES SHALL BE AS REQUIRED BY CITY OF MORRO BAY CODES AND REQUIREMENTS, CALIFORNIA COASTAL COMMISSION CONDITIONS OF APPROVAL
ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

INDEX TO SHEETS

- A-1 SITE PLAN GENERAL NOTES
- A-2 CONSTRUCTION PLAN/SECTION
- A-3 CITY CONDITIONS
- A-4 COASTAL CONDITIONS
- A-5 A.C.E. CONDITIONS

Netting or fencing around and underneath the gangway project site shall be installed to catch and remove debris released during and after construction.



LAND/SEA INTERFACE
GENE DOUGHERTY-ARCHITECT
1-805-772-8435
C 18794

LIBERTINE OFFSHORE DEVELOPMENT
FOR
ERIC NEWTON
NEWTON CONSTRUCTION & MANAGEMENT, INC.
800 EMBARCADERO, MORRO BAY, CALIF

SITE PLAN
GENERAL NOTES

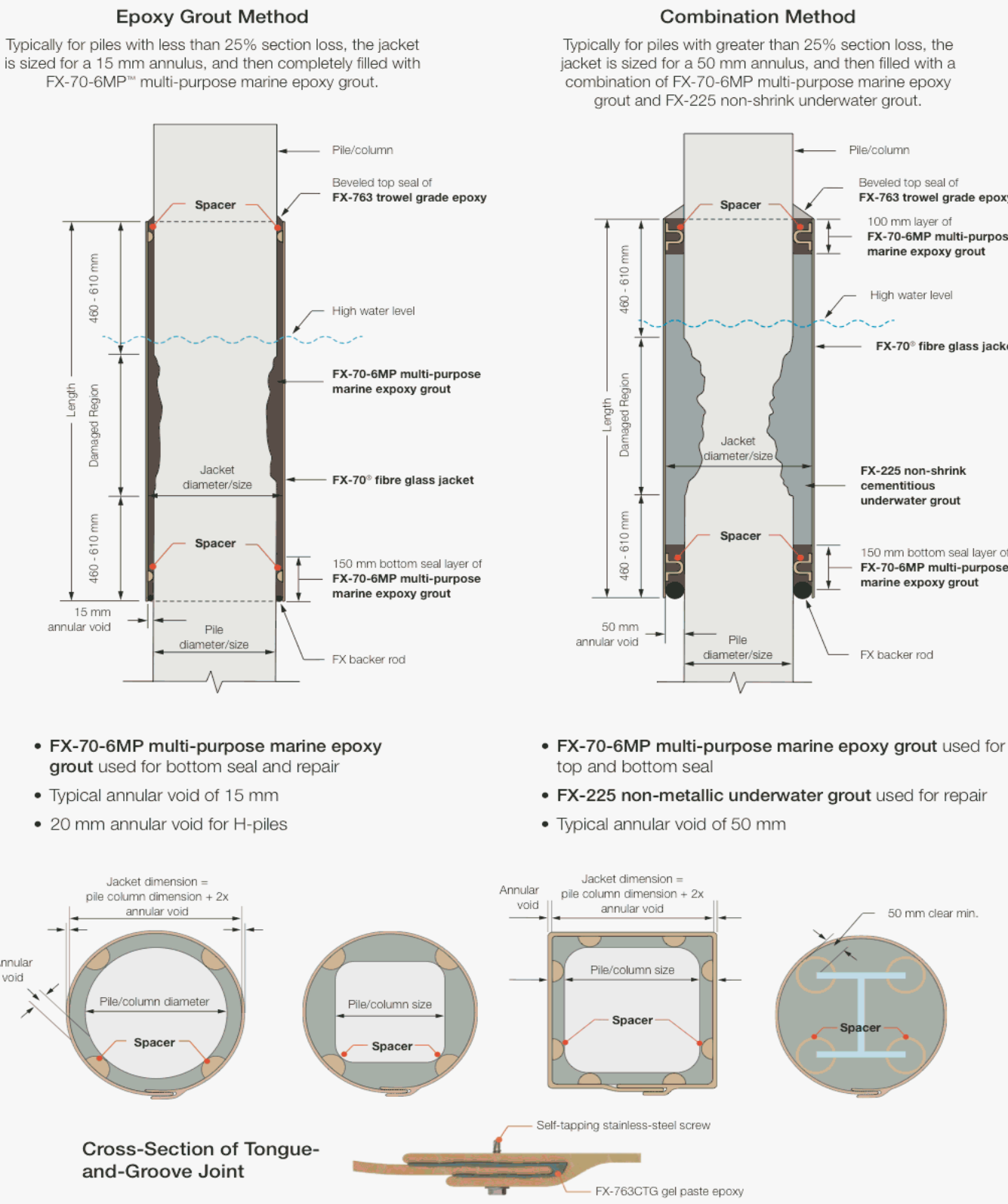
1-18-23
4-6-23

SCALE: AS NOTED
DRAWN: GD

SHEET
DI
OF 6 SHEET

FX-70® Structural Pike Repair and Protection System

System Components



EXISTING PILING EPOXY ENCASEMENT

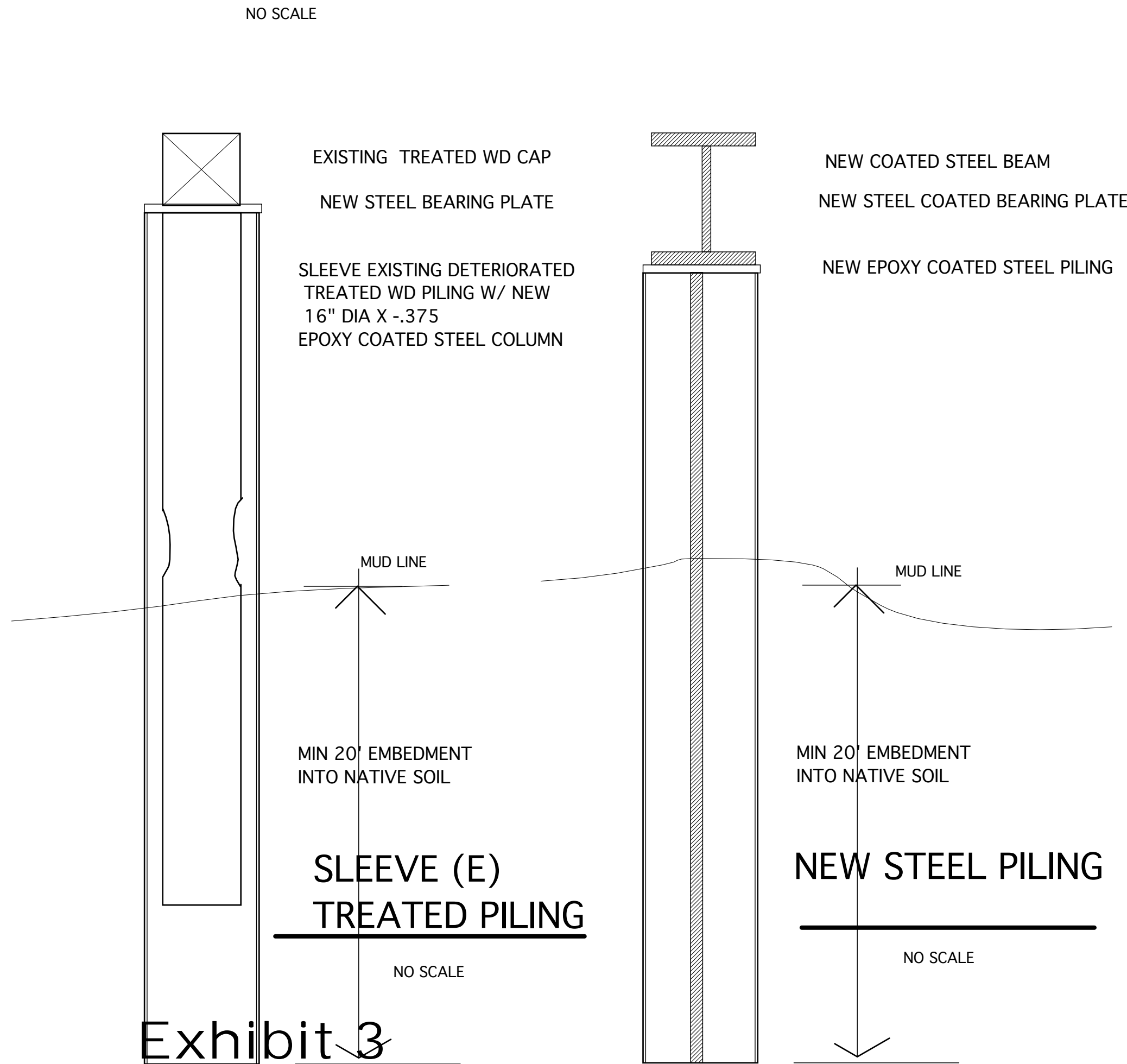
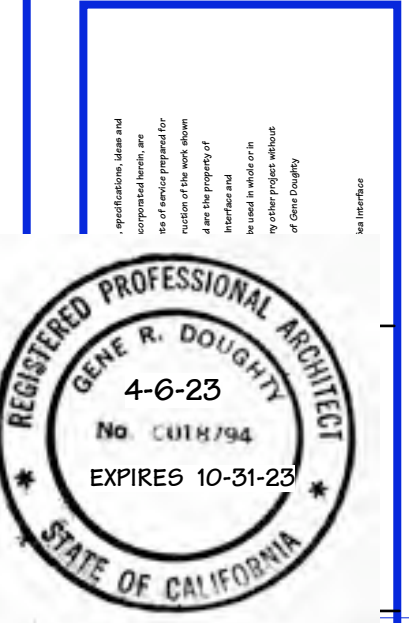
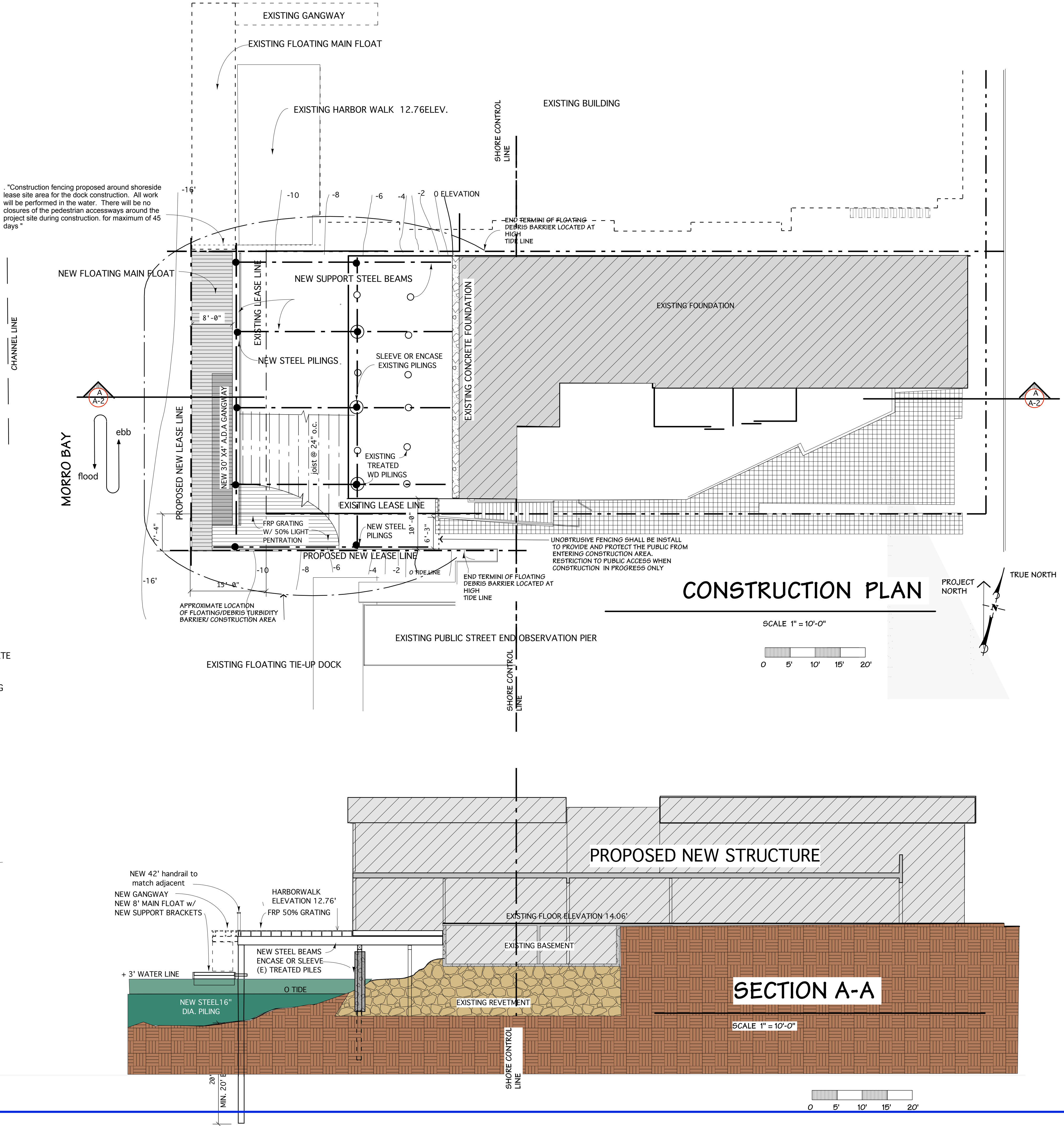


Exhibit 3

3-24-0149

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LAND/SEA INTERFACE
GENE DOUGHTY-ARCHITECT
C 18794
1-805-772-8436

LIBERTINE OFFSHORE DEVELOPMENT
FOR
ERIC NEWTON
NEWTON CONSTRUCTION & MANAGEMENT, INC.
800 EMBARCADERO, MORRO BAY, CALIF

CONSTRUCTION PLAN
SECTION A-A

1-18-23
4-6-23
SCALE: AS NOTED
DRAWN: GD

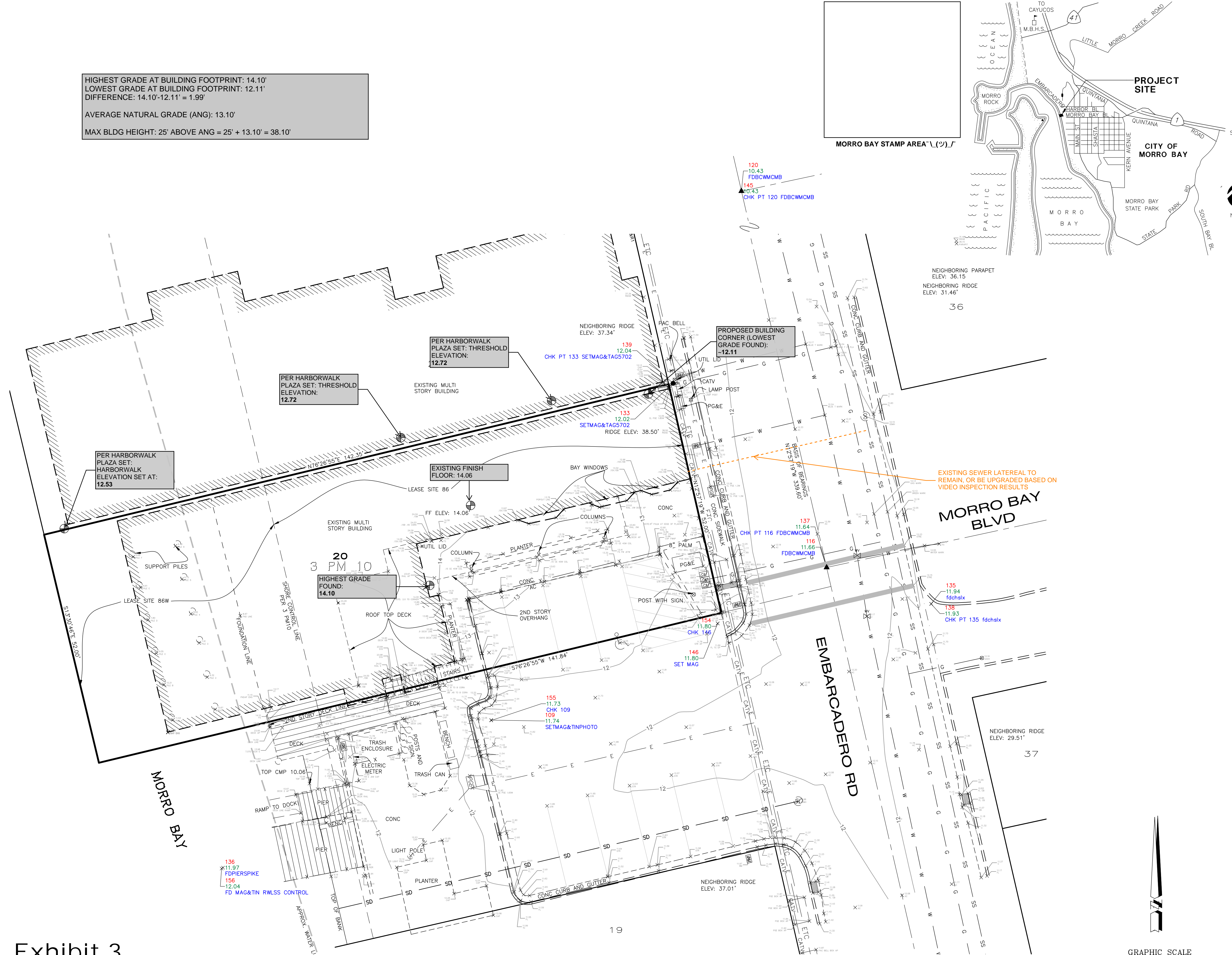
SHEET
D2

N:\2021\21-341 801 Embarcadero Morro Bay Topo.dwg, 24X36, Oct 25, 2021 10:18am, mnamby

HIGHEST GRADE AT BUILDING FOOTPRINT: 14.10'
LOWEST GRADE AT BUILDING FOOTPRINT: 12.11'
DIFFERENCE: 14.10'-12.11' = 1.99'

AVERAGE NATURAL GRADE (ANG): 13.10'

MAX BLDG HEIGHT: 25' ABOVE ANG = 25' + 13.10' = 38.10'



SYMBOL LEGEND:

— x —	FENCE LINE	—	RETAINING WALL
— ss —	SEWER MAIN	—	PG&E BOX
— w —	WATER MAIN	—	GAS METER
— g —	GAS MAIN	—	TELEPHONE BOX
— etc —	ELEC/TELEPHONE/CABLE	—	SIGNAL BOX
— ohe —	OVERHEAD ELECTRIC	—	CABLE T.V. BOX
—	DROP INLET AT CURB	—	ELECTRIC BOX
—	DROP INLET	—	TELEPHONE MANHOLE
—	STORM DRAIN MANHOLE	—	STREET LIGHT
—	FIRE HYDRANT	—	JOINT POLE
—	WATER WELL	—	POWER POLE
—	WATER VALVE	—	GUY WIRE
—	WATER METER	—	
—	SEWER MANHOLE	—	
—	SEWER CLEANOUT	—	
—	MONITORING WELL	—	

ABBREVIATIONS

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MH	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RB	REBAR
COR	CORNER	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	CANOPY RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STP	STEP
EG	EXISTING GRADE	STR	STAIRS
EP	EDGE OF PAVEMENT	TOP	TOP OF SLOPE
FD	FOUND	TOE	TOE OF SLOPE
FL	FLOW LINE	TW	TOP OF WALL
FF	FINISH FLOOR	W	WATER
FW	FACE OF WALL	WL	WALL
HSE	HOUSE COR	WM	WATER METER
GR	GRASS	WV	WATER VALVE
GM	GAS METER		
IP	IRON PIPE		

DI-1.5FL TOP OF GRATE -1.5' FLOW LINE

SURVEYOR'S STATEMENT:
THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON OCTOBER 19TH, 2021.

MICHAEL B. STANTON, PLS 5702 DATE _____

SURVEYOR'S NOTES:
1. NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS OR OTHER FEE CONVEYANCES WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
2. ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
3. IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
4. THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
5. THE BOUNDARY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION (I.E. RECORDED MAPS OR DEEDS) AND ARE NOT INTENDED TO REPRESENT THE TRUE OR ACTUAL BOUNDARY LINES OF THE SUBJECT PROPERTY. TO DETERMINE THE ACTUAL BOUNDARIES OF THE PARCEL WILL REQUIRE A COMPLETE BOUNDARY SURVEY, THE SETTING OF PROPERTY MONUMENTS AND THE FILING OF A CORNER RECORD OR RECORD OF SURVEY IN CONFORMANCE WITH STATE LAW (LS ACT SEC. 8762). APPROXIMATE DIMENSIONAL TIES FROM THE BOUNDARY LINES SHOWN TO PHYSICAL FEATURES (E.G. BUILDINGS, FENCES, WALLS OR TREES, ETC.) SHOWN ON THIS MAP CAN BE DERIVED BY SCALING THE FINISHED WORK PRODUCT WHICH IS PLOTTED AT THE SCALE INDICATED.

BENCH MARK:
THE BENCH MARK FOR THIS PROJECT IS AN NGS MONUMENT SET IN THE TOP OF A CONCRETE PILLAR NEAR A FLAG POLE LYING SOUTHWEST OF TEH DORN'S RESTAURANT AT THE WEST CORNER OF MORRO BAY BLVD AND MARKET ST.
PID: FV0401
DESIGNATION: TIDAL 5
ELEV: 36.66' NAVD88 (ELEVATION TAKEN FORM PRIOR SURVEY IN 2006, ELEVATION HAS SINCE BEEN UPDATED IN NGS DATA SHEETS.)

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG EMBARCADERO RD. BETWEEN HARBOR ST AND MORRO BAY BLVD.
BEARING N 12° 57' 19" W.

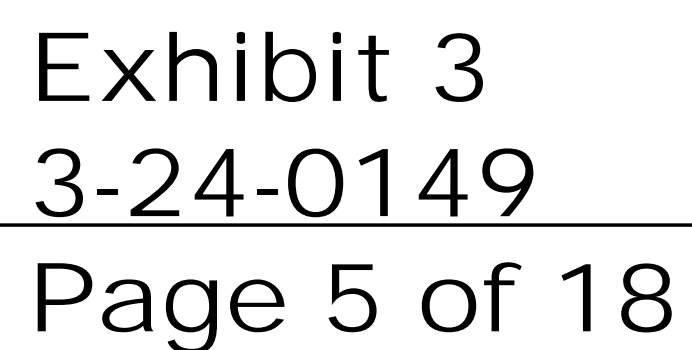
SITE DATA:
ADDRESS: 801 EMBARCADERO RD, MORRO BAY, CA
ASSESSOR'S PARCEL NO. 066-322-008

TOPOGRAPHIC MAP
PARCEL 21 AS SHOWN ON PARCEL MAP NO. MB 68-30 FILED IN BOOK 3 AT PAGE 10, IN THE CITY OF MORRO BAY, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

AT THE REQUEST OF ERIC NEWTON

MBS LAND SURVEYS
MICHAEL B. STANTON, PLS 5702
3559 SOUTH HIGUERA ST.
SAN LUIS OBISPO, CA 93401
805-594-1960

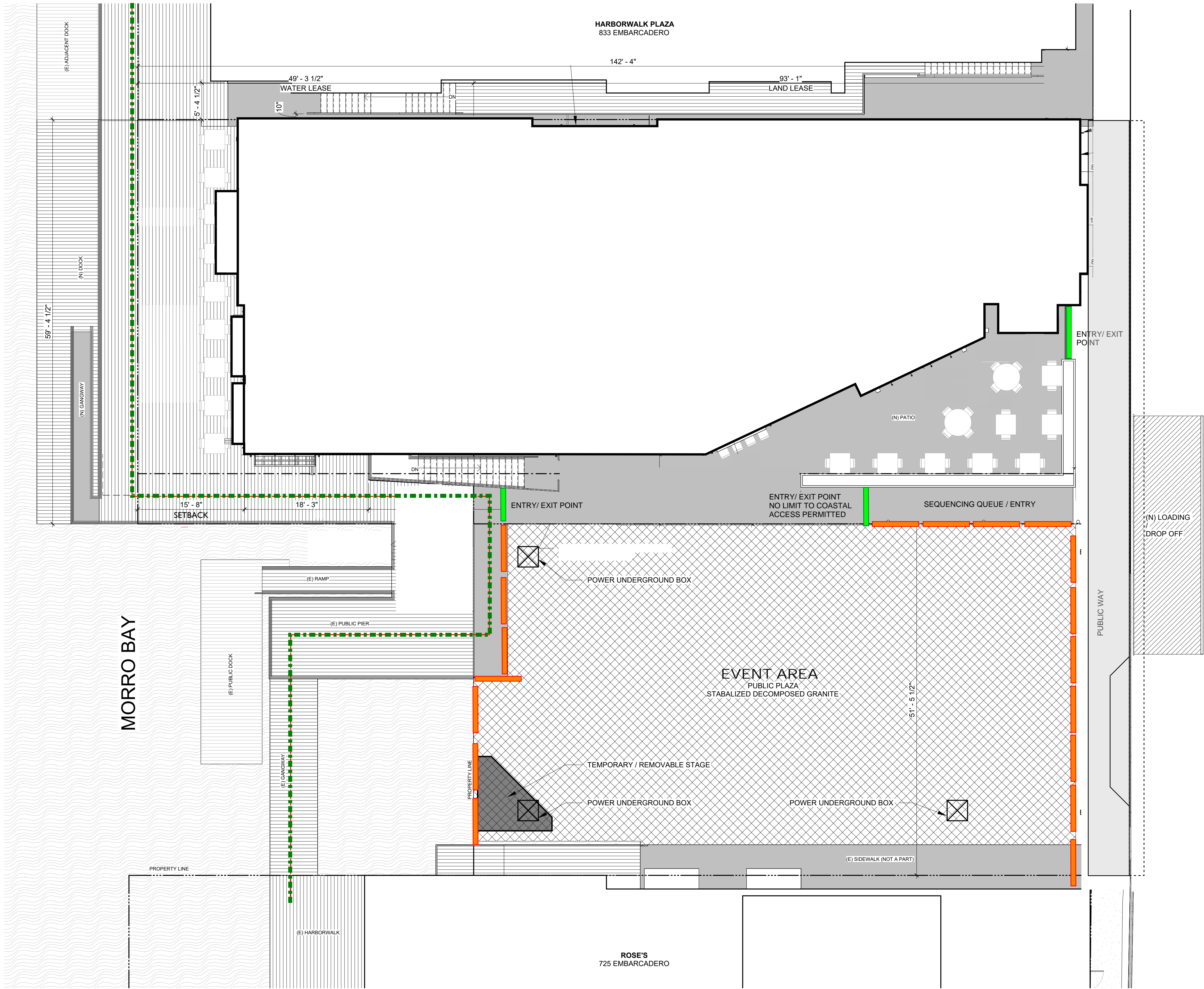
October 25, 2021 JOB #21-341



ENCROACHMENTS OVER THE SOTHERN LEASE LINE REQUIRE A SPECIAL ENCROACHMENT AGREEMENT WITH PUBLIC WORKS.

EMBARCADERO ROAD

SHEET NUMBER



EVENT PLAN NOTES & LEGEND

E. SIDEWALK AND/OR WALKWAY AREAS TO REMAIN FREE AND CLEAR OF ANY OBSTRUCTIONS AND TO ALLOW FOR SAFE PASSAGE OF THE GENERAL PUBLIC. ANY CONSTRUCTION FENCING SHALL BE BEHIND THE PROPERTY LINE. ALL CONSTRUCTION-RELATED DEBRIS TO BE PLACED ON PRIVATE PROPERTY.

- PORTABLE CROWD BARRIER
- CONTROLLED ENTRY POINT/ EXIT

Portable Safety Barrier - Galvanized, Flat Feet



More Images

Temporarily manage foot traffic around job sites, festivals and sporting events.

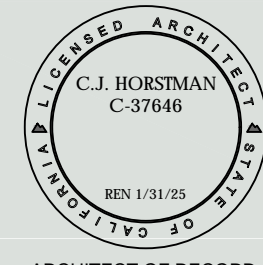
- Welded 1 1/2" diameter frame with 5/8" diameter uprights.
- Removable feet for easy stacking and storage.
- Barriers interlock to create long runs.
- Easy to set up and take down.
- Hot dipped. Excellent rust resistance.
- Flat Feet - Sit flush on ground to prevent tripping in high-traffic areas.

MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

330 S. HALCYON ROAD
ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

FRIDAY / SATURDAY
PROPOSED CONCERT
LAYOUT PLAN
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

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REVISION HISTORY

NO.	DESC.	DATE

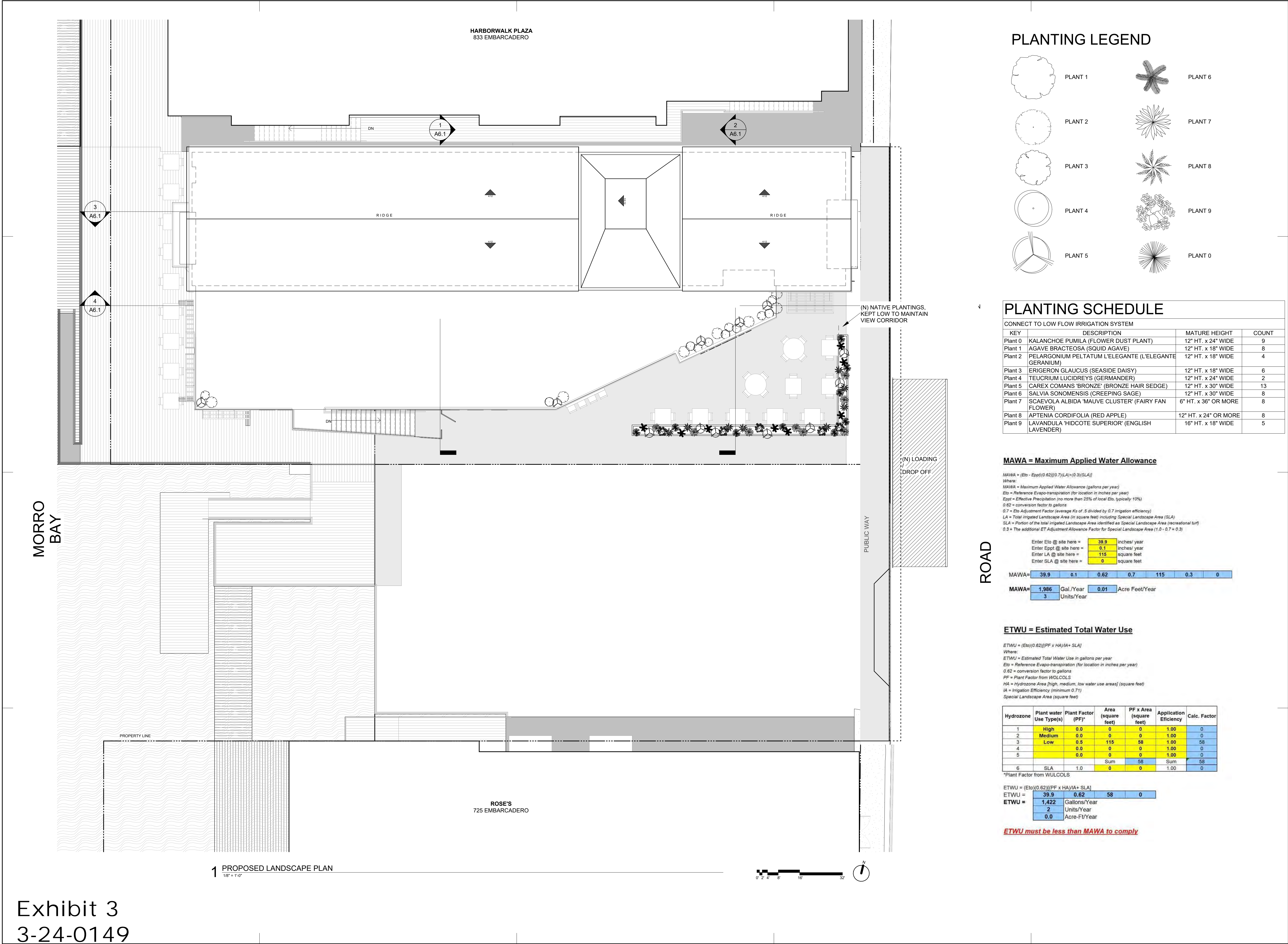
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APN #	006-322-008
JOB #	20-185
DATE	2023-11-01
DRAWN BY:	TW
CHECKED BY:	TM

A1.2

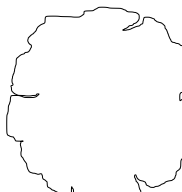
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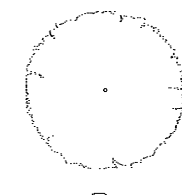
1 EVENT PLAN
1/8" = 1'-0"

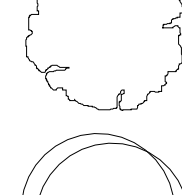


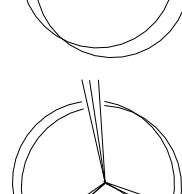


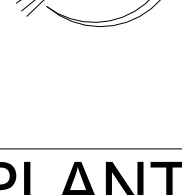
PLANTING LEGEND

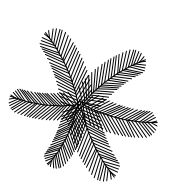
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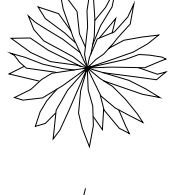
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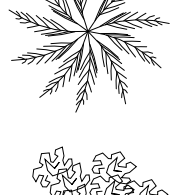
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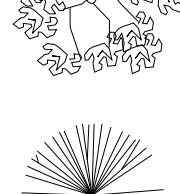
 PLANT 4


 PLANT 5

 PLANT 6

 PLANT 7

 PLANT 8

 PLANT 9

 PLANT 0

PLANTING SCHEDULE

CONNECT TO LOW FLOW IRRIGATION SYSTEM			
KEY	DESCRIPTION	MATURE HEIGHT	COUNT
Plant 0	KALANCHOE PUMILA (FLOWER DUST PLANT)	12" HT. x 24" WIDE	9
Plant 1	AGAVE BRACTEOSA (SQUID AGAVE)	12" HT. x 18" WIDE	8
Plant 2	PELARGONIUM PELTATUM L'ELEGANTE (L'ELEGANTE GERANIUM)	12" HT. x 18" WIDE	4
Plant 3	ERIGERON GLAUCUS (SEASIDE DAISY)	12" HT. x 18" WIDE	6
Plant 4	TEUCRIUM LUCIDREYS (GERMANDER)	12" HT. x 24" WIDE	2
Plant 5	CAREX COMANS 'BRONZE' (BRONZE HAIR SEDGE)	12" HT. x 30" WIDE	13
Plant 6	SALVIA SONOMENSIS (CREEPING SAGE)	12" HT. x 30" WIDE	8
Plant 7	SCAEVOLA ALBIDA 'MAUVE CLUSTER' (FAIRY FAN FLOWER)	6" HT. x 36" OR MORE	8
Plant 8	APTENIA CORDIFOLIA (RED APPLE)	12" HT. x 24" OR MORE	8
Plant 9	LAVANDULA 'HIDCOTE SUPERIOR' (ENGLISH LAVENDER)	18" HT. x 18" WIDE	5

MAWA = Maximum Applied Water Allowance

MAWA = $(Eto - Eppt) / (0.62 / (0.7 / (LA) + (0.3 / (SLA)))$
Where:
MAWA = Maximum Applied Water Allowance (gallons per year)
Eto = Reference Evapo-transpiration (for location in inches per year)
Eppt = Effective Precipitation (no more than 25% of local Eto, typically 10%)
0.62 = conversion factor to gallons
0.7 = Eto Adjustment Factor (average Ks of .5 divided by 0.7 irrigation efficiency)
LA = Total Irrigated Landscape Area (in square feet) including Special Landscape Area (SLA)
SLA = Portion of the total irrigated Landscape Area identified as Special Landscape Area (recreational turf)
0.3 = The additional ET Adjustment Allowance Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

Enter Eto @ site here =	39.9	inches/ year					
Enter Eppt @ site here =	0.1	inches/ year					
Enter LA @ site here =	115	square feet					
Enter SLA @ site here =	0	square feet					
MAWA=	39.9	0.1	0.62	0.7	115	0.3	0
MAWA=	1,986	Gal./Year	0.01	Acre Feet/Year			
	3	Units/Year					

ETWU = Estimated Total Water Use

ETWU = $(Eto) / (0.62) / ((PF \times HA) / IA + SLA)$
Where:
ETWU = Estimated Total Water Use in gallons per year
Eto = Reference Evapo-transpiration (for location in inches per year)
0.62 = conversion factor to gallons
PF = Plant Factor from WOLCOLS
HA = Hydrozone Area (high, medium, low water use areas) (square feet)
IA = Irrigation Efficiency (minimum 0.71)
Special Landscape Area (square feet)

Hydrozone	Plant water Use Type(s)	Plant Factor (PF)	Area (square feet)	PF x Area (square feet)	Application Efficiency	Calc. Factor
1	High	0.0	0	0	1.00	0
2	Medium	0.0	0	0	1.00	0
3	Low	0.5	115	58	1.00	58
4		0.0	0	0	1.00	0
5		0.0	0	0	1.00	0
6	SLA	1.0	0	0	1.00	0
			Sum	58	Sum	58

*Plant Factor from WOLCOLS

ETWU =	39.9	0.62	58	0
ETWU =	1,422	Gallons/Year		
	2	Units/Year		
	0.0	Acre-Ft/Year		

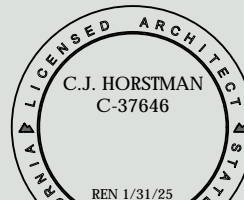
ETWU must be less than MAWA to comply

MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

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ARCHITECT OF RECORD

LANDSCAPE PLANS

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

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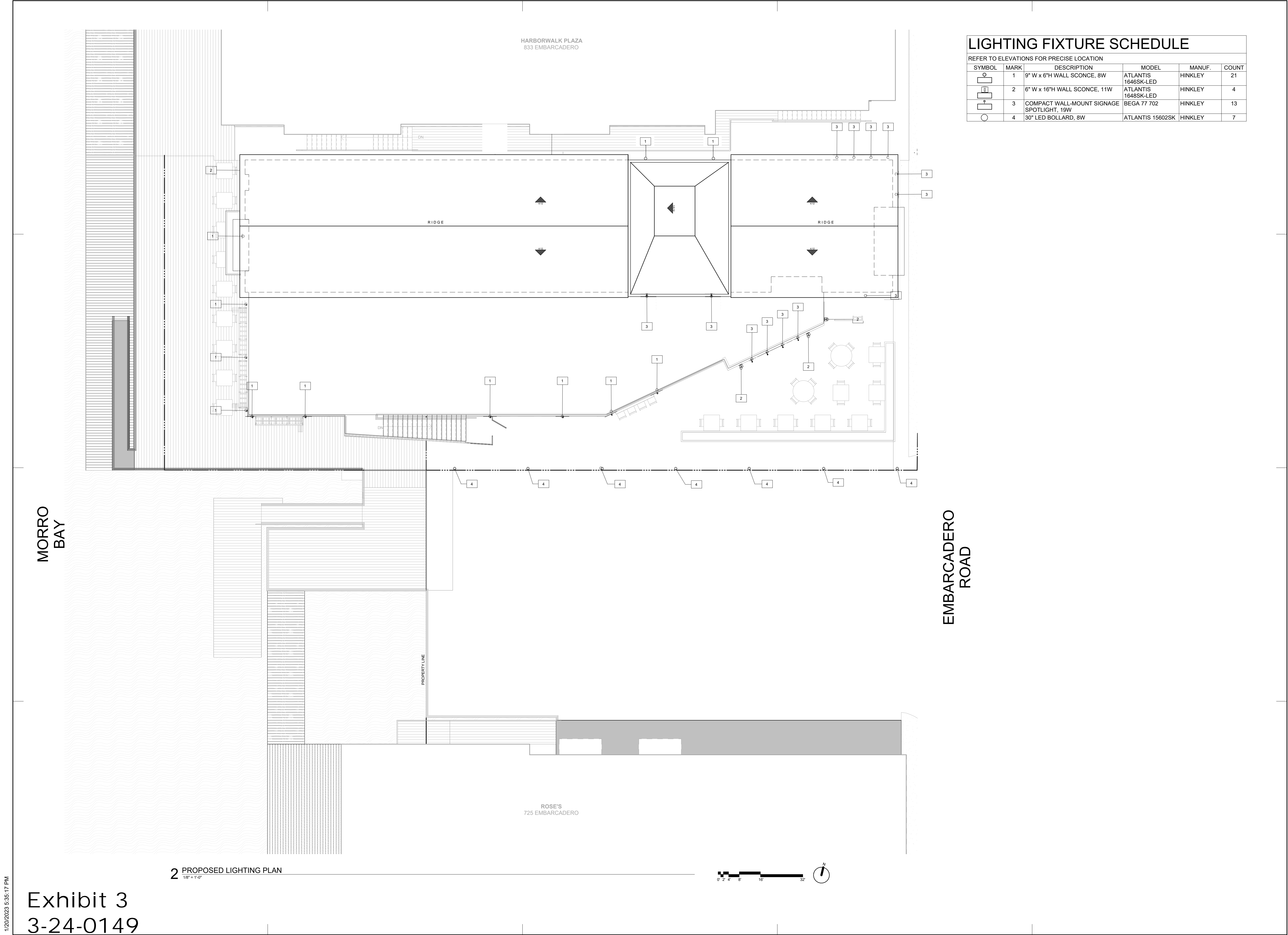
REVISION HISTORY

NO.	DESC.	DATE

APP #	--
APN #	006-322-008
JOB #	20-185
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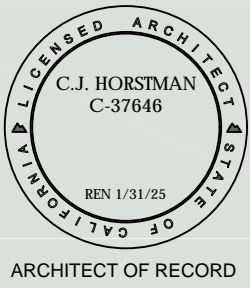
A1.3

SHEET NUMBER



LIGHTING FIXTURE SCHEDULE					
REFER TO ELEVATIONS FOR PRECISE LOCATION					
SYMBOL	MARK	DESCRIPTION	MODEL	MANUF.	COUNT
	1	9" W x 6"H WALL SCONCE, 8W	ATLANTIS 1646SK-LED	HINKLEY	21
	2	6" W x 16"H WALL SCONCE, 11W	ATLANTIS 1648SK-LED	HINKLEY	4
	3	COMPACT WALL-MOUNT SIGNAGE SPOTLIGHT, 19W	BEGA 77 702	HINKLEY	13
	4	30" LED BOLLARD, 8W	ATLANTIS 15602SK	HINKLEY	7

MORRO BAY STAMP AREA



ARCHITECT OF RECORD

LIGHTING PLANS
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A1.4
SHEET NUMBER

DEMOLITION GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO ALL REGULATIONS, CODES AND ORDINANCES ADOPTED BY THE STATE AND LOCAL GOVERNING AGENCIES; ANY SPECIAL CONDITIONS REQUIRED BY STATE AND/OR LOCAL GOVERNING AGENCIES; AND ALL REGULATIONS AND ORDINANCES REQUIRED BY FEDERAL GOVERNING AGENCIES. CODE REFERENCED IN THIS SUBMITTAL: 2007 CALIF. BLDG CODE
- B. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE FIELD CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THESE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED.
- C. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
- D. WHERE DEMOLITION IS INDICATED, CONTRACTOR SHALL DISCONNECT AND CAP ALL UTILITIES, ELECTRICAL CONDUITS, ETC. PER CODE, WHERE SUCH ITEMS ARE NOT INDICATED TO BE REUSED. CAP ALL ABANDONED PENETRATIONS ABOVE FINISHED CEILING.
- E. CONTRACTOR TO NOTIFY OWNER PRIOR TO COMMENCING WITH ANY WORK. CONTRACTORS SHALL CONFORM TO ANY REQUIREMENTS FOR NOISE AND DUST CONTROL, TRASH, STORAGE WORK HOURS, SITE ACCESS, ETC. AS DIRECTED BY THE OWNER.
- F. CONTRACTOR IS RESPONSIBLE FOR REPAIR, REPLACEMENT OR CLEAN UP OF ANY DAMAGE CAUSED BY THEIR WORK TO ANY PORTION OF EXISTING IMPROVEMENTS.
- G. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND SCHEDULING OF INSPECTIONS BY THE BUILDING DEPARTMENT AND OTHER AGENCIES AS REQUIRED.
- H. REMOVE FROM SITE AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. THE SITE SHALL BE LEFT BROOM CLEAN. COORDINATE DISPOSAL LOCATION W/ PROPERTY MANAGEMENT.
- I. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB-OFF.
- J. CAP OFF EXISTING PLUMBING, ELECTRICAL, AND MECHANICAL NOT UTILIZED IN NEW SCHEME PER CODE AND CLEAR OF NEW WORK; CAP ABANDONED FLOOR/CEILING PENETRATIONS BELOW FINISH FLOOR OR ABOVE CEILING.
- K. CLOSE OPENINGS IN EXTERIOR SURFACES TO PROTECT EXISTING WORK FROM WEATHER AND EXTREMES OF TEMPERATURE AND HUMIDITY.
- L. REMOVE, CUT, AND PATCH WORK IN A MANNER TO MINIMIZE DAMAGE AND TO PROVIDE A MEANS OF RESTORING PRODUCTS AND FINISHES TO ORIGINAL CONDITION.
- M. REFINISH VISIBLE EXISTING SURFACES TO REMAIN IN RENOVATED ROOMS AND SPACES, TO SPECIFIED CONDITION FOR EACH MATERIAL, WITH A NEAT TRANSITION TO ADJACENT FINISHES. PATCHES SHOULD NOT BE VISIBLE FROM A DISTANCE OF FIVE FEET OR GREATER
- N. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, PERFORM A SMOOTH AND EVEN TRANSITION. PATCHED WORK TO MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE.
- O. WHEN FINISHED SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT A NATURAL LINE OF DIVISION AND MAKE RECOMMENDATION TO DESIGNER/ENGINEER.
- P. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL.

DEMOLITION LEGEND

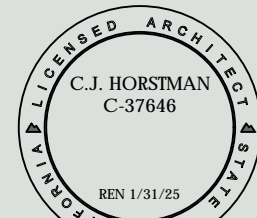
- EXISTING WALLS TO BE REMOVED AND DISPOSED OF, CONTRACTOR TO VERIFY ALL LOAD-BEARING CONDITIONS AND PROVIDE TEMPORARY SHORING IN NECESSARY. CONTACT ARCHITECT IF ANY PROBLEMS BECOME APPARENT DURING DEMOLITION WORK.

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ARCHITECT OF RECORD

DEMO PLAN
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

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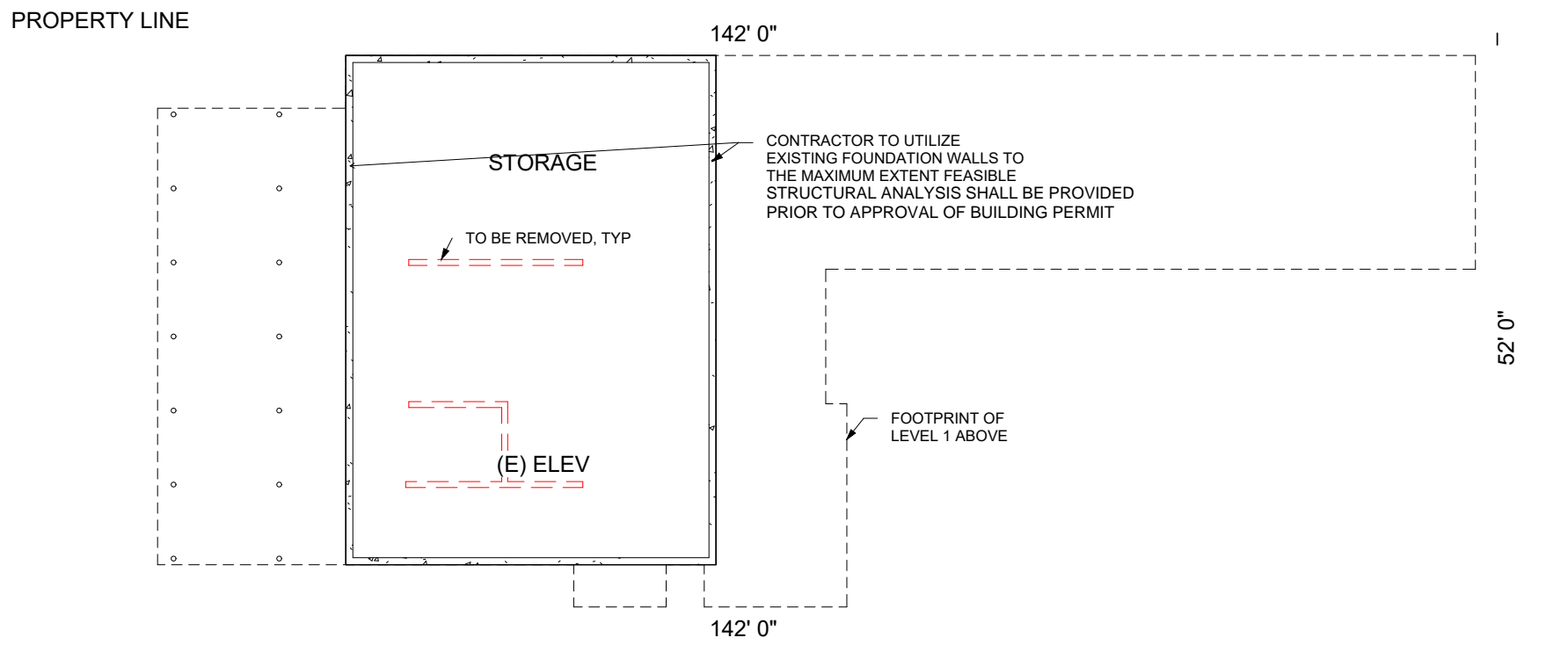
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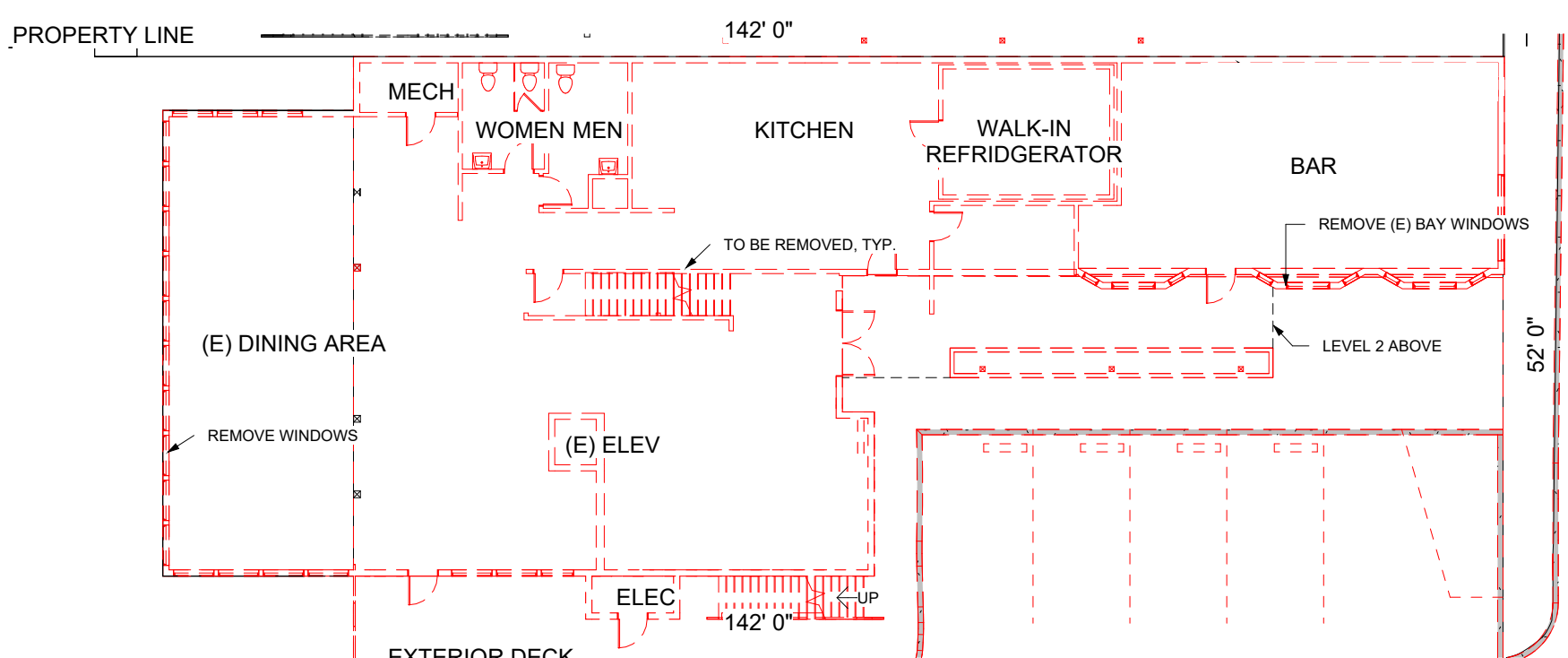
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A2.1

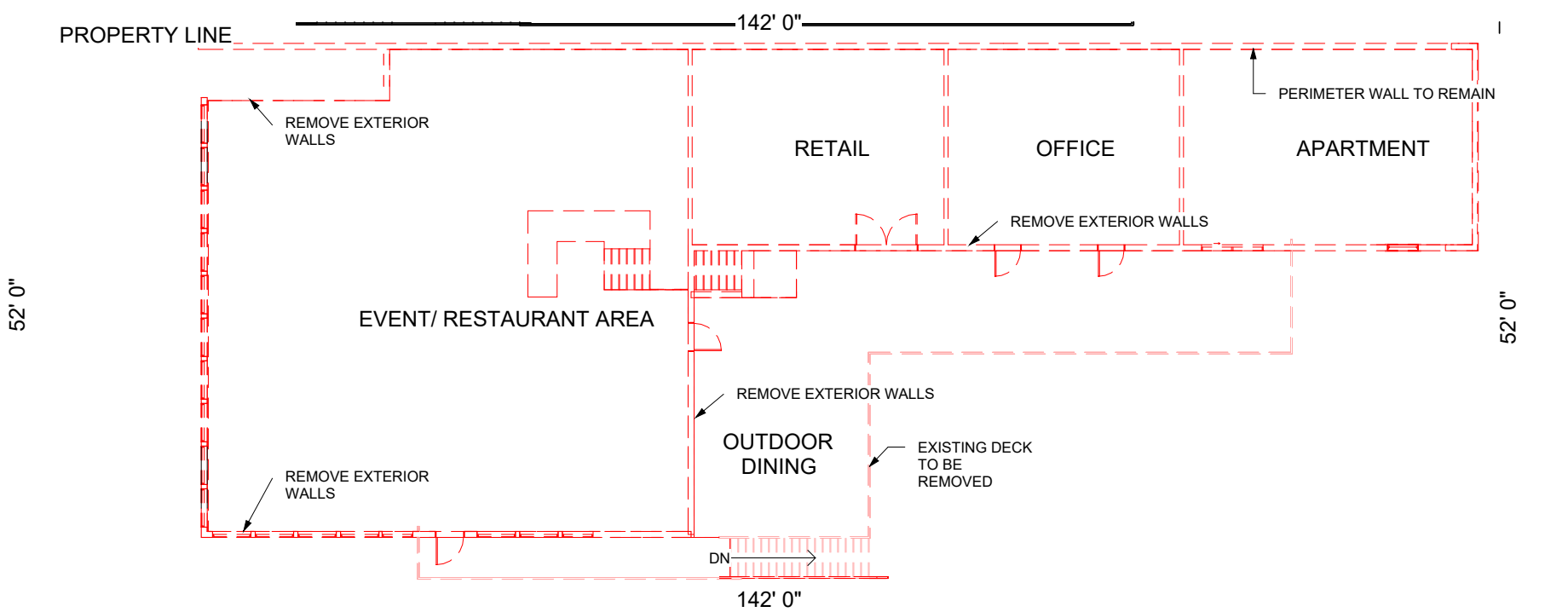
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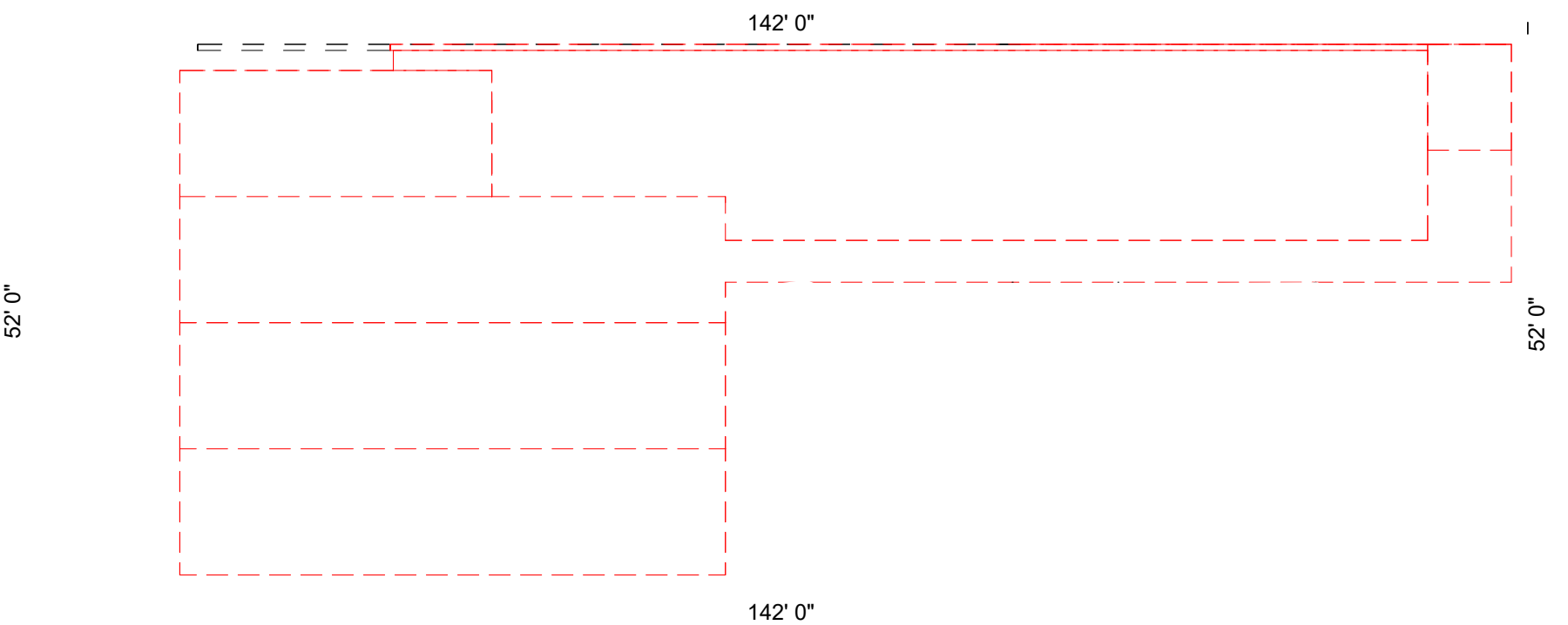
1 EXISTING BASEMENT PLAN DEMO
1/16" = 1'-0"



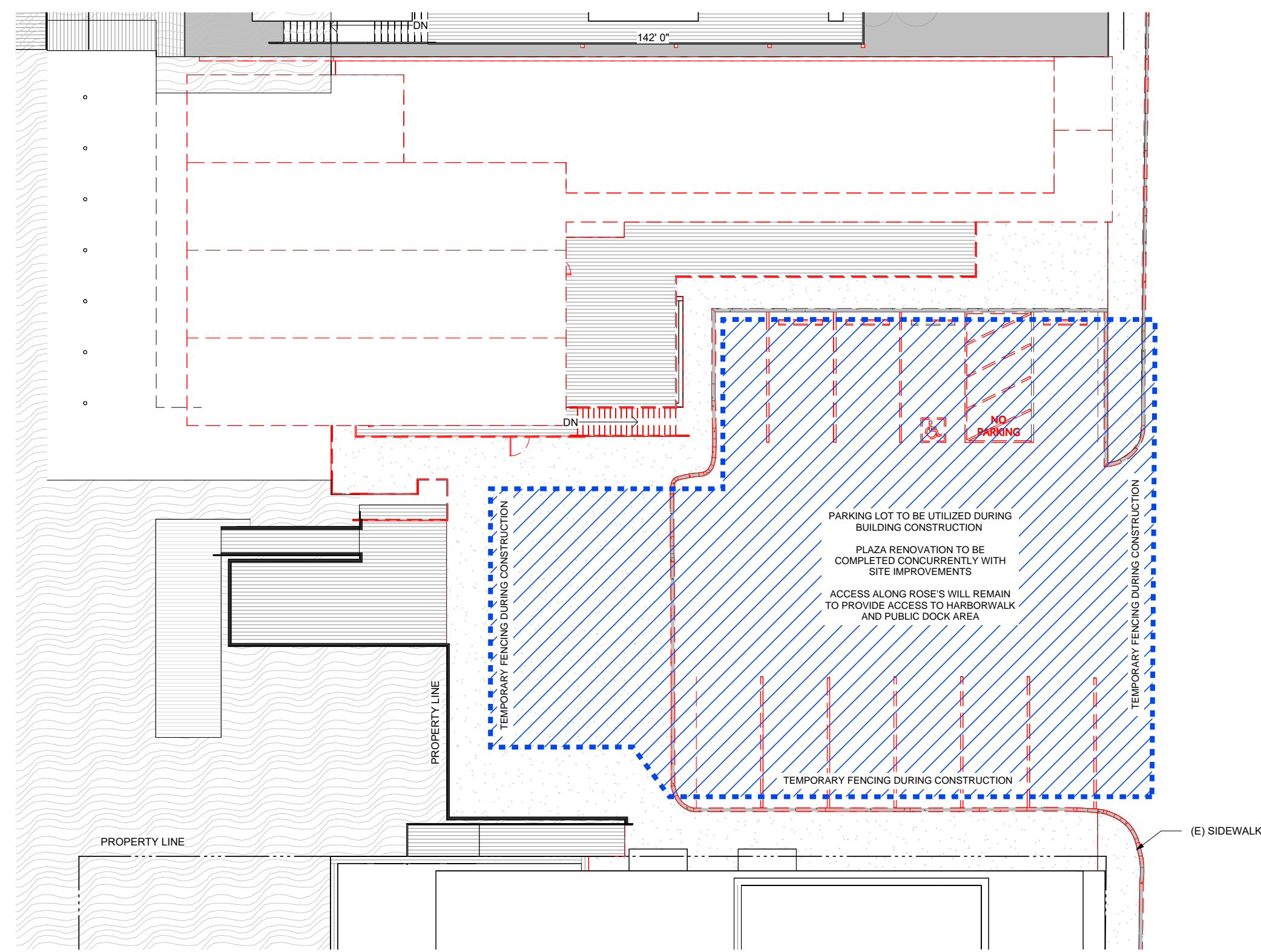
2 EXISTING LEVEL 1 DEMO
1/16" = 1'-0"



3 EXISTING LEVEL 2 DEMO
1/16" = 1'-0"

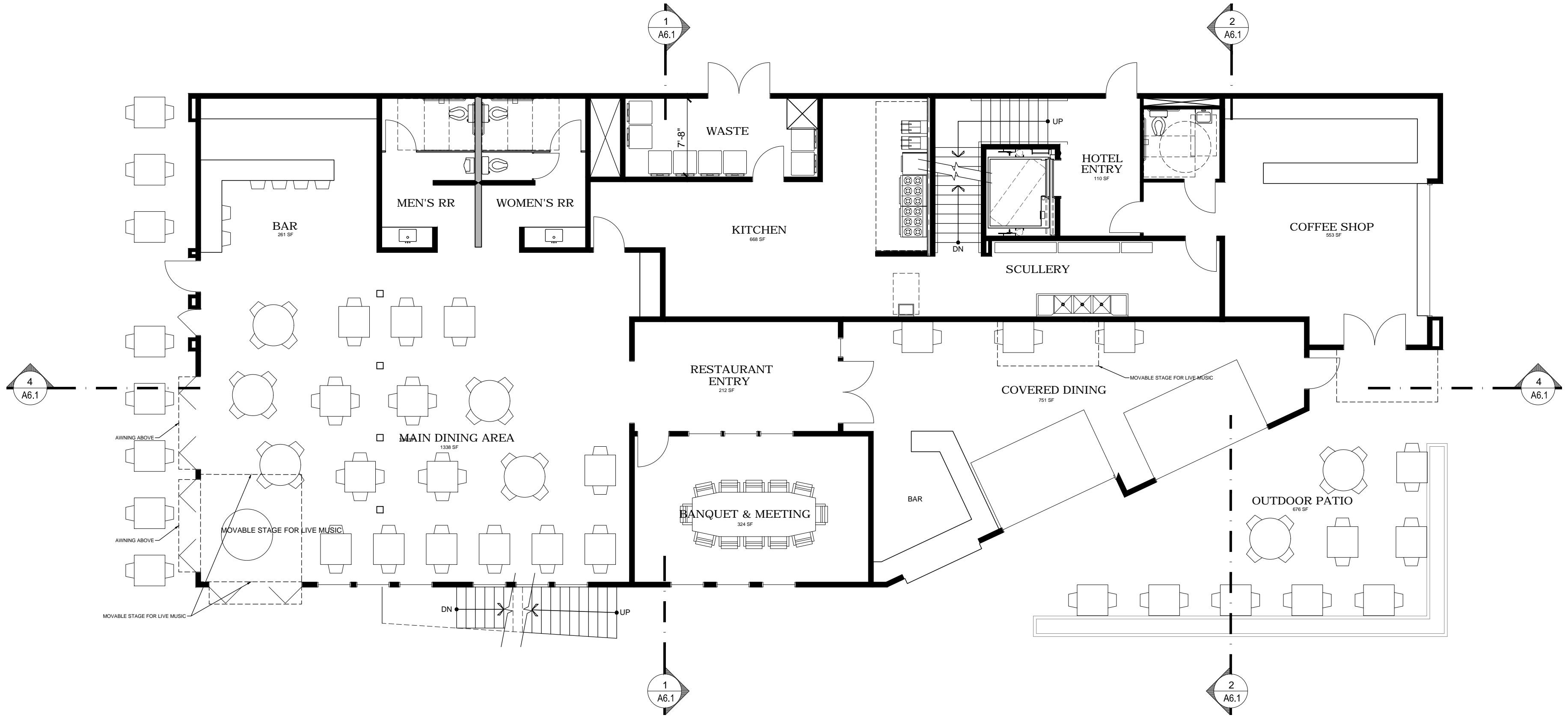


4 EXISTING ROOF PLAN DEMO
1/16" = 1'-0"



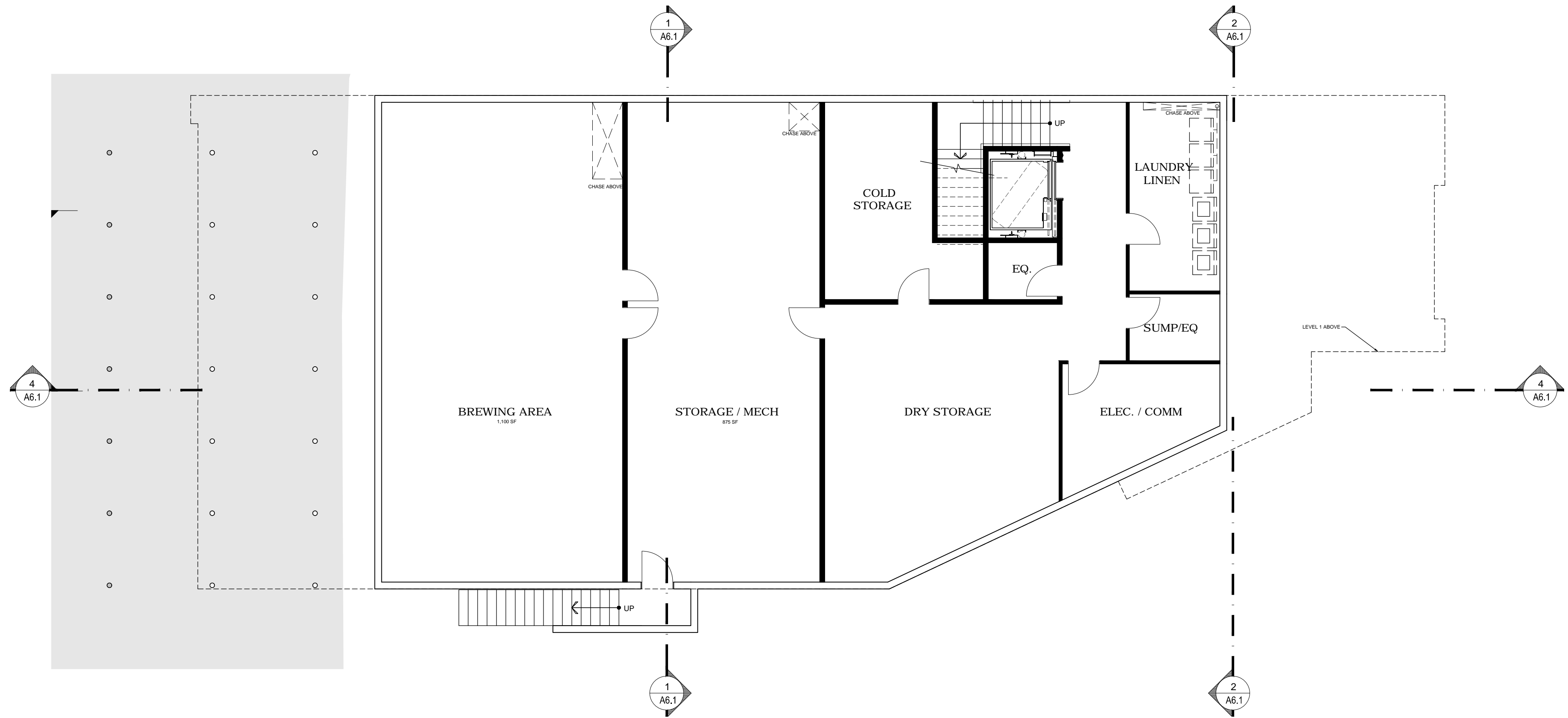
5 EXISTING SITE PLAN DEMO
1/16" = 1'-0"

Exhibit 3
3-24-0149



FLOOR PLAN GENERAL NOTES

- A. THERE SHALL BE NO DIRECT SURFACE FLOW DRAINAGE ACROSS THE PUBLIC SIDEWALK. CONTRACTOR TO VERIFY EXISTING UNDER SIDEWALK DRAINAGE IS WORKING PROPERLY AND REPLACE OR REPAIR AS NECESSARY.
- B. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN **CBC TABLE 803.9**.
- C. ALL 'PRIMARY' EXTERIOR DOORS SHALL HAVE CONTINUOUS PERIMETER VINYL WEATHER STRIPPING, ADA COMPLIANT FLOOR PROOF SILLS AND NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS.
- D. THIS ENTIRE BUILDING AND FACILITY SHALL BE IN COMPLIANCE WITH **2022 CBC CHAPTER 11B** ACCESSIBILITY TO PUBLIC BUILDINGS.
- E. INSTALLATION OF NFPA 13 FIRE PROTECTION SYSTEM IS REQUIRED AND SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADOPTED BUILDING AND FIRE CODES.
- F. FOR DOOR ADA SIGNAGE REQUIREMENTS REFER TO GENERAL NOTES ON A0.2 AND DETAILS ON SHEET A0.05

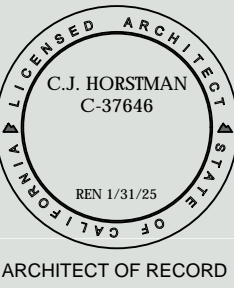


MORRO BAY STAMP AREA

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ARCHITECT OF RECORD

FLOOR PLANS
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
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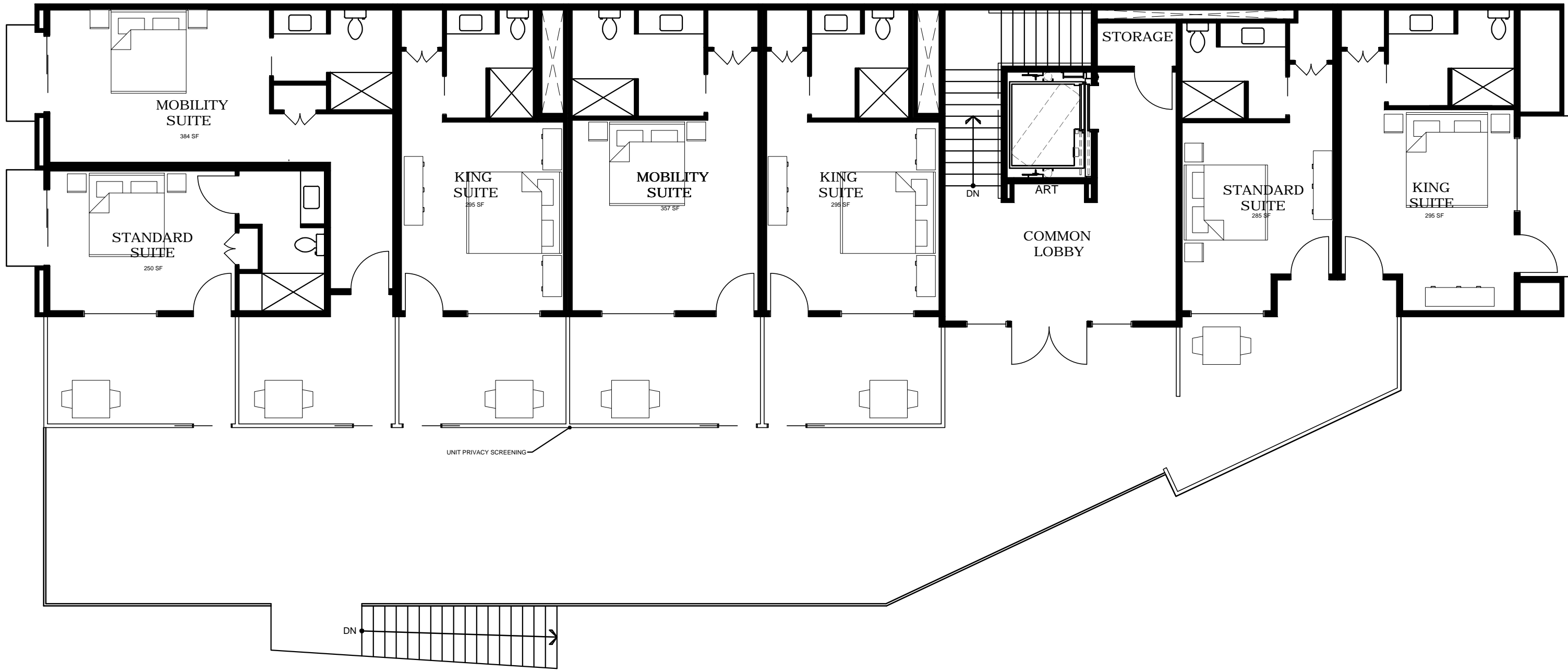
REVISION HISTORY

NO.	DESC.	DATE

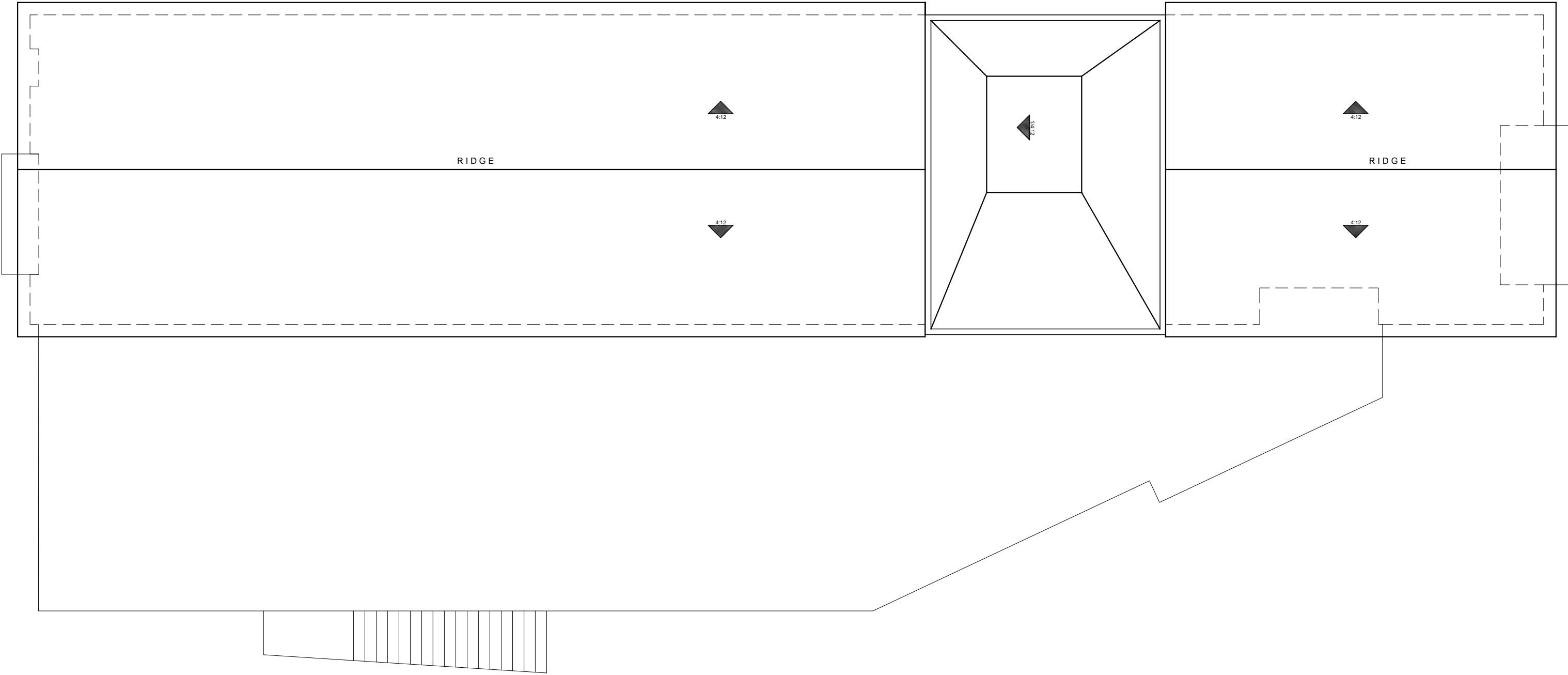
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A2.2

SHEET NUMBER



1 PROPOSED LEVEL 2
1/8" = 1'-0"



2 PROPOSED ROOF PLAN
1/8" = 1'-0"



ROOF GENERAL NOTES

- A. PROVIDE ADEQUATE ROOF SLOPE FOR DRAINAGE (1/4" PER FOOT, MIN.) OR SUBMIT DEFLECTION AND PONDING CALCULATIONS.
- B. RADIANT BARRIER TO BE INSTALLED IN ACCORDANCE WITH THE T24 ENERGY REPORT.

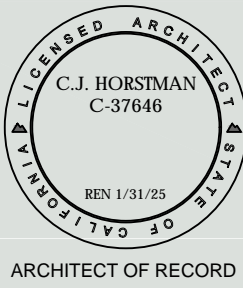
FLOOR PLAN GENERAL NOTES

- A. THERE SHALL BE NO DIRECT SURFACE FLOW DRAINAGE ACROSS THE PUBLIC SIDEWALK. CONTRACTOR TO VERIFY EXISTING UNDER SIDEWALK DRAINAGE IS WORKING PROPERLY AND REPLACE OR REPAIR AS NECESSARY
- B. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN **CBC TABLE 803.9**
- C. ALL 'PRIMARY' EXTERIOR DOORS SHALL HAVE CONTINUOUS PERIMETER VINYL WEATHER STRIPPING, ADA COMPLIANT FLOOR PROOF SILLS AND NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS.
- D. THIS ENTIRE BUILDING AND FACILITY SHALL BE IN COMPLIANCE WITH 2019 **CBC CHAPTER 11B** ACCESSIBILITY TO PUBLIC BUILDINGS.
- E. INSTALLATION OF NFPA 13 FIRE PROTECTION SYSTEM IS REQUIRED AND SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ADOPTED BUILDING AND FIRE CODES.
- F. FOR DOOR ADA SIGNAGE REQUIREMENTS REFER TO GENERAL NOTES ON A0.2 AND DETAILS ON SHEET A0.03

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ARCHITECT OF RECORD

FLOOR AND ROOF PLAN
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

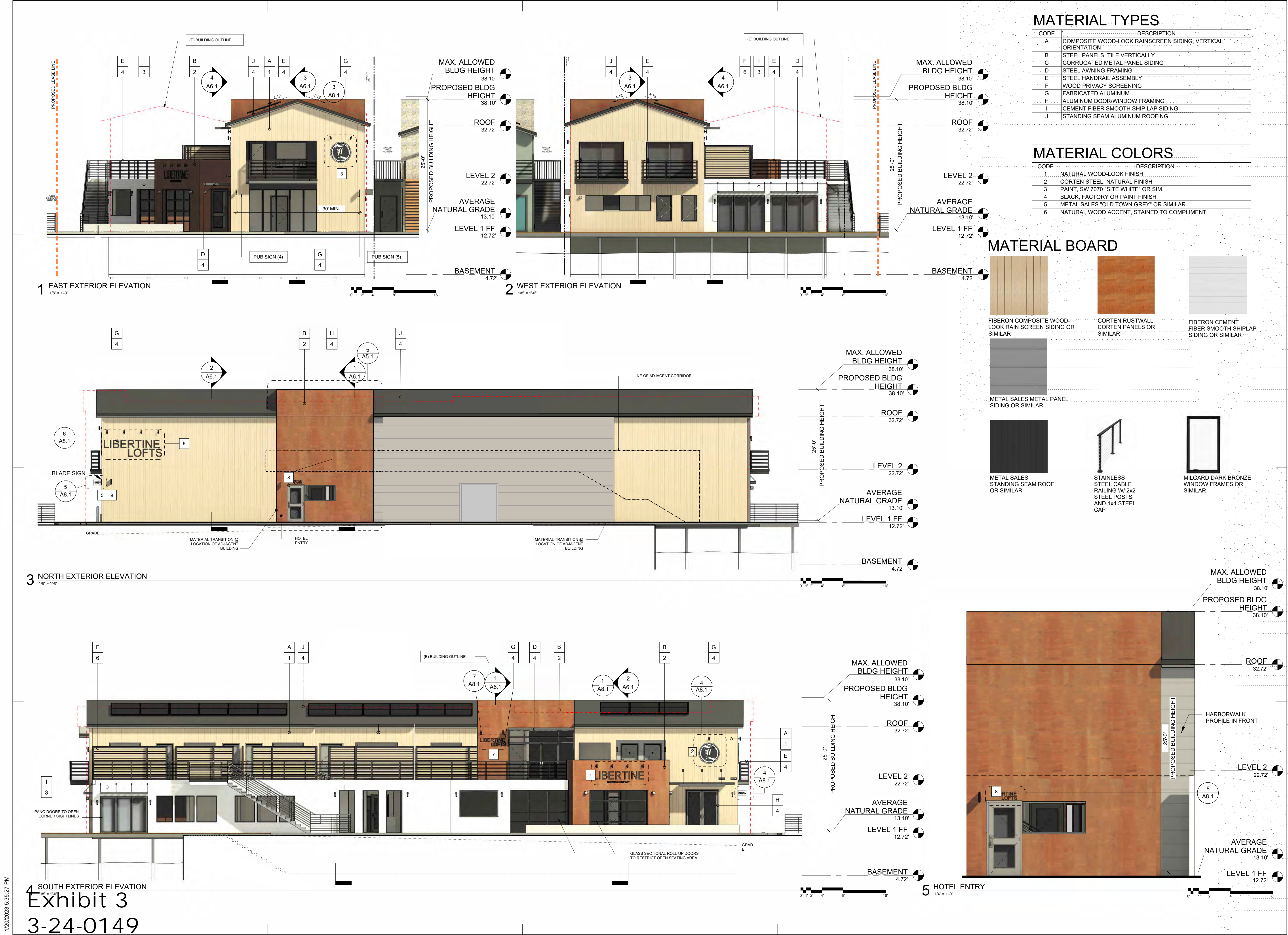
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A2.3
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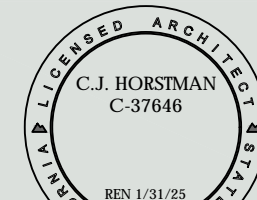


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ARCHITECT OF RECORD

BUILDING ELEVATIONS
LIBERTINE MORRO BAY
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A5.1

SHEET NUMBER

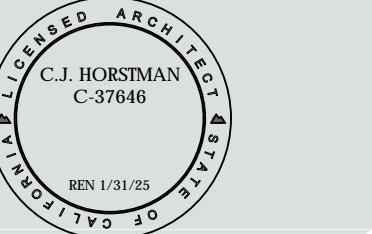


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ARCHITECT OF RECORD

ELEVATIONS WITH
CONTEXT
LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
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A5.2
SHEET NUMBER

SECTION GENERAL NOTES

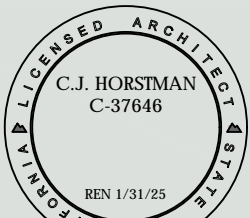
- A. CONCRETE SLAB AND FOOTINGS ARE SHOWN DIAGRAMMATIC AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL REFER TO FOUNDATION PLAN AND FOUNDATION DETAILS FOR EXACT SIZE, LOCATION AND OTHER REQUIREMENTS.
- B. CONTRACTOR SHALL PROVIDE MOISTURE BARRIER (WATERPROOFING, BUILDING PAPER, SHEET METAL AND APPROVED MATERIALS WHERE STUDS ARE ADJACENT TO RETAINING WALLS OR EXPOSED CONCRETE.
- C. PROVIDE 24 GA. GS FLASHING AT ALL WALL AND ROOF PENETRATIONS, VALLEYS AND BUILT-UP CRICKETS IN ACCORDANCE WITH 2022 CBC 1508 & 1509
- D. AIR INFILTRATION AND INSULATION SHALL BE COORDINATED WITH AND MEET THE CA ENERGY CODE. SHOW AND SPECIFY THE R-VALUE OF ALL REQUIRED INSULATION IN WALLS, CEILINGS AND FLOORS.

MORRO BAY STAMP AREA



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ARCHITECT OF RECORD

SECTIONS

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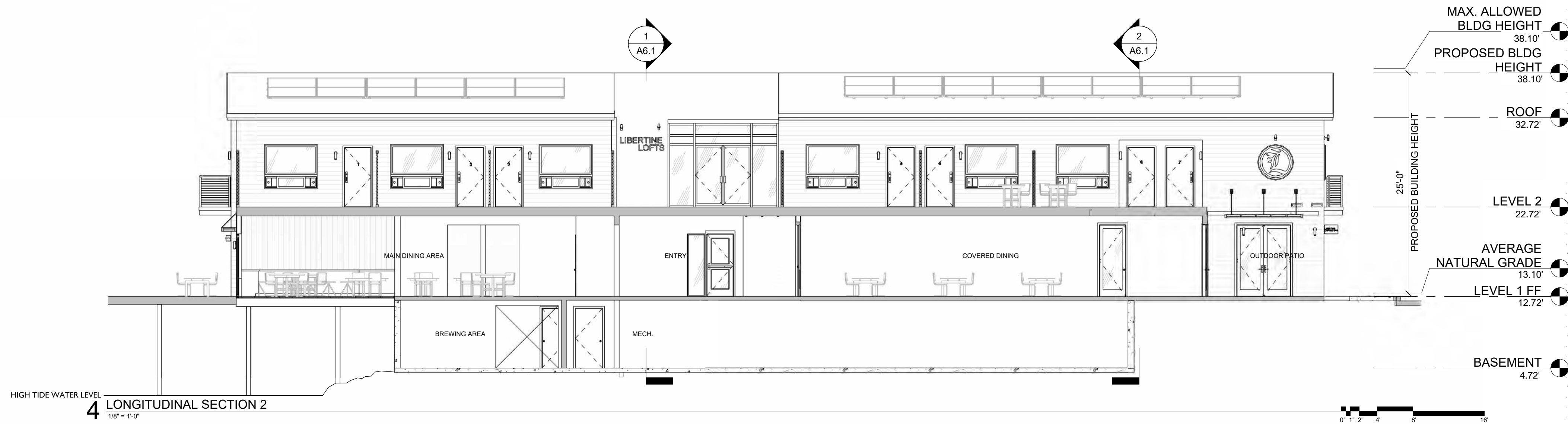
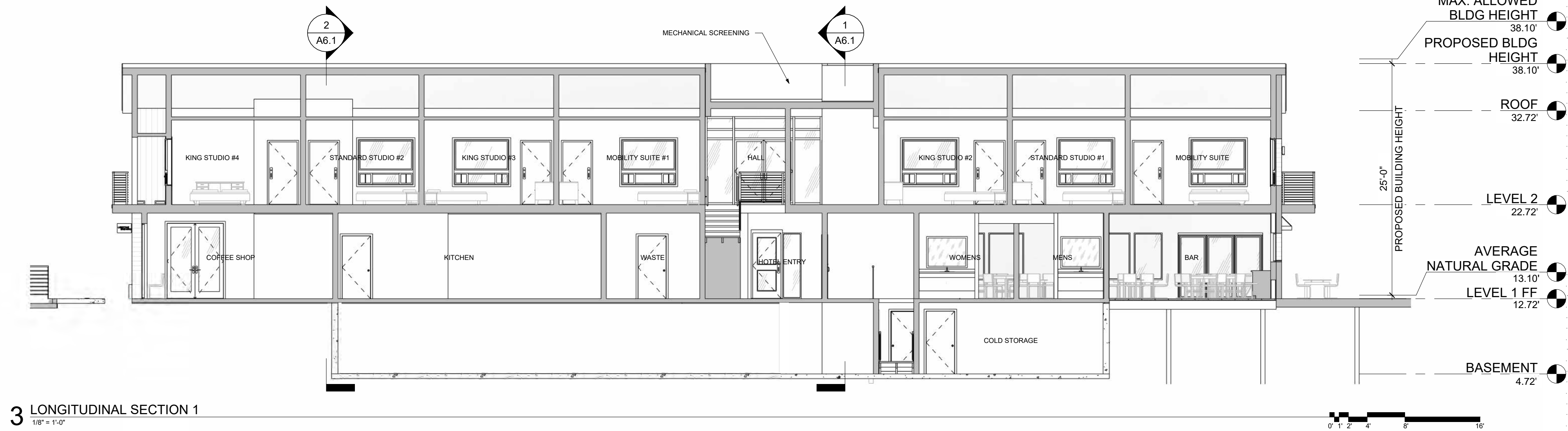
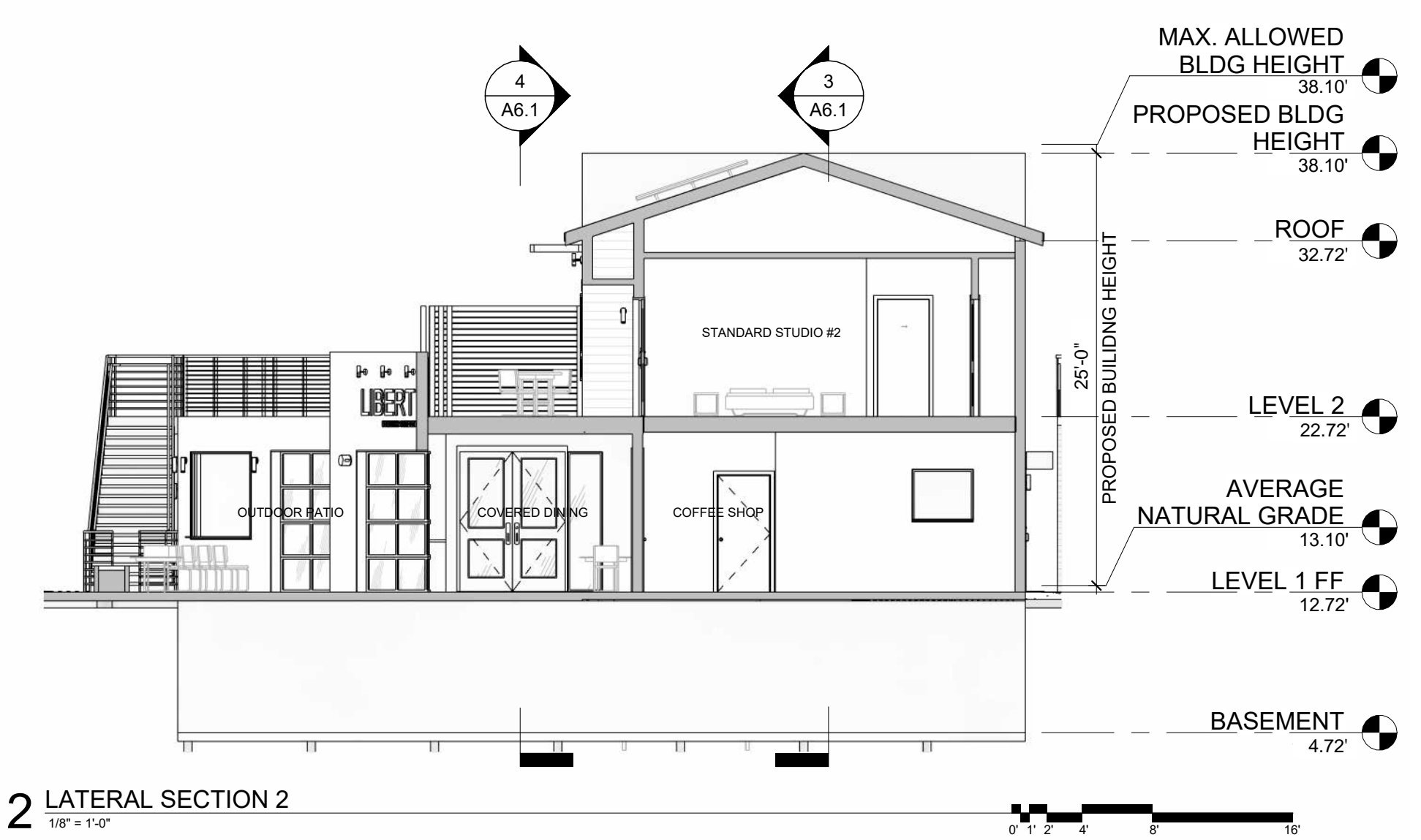
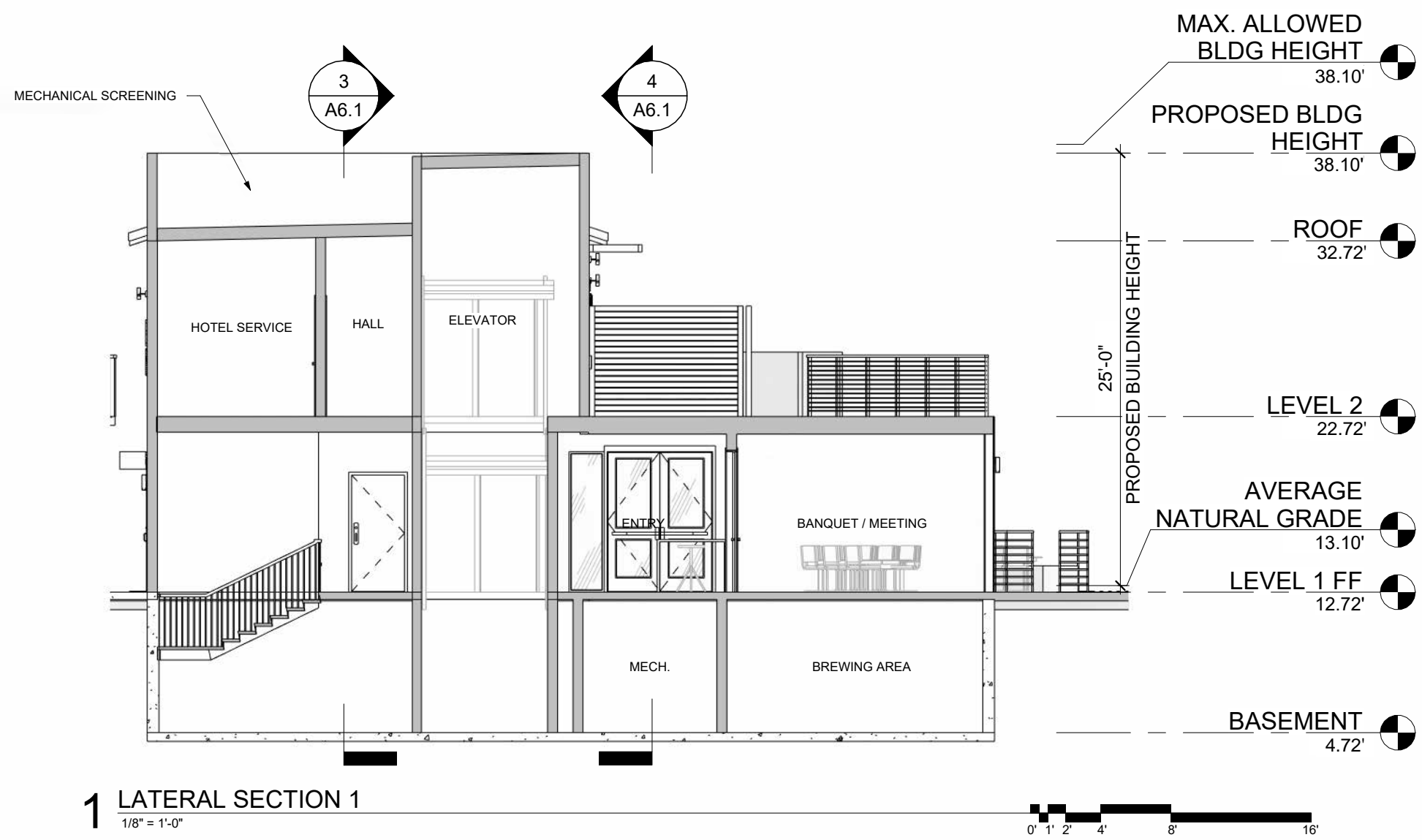
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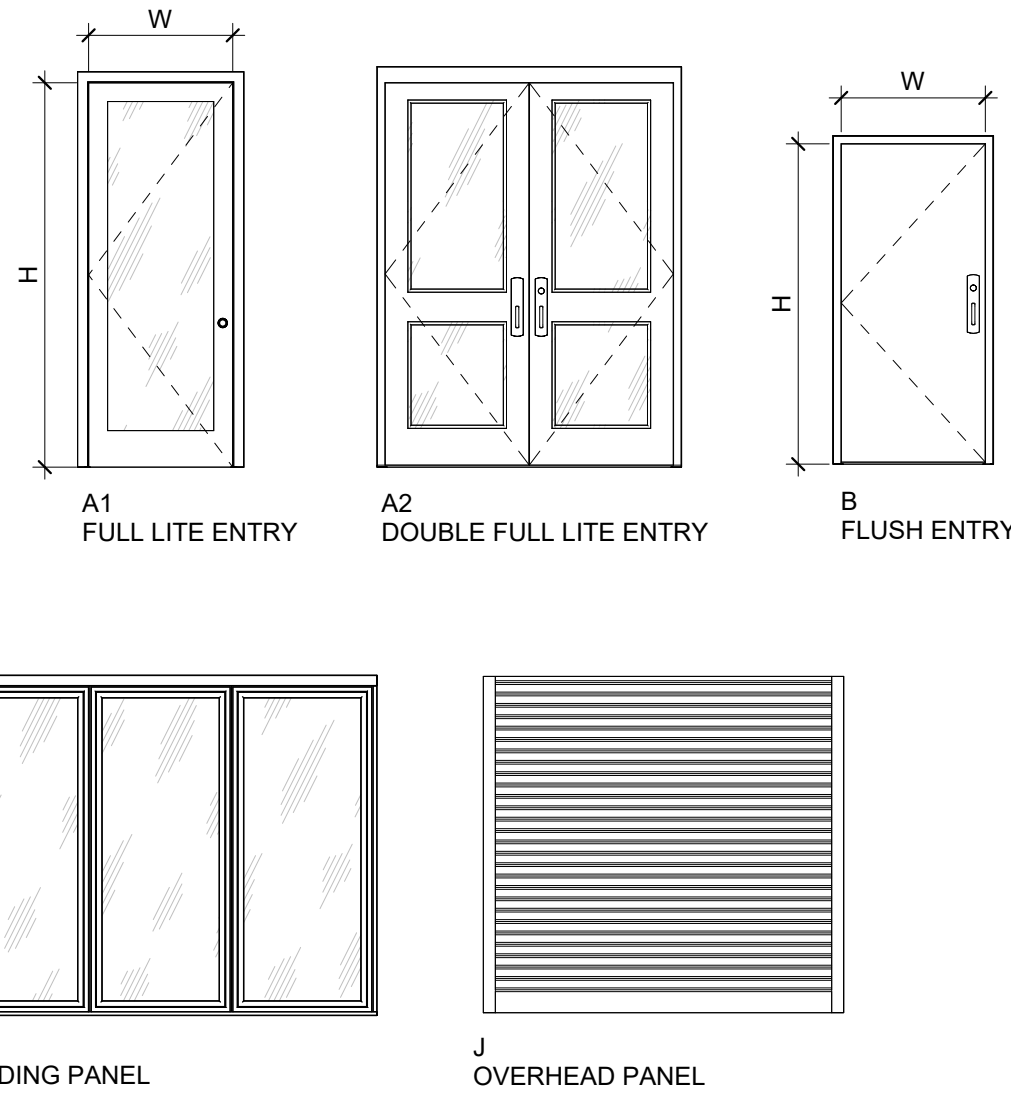
DOOR SCHEDULE

NO	TYPE	DOOR		FRAME		SIZE			DETAILS			RATING	REMARKS
		FIN	MATL	TYPE	FIN	W	H	THK	HEAD	JAMB	THSHLD		
BASEMENT													
001	D	FF	ST	AL	FF	3'-0"	6'-8"	0'-1 3/8"					
002	D	FF	ST	AL	FF	3'-0"	6'-8"	0'-1 3/8"					
004	D	FF	ST	AL	FF	3'-0"	6'-8"	0'-1 3/8"					
Y						0'-0"	7'-0"						
LEVEL 1 FF													
102A	A1	DB	AL	AL	DB	3'-0"	8'-0"	0'-1 3/8"					G2
102B				AL	DB	12'-0"	8'-0"	0'-1 1/2"					
102C				AL	DB	12'-0"	8'-0"	0'-1 1/2"					
103	A2	DB	AL	AL	DB	6'-0"	8'-0"	0'-1 3/4"					G2
104	A1	DB	AL	AL	DB	3'-0"	8'-0"	0'-1 3/8"					G2
105A	I	FF	AL	AL	DB	9'-0"	7'-0"	0'-3 1/8"					G2
105B	I	FF	AL	AL	DB	9'-0"	7'-0"	0'-3 1/8"					G2
105C	I	FF	AL	AL	DB	9'-0"	7'-0"	0'-3 1/8"					G2
105D	D	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
109A	D	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
109B	J	PTX	AL	AL	DB	7'-0"	7'-0"	0'-0 1/2"					
110A	D	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
110B						3'-0"	6'-8"	0'-1 3/4"					
111A	A2	FF	AL	AL	FF	6'-0"	8'-0"	0'-1 3/8"					G2
111B	A1	DB	AL	AL	DB	3'-0"	8'-0"	0'-1 3/8"					G2
111C	D	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
112	A1	DB	AL	AL	DB	3'-0"	7'-0"	0'-1 3/4"					G2
112A	A1	DB	AL	AL	DB	3'-0"	7'-0"	0'-1 3/4"					G2
112C	B	PT	ST	AL	PT	3'-0"	6'-8"	0'-1 3/4"					
LEVEL 2													
201	A2	DB	AL	AL	DB	6'-2 1/4"	6'-8 1/4"	0'-1 3/4"					G2
202	D	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
203A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
203B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
203C	G	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 1/2"					
203D	A1	DB	AL	AL	PT	3'-0"	7'-0"	0'-1 3/8"					G2
204A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
204B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
204C	G	PT	WD	WD	PT	2'-6"	6'-8"	0'-1 1/2"					
205A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
205B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
205C	G	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 1/2"					
206A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
206B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
206C	G	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 1/2"					
207A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
207B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
207C	G	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 1/2"					
208A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
208B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
208C	G	PT	WD	WD	PT	2'-6"	6'-8"	0'-1 1/2"					
209A	B	PT	ST	AL	DB	3'-0"	6'-8"	0'-1 3/4"					
209B	H	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 3/8"					
209C	G	PT	WD	WD	PT	3'-0"	6'-8"	0'-1 1/2"					
209D	C	DB	AL	AL	DB	6'-0"	7'-0"						G2

DOOR NOTES

- A. LOCKING DEVICES AT EXIT DOORS SHALL HAVE A PLAINLY MARKED AND READILY DISTINGUISHABLE MESSAGE PANEL, INDICATING WHETHER THE LOCK IS IN THE "OPEN" OR "LOCKED" POSITION.
- B. MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS OR ANY OTHER TYPE OR DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN THE DOOR OTHER THAN BY OPERATION OF THE LOCKING DEVICE SHALL NOT BE USED, WHERE EXIT DOORS ARE USED IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED. THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOORNOB OR SURFACE-MOUNTED THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- C. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED.
- D. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PAMIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
- E. INTERIOR AND EXTERIOR THRESHOLDS SHALL BE NO HIGHER THAN 1/2 INCH ABOVE THE ADJACENT FLOOR LEVELS. EACH EXPOSED EDGE OF THRESHOLDS IS REQUIRED TO BE BEVELED OR SLOPED AT AN ANGLE NOT TO EXCEED 45 DEGREES SO THAT NO VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.
- F. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR THAT SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. ALL LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS WHICH MAY HAVE A SLOPE NOT TO EXCEED 1/4 INCH PER FOOT.
- G. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
- H. THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION, WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- I. BARS, GRILLES, GRATES, OR SIMILAR DEVICES PLACED OVER EXIT DOORS, SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR ANY SPECIAL KNOWLEDGE OR EFFORT. SUCH BARS, GRILLES, GRATES, OR SIMILAR DEVICES SHALL BE EQUIPPED WITH AN APPROVED RELEASE DEVICE FOR USE BY THE FIRE DEPARTMENT ONLY OR THE EXTERIOR SIDE FOR THE PURPOSE OF FIRE DEPARTMENT EMERGENCY ACCESS, WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- J. ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS, EXCEPT WHERE FIRE-RATED DOORS ARE SCHEDULED, IN WHICH CASE WIRE-GLASS SHALL BE USED.
- K. SIGN ADJACENT TO MAIN EXIT DOORS SHALL STATE: "DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" WITH 1 INCH HIGH CONTRASTING LETTERS.
- L. DOOR DETAILS REFERENCED MAY NOT NECESSARILY SHOW HARDWARE SMOKE SEALS ETC. REFER TO RATING AND HARDWARE GROUP FOR WEATHERSTRIPPING, DOOR BOTTOMS OR SMOKE SEAL REQUIREMENTS.
- M. ALL DOOR MANEUVERING CLEARANCES AT MANUAL SWING DOORS MUST COMPLY WITH DETAIL 24A0.5.

DOOR LEGEND



WINDOW SCHEDULE

NO		FRAME			SIZE		DETAILS					GLAZING	REMARKS
NO	TYPE	MATL	FIN	W	H	HDR HGT	HEAD	JAMB	SILL				
LEVEL 1 FF													
100	1	WD	FF	6'-0"	3'-0"	7'-2"							
101	1	WD	FF	2'-6"	8'-0"	8'-0"							
102	1	WD	FF	2'-6"	8'-0"	8'-0"							
103	1	WD	FF	2'-6"	8'-0"	8'-0"							
104	1	WD	FF	2'-6"	8'-0"	8'-0"							
105	1	WD	FF	2'-6"	8'-0"	8'-0"							
106	P	WD	PT	8'-0"	5'-0"	8'-0"							
107	1	WD	FF	3'-0"	8'-0"	8'-0"						G2	
108	1	WD	FF	3'-0"	8'-0"	8'-0"						G2	
109	1	WD	FF	3'-0"	8'-0"	8'-0"						G2	
113	1	WD	FF	3'-9"	5'-0"	7'-0"							
114	1	WD	FF	3'-9"	5'-0"	7'-0"							
115	1	WD	FF	3'-0"	5'-0"	7'-0"							
116	2	WD	FF	3'-0"	5'-0"	7'-0"							
117	P	WD	PT	6'-0"	3'-1"	7'-0"							
118	P	WD	PT	3'-6"	3'-1"	7'-0"							
119	1	WD	FF	2'-0"	8'-0"	8'-0"							
121	1	WD	FF	3'-0"	8'-0"	8'-0"						G2	
122	1	WD	FF	3'-0"	8'-0"	8'-0"						G2	
123	1	WD	FF	3'-0"	8'-0"	8'-0"						G2	
124	P	WD	PT	3'-6"	3'-0"	7'-0"							
125	1	WD	FF	2'-0"	7'-0"	7'-0"						G2	
423	2	WD	FF	3'-0"	5'-0"	7'-0"							
LEVEL 2													
203	5	AL		5' - 11 1/2"	4' - 11 1/2"	7' - 0"							
204	5	AL		5' - 11 1/2"	4' - 11 1/2"	7' - 0"							
205	5	AL		5' - 11 1/2"	4' - 11 1/2"	7' - 0"							

Exhibit 3

3-24-0149

Page 15 of 18

ROOM FINISH SCHEDULE

NO	ROOM NAME	FLR	BASE		WALLS								CEILING			WAINSCOT				REMARKS
			MATL	FIN	NORTH		EAST		SOUTH		WEST		HGT	FIN	MATL	WALL	MATL	FIN	HGT	
					MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN								
Not Placed																				
210	FIRST FLOOR												8' - 0"							
BASEMENT																				
001	COLD STORAGE												7' - 4 3/4"							
002	STORAGE												8' - 0"							
003	BREWING AREA												8' - 0"							
004	MECH.												8' - 0"							
LEVEL 1 FF																				
101	OUTDOOR PATIO												10' - 0"							
102	COVERED DINING												9' - 0"							
103	ENTRY												9' - 0"							
104	BANQUET / MEETING												9' - 0"							
105	MAIN DINING AREA												9' - 0"							
106	BAR												9' - 0"							
107	MENS												9' - 0"							
108	WOMENS												9' - 0"							
109	WASTE												9' - 0"							
110	KITCHEN												9' - 0"							
111	COFFEE SHOP												9' - 0"							
112	HOTEL ENTRY												8' - 0"							
LEVEL 2																				
201	HALL												10' - 0"							
202	HOTEL SERVICE												10' - 0"							
203	KING STUDIO #4												10' - 0"							
204	STANDARD STUDIO #2												10' - 0"							
205	KING STUDIO #3												10' - 0"							
206	MOBILITY SUITE #1												10' - 0"							
207	KING STUDIO #2												10' - 0"							
208	STANDARD STUDIO #1												10' - 0"							
209	MOBILITY SUITE												10' - 0"							

MATERIAL CODES

- CODE FLOOR**



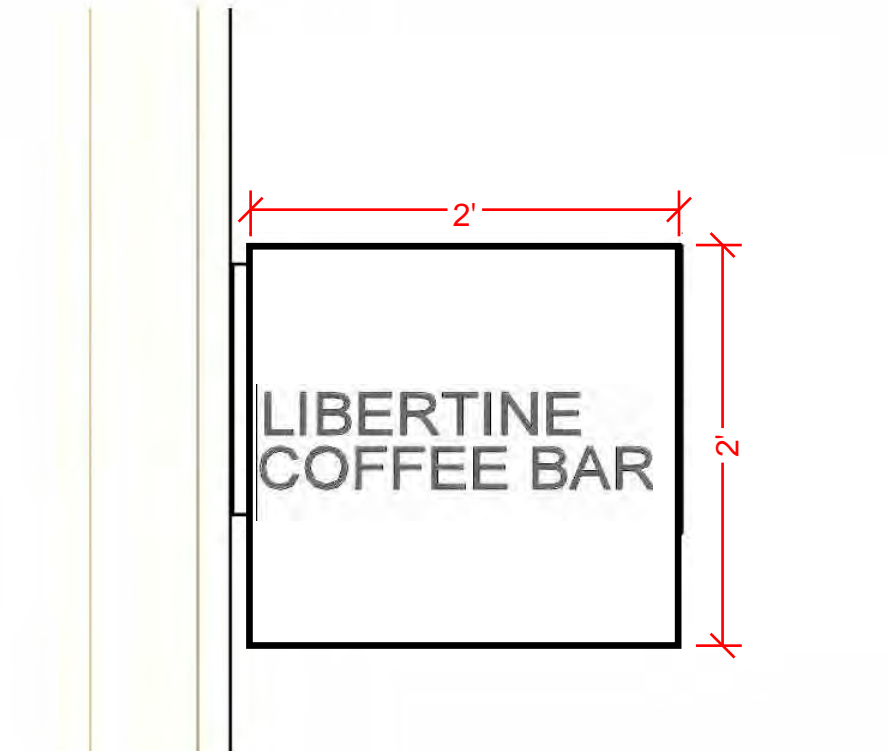
1 WALL SIGN (LETTERS MAIN)
3/4" = 1'-0"
* SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.



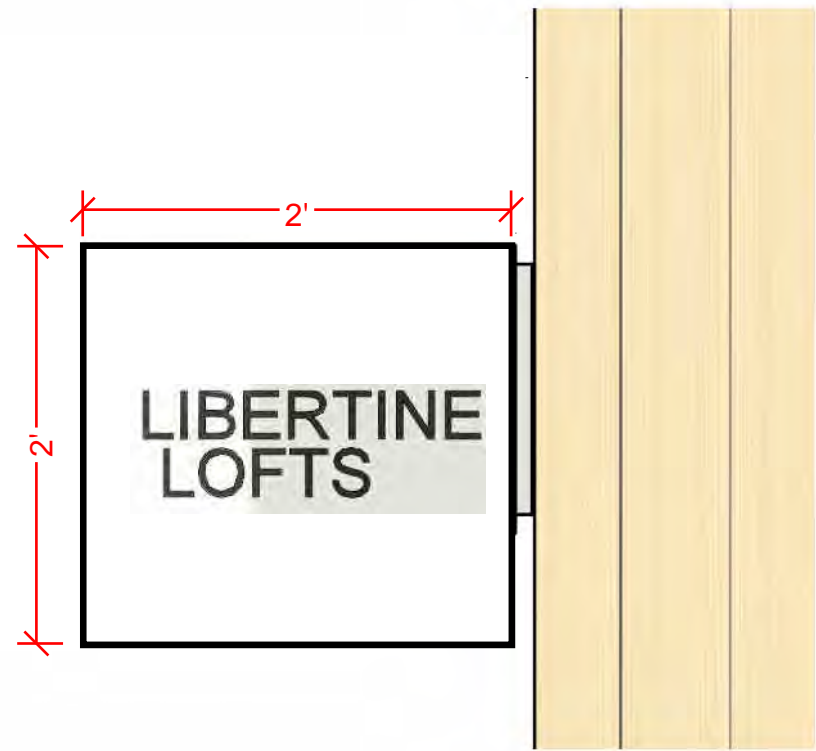
2 WALL SIGN (LOGO SOUTH)
3/4" = 1'-0"
* SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.



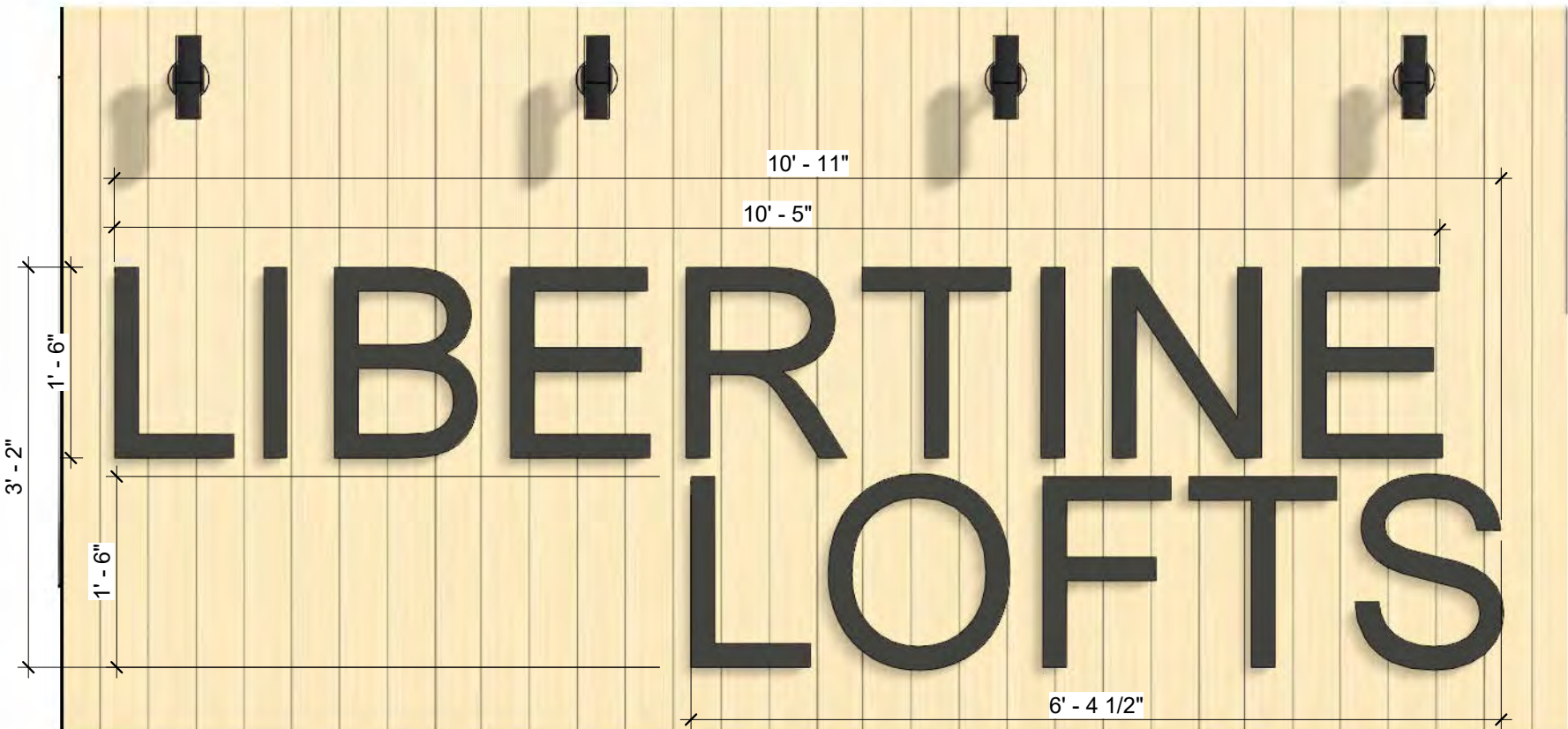
3 WALL SIGN (LOGO EAST)
3/4" = 1'-0"
* SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.
* PRIMARY FAÇADE SIGN



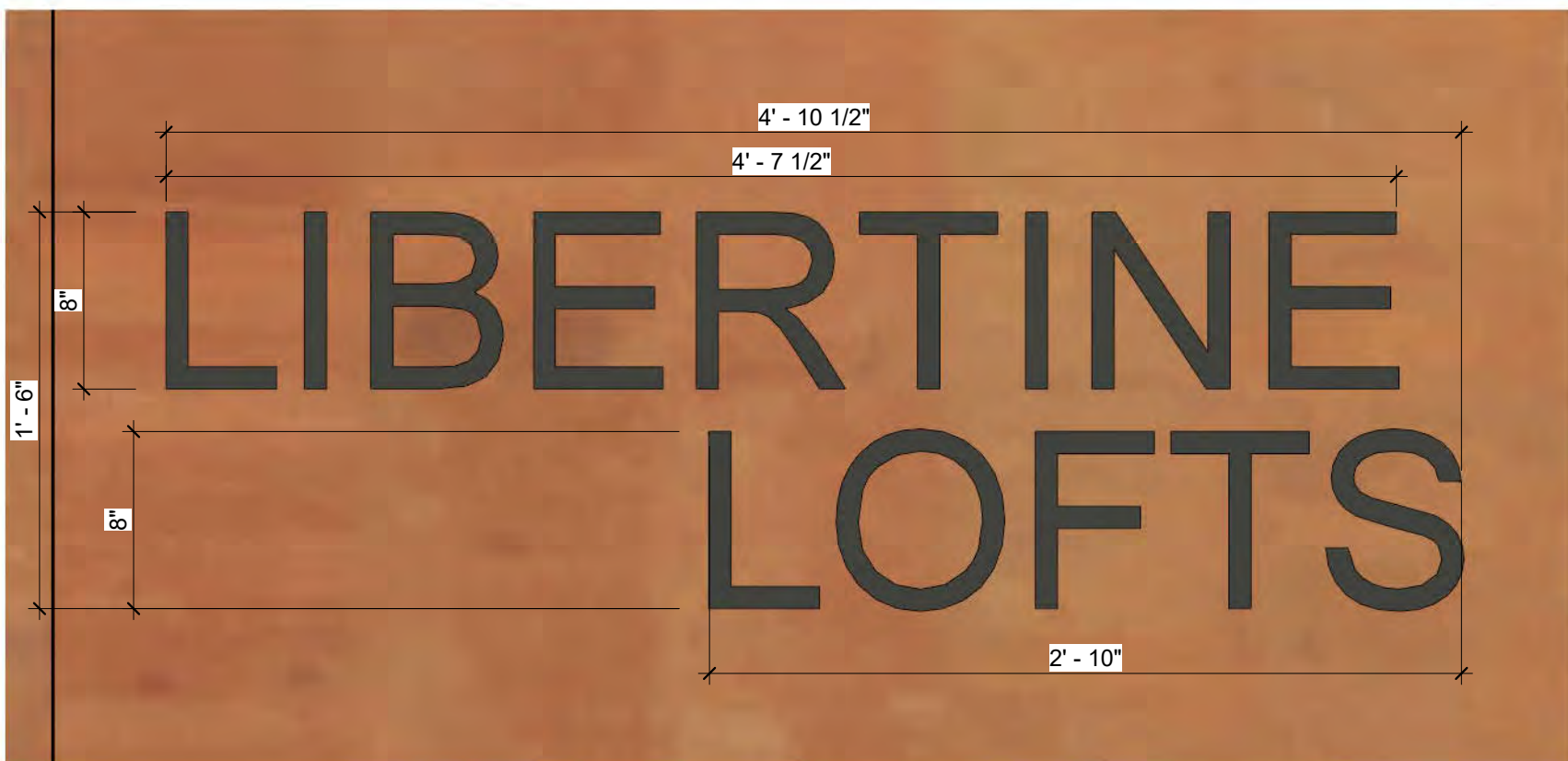
4 PUB SIGN (COFFEE)
1 1/2" = 1'-0"
* SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.



5 PUB SIGN (LOFTS)
1 1/2" = 1'-0"
* SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.



6 WALL SIGN (LETTERS NORTH)
3/4" = 1'-0"
* SIGN TO BE METAL EXTERIOR ILLUMINATED. ATTACH PER MANUFACTURER SPECIFICATIONS.



7 WALL SIGN (LETTERS SECONDARY)
1 1/2" = 1'-0"
* SIGN TO BE METAL. ATTACH PER MANUFACTURER SPECIFICATIONS.

SIGNAGE CALCULATIONS

Mark	Sign Type	Dimensions	Total Sq. Ft.
East Elevation:			
	3 WALL SIGN (LOGO EAST)	4' DIA	16 SF
	4 PUB SIGN (COFFEE)	2'x2'	4 SF
	5 PUB SIGN (LOFTS)	2'x2'	4 SF

Subtotal 24 SF

South Elevation:			
	1 WALL SIGN (LETTERS MAIN)	15'-5" x 2'-2"	22.57 SF
	2 WALL SIGN (LOGO SOUTH)	4' DIA	16 SF
	7 WALL SIGN (LETTERS SECONDARY)	4'-10.5" x 1'-6"	7.31 SF

Subtotal 45.88 SF

West Elevation: NO SIGNAGE PROPOSED

Subtotal 0 SF

North Elevation:			
	6 WALL SIGN (LETTERS NORTH)	10'-11" x 3'-2"	34.57 SF
	8 WALL SIGN (LETTERS LOFTS)	2'-5" x 0'-9"	1.81 SF

Subtotal 36.38 SF

Total Proposed All Elevations 106.26

Primary Façade Area (east elevation) = 317 sf proposed

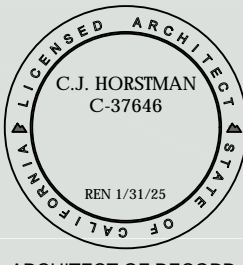
Secondary Façade Area (other elevations) = 86.83 sf proposed.

MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

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ARROYO GRANDE, CA 93420
HABGROUP.NET
805-544-4334



ARCHITECT OF RECORD

SIGNAGE

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET TITLE

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REVISION HISTORY

NO.	DESC.	DATE

APP #	
APN #	006-322-008
JOB #	20-185
DATE	2023-11-01
DRAWN BY	TW
CHECKED BY	TM

A8.1

SHEET NUMBER

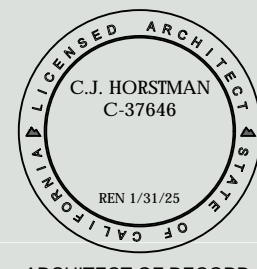


MORRO BAY STAMP AREA



ARCHITECTS
DESIGNERS
CREATIVE SOLUTION HUNTERS

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ARCHITECT OF RECORD

PROJECT IMAGES

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
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NO.	DESC.	DATE

APP #	--
APN #	006-322-008
JOB #	20-185
DATE	2023-11-01
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CHECKED BY:	TM

A9.1

SHEET NUMBER

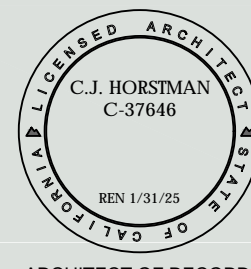


MORRO BAY STAMP AREA



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ARCHITECT OF RECORD

PROJECT IMAGES

LIBERTINE MORRO BAY
801 EMBARCADERO
LEASE SITES 86 & 86W
MORRO BAY, CA

SHEET
TITLE

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REVISION HISTORY

NO.	DESC.	DATE

APP #	--
APN #	006-322-008
JOB #	20-185
DATE	2023-11-01
DRAWN BY:	TW
CHECKED BY:	TM

A9.2

SHEET NUMBER

RESOLUTION NO. 08-24

**RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF MORRO BAY, CALIFORNIA
APPROVING COMBINED CONCEPT/PRECISE PLAN CONDITIONAL
USE PERMIT APPROVAL (#CUP22-09) FOR DEMOLITION AND
RECONSTRUCTION OF TWO-STORY WITH BASEMENT MIXED-USE
BUILDING INCLUDING RESTAURANT, COFFEE SHOP, BREWING AREA, 7
UNIT HOTEL, OUTDOOR DINING, RECONSTRUCTION OF NEW SIDE-TIE
DOCK AND GANGWAY, MASTER SIGN PROGRAM APPROVAL,
HARBORWALK AND PUBLIC ACCESS IMPROVEMENTS, INCLUDING
REMOVAL OF 11 PUBLIC PARKING SPACES IN STREET-END FOR
CREATION OF NEW PUBLIC PLAZA,
AT 801 EMBARCADERO, LIBERTINE BREWING
(CITY LEASE SITE 86 AND 86W).**

**THE CITY COUNCIL
City of Morro Bay, California**

WHEREAS, the Planning Commission of the City of Morro Bay conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on December 19, 2023, for the purpose of considering a combined Concept/Precise Plan approval of Conditional Use Permit #CUP22-09 ("the Project"); and

WHEREAS, the City's City Council conducted a public hearing at the Morro Bay Veteran's Hall, 209 Surf Street, Morro Bay, California, on January 23, 2024, pursuant to the Planned Development regulations (Morro Bay Municipal Code (MBMC) section 17.40.030), for the purpose of considering the Project for 801 Embarcadero, also known as the Libertine Brewing Company, in an area within the original jurisdiction of the California Coastal Commission; and

WHEREAS, notices of the public hearings were made at the time and in the manner required by law; and

WHEREAS, the City Council has duly considered all evidence, including the testimony of the Applicant, interested parties, and the evaluation and recommendations by staff, presented at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Morro Bay as follows:

Section 1: Findings. Based upon all the evidence, the Council makes the following findings:

California Environmental Quality Act (CEQA)

- A. That for purposes of the California Environmental Quality Act, Case No. CUP22-09 is categorically exempt under Section 15302, Class 2b where under replacement of reconstruction of commercial structure with a new structure of substantially the same, size, purpose, and capacity is allowed for which the proposed Harborwalk Plaza project would qualify for an exemption. In addition, an eelgrass survey was performed on October 16, 2022 which found no eelgrass growing in the proposed waterfront project area. The project will be subject to marine mammal monitoring during construction with implementation of best management practices (BMPs) as conditioned by Planning conditions 10-15. Additionally,

none of the Categorical Exemption exceptions, noted under section 15300.2, apply to the project.

CONDITIONAL USE PERMIT FINDINGS

- A. The project will not be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood in that demolition/reconstruction of mixed use two story building of 7 hotel units and ground floor restaurant and coffee shop uses with reconstructed dock system at 801 Embarcadero are permitted uses within the zoning district and said structures comply with all applicable project conditions and City regulations and is consistent with the City's Local Coastal Program.
- B. The project will not be injurious or detrimental to property and improvements in the neighborhood and the general welfare of the City in that the proposed hotel use, new restaurant, coffee shop, outdoor dining, reconstructed side-tie dock and gangway along with public plaza will provide a visitor-serving recreational opportunity which will provide additional benefit and improvement to a visitor-serving commercial use and is consistent with the character of the existing development.

Waterfront Master Plan Findings

- A. The proposed project makes a positive contribution to the visual and public accessibility to the bay while increasing and maintaining commercial fishing industry:
 - 1. Meets the Waterfront plan height limit and maximum building coverage, bulk, and scale requirements in that the proposed project does not exceed the maximum height allowed and interesting articulation breaks up the bulk and scale, and complies with roof sloping requirements.
 - 2. In the case of granting height greater than 17 feet, the proposed project also provides significant public benefit pursuant to the Planned Development Overlay zone requirements in that the proposed project is providing significant public benefit in the form of a 15 foot wide Harborwalk where 10 foot is the requirement, a second floor public viewing deck, publicly accessible dock, and creation of public plaza improvements and event space.
 - 3. The proposed project provides the amenities identified in the WF Plan, facilitates pedestrian visual and physical access to the waterfront, and takes advantage of outward views and characteristics of the topography in that the building including a 2nd level open public viewing deck, adding new public coastal access signage, improved overall commercial signage aesthetics through the sign program proposed for the new building, provides overnight accommodations, and preserves scenic vistas at the street ends which enhances public amenities in this areas with the creation of the public plaza. The open second floor public viewing deck enhances the views as seen from the bluff top looking across the building towards the bay.
 - 4. The proposed project makes a positive contribution to the working fishing village character and quality of the Embarcadero area in that the new project will add to the pedestrian orientation with outdoor dining area, public plaza improvements, which will maintain and enhance views of the bay.

5. The proposed project recognizes the pedestrian orientation of the Embarcadero and provides an interesting and varied design that will enhance the pedestrian experience in that the new building will open up to the passing pedestrian through creation of 15 foot Harborwalk/bayside lateral access where none currently exists.
6. The project gives its occupants and the public some variety in materials and/or application in that the building will consist of composite wood and shiplap siding, corten panels and standing seam metal roof and the outdoor dining area will be bordered by drought tolerant landscaping in an attractive planter area.
7. The project contains the elements of harmony, continuity, proportion, simplicity, and balance, and its appearance matches its function and the uses proposed in that the new structure will provide more horizontal and vertical articulation, provide bay views with the second level public viewing deck, and creation of 15-foot wide Harborwalk/bayside lateral access all of which provides articulation that is consistent with the character of the waterfront.
8. The proposed project does not diminish, either directly or by cumulative impact of several similar projects, the use, enjoyment, or attractiveness of adjacent buildings and provides a visual and pedestrian transition to its immediate neighbor in that the existing and new construction is in keeping with the architectural style, massing, materials, scale, and use of its surroundings.

Planned Development Overlay Finding

- A. The Planning Commission finds the project as conditioned with the provision of public benefits including 15 foot Harborwalk where 10 foot is otherwise required, second floor public viewing deck, publicly accessible dock, and creation of public plaza improvements and event space in the adjacent street end constitutes greater than normal benefits and warrants modification of standards to allow a reduction in the second floor front setback, a small encroachment into the required diagonal view corridor at the southwest building corner, allow projecting pub signs as shown on project plans on the east and north elevation to be located less than 30 feet apart, less than 15 feet from edge of façade, and less than the minimum 4 square feet in size if desired by the applicant, and also to allow building height up to 25 feet where otherwise 17 feet would be the standard building height.

Architectural Consideration

- A. As required by Ordinance Section 17.48.200 the Planning Commission finds that the architectural treatment and general appearance of all proposed structures and open areas are in keeping with the character of the surrounding areas, are compatible with any design themes adopted by the city, and are not detrimental to the orderly and harmonious development of the city or to the desirability of investment of occupation in the area.

Design Review Finding

- A. Pursuant to 2022 Zoning Code Chapter 17.38, the Planning Commission finds that the overall design of the project including its form, scale, massing, site plan, exterior design, and landscaping will implement the General Plan Vision for Community Character Areas for the particular area in which it is located as well as complement the natural and built features of surrounding properties and incorporate sustainable development features.
- B. The project design is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.

certified Local Coastal Program Land Use Plan (LCP) in effect at the time of the extension request.

- C. Changes: Minor changes to the project description and/or conditions of approval shall be subject to review and approval by the Community Development Director. Any changes to this approved permit determined, by the Director, not to be minor shall require the filing of an application for a permit amendment subject to Planning Commission review.
- D. Compliance with the Law: (a) All requirements of any law, ordinance or regulation of the State of California, the City, and any other governmental entity shall be complied with in the exercise of this approval, (b) This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan for the City.
- E. Hold Harmless: The applicant, as a condition of approval, hereby agrees to defend, indemnify, and hold harmless the City, its agents, officers, and employees, from any claim, action, or proceeding against the City as a result of the action or inaction by the City, or from any claim to attack, set aside, void, or annul this approval by the City of the applicant's project; or applicants failure to comply with conditions of approval. Applicant understands and acknowledges the City is under no obligation to defend any legal actions challenging the City's actions with respect to the project. This condition and agreement shall be binding on all successors and assigns.
- F. Compliance with Conditions: The applicant's establishment of the use or development of the subject property constitutes acknowledgement and acceptance of all Conditions of Approval. Compliance with and execution of all conditions listed hereon shall be required prior to obtaining final building inspection clearance. Deviation from this requirement shall be permitted only by written consent of the Director or as authorized by the Planning Commission. Failure to comply with any of these conditions shall render this entitlement, at the discretion of the Director, null and void. Continuation of the use without a valid entitlement will constitute a violation of the MBMC and is a misdemeanor.
- G. Compliance with Morro Bay Standards: This project shall meet all applicable requirements under the MBMC, and shall be consistent with all programs and policies contained in the LCP and General Plan of the City.
- H. Conditions of Approval: The Findings and Conditions of Approval shall be included as a full-size sheet in the Building Plans.

BUILDING CONDITIONS:

A. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. Building permit plans shall be submitted by a California licensed architect or engineer when required by the Business & Professions Code, except when otherwise approved by the Chief Building Official.
2. The owner shall designate on the building permit application a registered design professional who shall act as the Registered Design Professional in Responsible Charge. The Registered Design Professional in Responsible Charge shall be responsible for reviewing and coordinating submittal documents prepared by others including phased and staggered submittal items, for compatibility with design of the building.

- C. Project details, materials, signage and landscaping, are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.
- D. The design of streetscapes, including street trees, lighting, and pedestrian furniture, is consistent with the intended character of the area.
- E. Hardscape areas are designed and developed to buffer surrounding land uses; compliment pedestrian-oriented development; enhance the environmental quality of the site, including minimizing stormwater run-off and the heat-island effect; and achieve a safe, efficient, and harmonious development.
- F. Lighting and lighting fixtures are designed to complement buildings, be of appropriate scale, provide adequate light over walkways and parking areas to create a sense of pedestrian safety, avoid creating glare, and conform to dark sky principles.
- G. Landscaping is designed to be compatible with and enhance the vision for the Community Character Area in which the development is located as well as the architectural character and features of the buildings on site.

Downtown Waterfront Strategic Plan Finding

- A. The Planning Commission finds that the project as proposed is consistent with the Waterfront Specific Design Guidelines in the 2018 Downtown Waterfront Strategic Plan as evaluated in the staff report. The project redesigns the lease site with the demolition and reconstruction of the existing two story building and improves the view corridor and improves overall public views through to the Bay. The project proposes design materials consistent with the fishing village character of the community and consistent with the materials of the adjacent lease site. The project proposes diagonal view corridors, and provides 15 feet of Harborwalk bayside lateral access where none currently exists. The project proposes a nautical design theme through the proposed commercial signage. The project as conditioned includes enhanced amenities such as a new public plaza, benches and informational signs, and the project also proposed appropriate lighting to encourage safety and comfort, but with downcast, shielded lighting fixtures.

Section 2. Action. The Planning Commission does hereby approve Conditional Use Permit #CUP22-09 subject to the following conditions:

STANDARD CONDITIONS

- A. This permit is granted for the land described in the staff report dated December 11, 2023, for the project at 801 Embarcadero depicted on plans dated November 1, 2023, on file with the Community Development Department, as modified by these conditions of approval, and more specifically described as follows: Site development, including all buildings and other features, shall be located and designed substantially as shown on Planning Commission approved plans submitted for CUP22-09, unless otherwise specified herein.
- B. Inaugurate Within Two Years: Unless the construction or operation of the structure, facility, or use is commenced not later than two (2) years after the effective date of this Resolution and is diligently pursued, thereafter, this approval will automatically become null and void; provided, however, that upon the written request of the applicant, prior to the expiration of this approval, the applicant may request up to two extensions for not more than one (1) additional year each. Any extension may be granted by the City's Community Development Manager (the "Director"), upon finding the project complies with all applicable provisions of the Morro Bay Municipal Code (the "MBMC"), General Plan and

3. The owner shall comply with the City's Structural Observation Program. The owner shall employ the engineer or architect responsible for the structural design, or another engineer or architect designated by the engineer of record or architect responsible for the structural design, to perform structural observation as defined in Section 220. Observed deficiencies shall be reported in writing to the owner's representative, special inspector, contractor and the building official. The structural observer shall submit to the building official a written statement that the site visits have been made and identify any reported deficiencies that, to the best of the structural observer's knowledge, have not been resolved.
4. The owner shall comply with the City's Special Inspection Program. Special inspections will be required by Section 1704 of the California Building Code. All Special Inspectors shall first be approved by the Building Official to work in the jurisdiction. All field reports shall be provided to the City Building Inspector when requested at specified increments in order for the construction to proceed. All final reports from Special Inspectors shall be provided to the Building Official when they are complete and prior to final inspection.
5. Mitigation measures for natural occurring asbestos require approval from San Luis Obispo County Air Pollution Control District.
6. A soils investigation performed by a qualified professional shall be required for this project. All cut and fill slopes shall be provided with subsurface drainage as necessary for stability; details shall be provided. Alternative, submit a completed City of Morro Bay soils report waiver request.
7. **BUILDING PERMIT APPLICATION.** To apply for building permits submit three (3) sets of construction plans to the Building Division.
8. The Title sheet of the plans shall include:
 - a. Occupancy Classification(s)
 - b. Construction Type
 - c. Maximum height of the building allowed and proposed
 - d. Floor area of the building(s)
 - e. Fire sprinklers proposed or existing
 - f. Minimum building setback allowed and proposed

All construction will conform to the 2022 California Building Code (CBC), 2022 California Residential Code (CRC), 2022 California Fire Code (IFC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Energy Code, 2022 California Green Building Code (CGBC), Title 14 and 17 of the Morro Bay Municipal Code.

(Code adoption dates are subject to change. The code adoption year is established by application date of plans submitted to the Building Division for plan review.)

B. CONDITIONS TO BE MET DURING CONSTRUCTION:

BUILDING DIVISION:

1. **SITE MAINTENANCE.** During construction, the site shall be maintained so as to not infringe on neighboring property, such as debris and dust.
2. **ARCHAEOLOGICAL MATERIALS.** In the event unforeseen archaeological resources are unearthed during any construction activities, all grading and or excavation shall cease in

the immediate area and the find left untouched. The Building Official shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, Native American, or paleontologist, whichever is appropriate. The qualified professional shall evaluate the find and make reservations related to the preservation or disposition of artifacts in accordance with applicable laws and ordinances. If discovered archaeological resources are found to include human remains, or in any other case when human remains are discovered during construction, the Building Official shall notify the county coroner. If human remains are found to be of ancient age and of archaeological and spiritual significance, the Building Official shall notify the Native American Heritage Commission. The developer shall be liable for costs associated with the professional investigation.

3. **FOUNDATION SETBACK VERIFICATION:** Prior to the placement of concrete and upon completed form installation, a licensed surveyor is required to measure and record the distance from the proposed foundation walls to the established lot lines. The contractor shall submit these findings in letter format to the building inspector upon the request for a foundation inspection. Letter shall specify the findings of front, sides and rear yard setbacks as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some lot types.
4. **BUILDING HEIGHT VERIFICATION:** Prior to roof sheathing or shear wall inspection, a licensed surveyor is required to measure and record the height of the structure. The contractor shall submit this finding in letter format to the building inspector upon the request for roof sheathing/shear wall inspection. Letter shall specify the recorded height of structure as defined in Title 17 of the MBMC. The Building Official shall have discretion on a case-by-case basis for some site-specific projects.
5. **EXISTING BUILDINGS:** Where windows are required to provide emergency escape and rescue openings, replacement windows shall comply with the maximum sill height requirements of section R310.2.2 and the minimum opening area requirements of section R310.2.1 of the 2022 California Residential Code.

C. CONDITIONS TO BE MET PRIOR TO FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY:

BUILDING DIVISION:

1. Prior to Building Division final approval all required inspections from the other various divisions must have been completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card.
2. Prior to building division final approval and request for final inspection, all required inspections from the other various divisions and departments must be completed and verified by a city inspector. All required final inspection approvals must be obtained from the various departments and documented on the permit card. This permit card shall then be turned into the building division for scheduling of the final building inspection.
3. Any as-built drawings that were required by the building inspector or plans examiner must be submitted for approval prior to the request for final inspection.

4. If structural observations were required, the final structural observation report shall be submitted to the building division prior to issuance of the certificate of occupancy or final inspection approval.
5. If special inspections were required, the final special inspection report shall be submitted to the building division prior to the issuance of the certificate of occupancy or final inspection approval.
6. Final soils summary report from the geotechnical representative indicating compliance with the required conditions set forth in the soils report.
7. Final T-24 energy reports (Certificates of Installation).

Fire Department Conditions:

1. Fire Protection Systems and Equipment. An approved automatic fire sprinkler system shall be provided throughout this project, pursuant to Morro Bay Municipal Code, Section 14.60.200.
2. Submit all plans and specification sheets for the required automatic fire sprinkler system to the Fire Department for review and approval prior to installation. Sprinkler plans shall be submitted prior to issuance of a Building Permit. The sprinkler system shall be in accordance with NFPA Standard 13. All Marine floating docks and gangway construction shall be in accordance with Morro Bay Municipal Code, Chapter 14.52 and 2007 California Fire Code (Section 905), a Class III Standpipe System is Required for the proposed Floating Dock.
3. Fire Alarms. Plans and specifications for the automatic fire sprinkler system and fire alarm system shall be submitted to the Fire Department for review and approval. (CFC 1001.3 and 1001.4) The fire sprinkler and alarm systems shall be supervised by a central station and constructed in accordance with NFPA 72.
4. Elevator Car to Accommodate Ambulance Stretcher. Where elevators are provided, at least one elevator shall be provided for fire department emergency access to all floors. The elevator car shall be of such a size and arrangement to accommodate an ambulance stretched 24-inches by 84-inches with not less than 5-inch radius corners, in the horizontal, open position and shall be identified by the international symbol for emergency medical services (star of life). The symbol shall not be less than 3-inches high and shall be placed inside on both sides of the hoist way door frame. (MBMC 14.08.090)

Public Works Conditions:

The following Public Works conditions shall be satisfied prior to Building Plan submittal:

1. Lease Line Adjustment: A lease line adjustment is required to extend western lease line due to the proposed lease boundary line adjustments and requires payment of fees, a legal description and lease exhibit created by a licensed surveyor, a City Council Resolution approving the lease line adjustment, and a signed agreement recorded with the County. (MBMC 8.14.020)
2. Right of Way: A Special Encroachment Permit Agreement is required for structures and new design items within the city right way (where public parking current exists). (MBMC 8.14.020)

3. Stormwater Management: The City has adopted Low Impact Development (LID) and Post Construction requirements. All proposed projects must complete the "Performance Requirement Determination Form" to determine if any requirements should be submitted. The requirements can be found in the Stormwater management guidance manual on the City's website: <https://www.morrobayca.gov/DocumentCenter/View/11828/MB-Stormwater-Management-MAIN-Manual> (MBMC 14.48.140)
4. Frontage Improvements: The installation of frontage improvements and upgrades to deteriorated frontage improvements are required. Show the installation of a City standard driveway approach per detail B-6, 8-foot minimum sidewalk per detail B-5, curb and gutter per B-1, and curb ramps per Caltrans detail A88A. Show and label 18" asphalt cutback at all portions of curb and gutter to be replaced. (MBMC 14.44.020)
5. Frontage Improvements: Spot elevations on Topographic Map suggest sidewalk cross-slope exceeds 2%. Show on plans replacement of all nonconforming sidewalks with ADA compliant sidewalks per Caltrans DIB 82-06 4.3.5(1).
6. Sewer Lateral: Indicate and label if private sewer lateral pipe will be replaced or to remain in place. If the existing sewer lateral is proposed to remain in place, then perform a video inspection of the lateral (from the clean-out at structure to the connection at the sewer mainline pipe) and submit to Public Works via flash drive, prior to building permit plan approval. Requirements for the sewer video inspection can be located on the City's website at the following location: <https://www.morrobayca.us/DocumentCenter/View/13500/Private-Sewer-Line-Video-Requirements>. Lateral shall be upgraded, repaired or replaced as required to prohibit inflow/infiltration. All repairs or replacements identified from sewer video, shall be noted on approved set of plans, prior to plan approval. (MBMC 14.07.030)
7. Sewer Backwater Valve: Indicate and label sewer backwater valve on plan. A backwater valve, extended to and accessible from grade for maintenance, shall be installed on every Building sewer. Exception: Installation of backwater valve shall not be required when, to the satisfaction of Building Official, it is determined that the intent and purpose of this section is otherwise met. (MBMC 14.07.010.C).
8. Erosion and Sediment Control Plan: For small projects less than one acre and less than 15% slope, provide a standard erosion and sediment control plan. Show on plans the control measures to provide protection against erosion of adjacent property and prevent sediment or debris from entering the City right of way, adjacent properties, any harbor, waterway, or ecologically sensitive area. Guidelines for the control plan may be found on the City's website at the following location: <https://www.morrobayca.gov/documentcenter/view/462>
9. Water Meter: Indicate on plans location and sizes of both water meter and water lateral. Coordinate sizes with Fire Sprinkler plans as necessary. (MBMC 13.04.010 & 14.04.010.C)
10. Water Backflow Prevention Device: Verify and label all new or existing water backflow preventers. Water backflow preventer devices are required for fire water systems, irrigation systems (on a dedicated water meter), systems which may change in character of use (commercial rentals, etc.), gray water systems, or any plumbing system which has cross-connections or the ability to allow water of deteriorated sanitary quality to enter the public water supply. Add note to plan that device is required to be an approved domestic water backflow prevention device. (MBMC 13.08.040)

11. Grading and Drainage: Indicate on plans the existing and updated contours, drainage patterns, spot elevations, finish floor elevation and all existing and proposed drainage pipes and structures. Clarify how runoff around structure will be directed to City right-of-way. (CBC 107.2.1)
12. Utilities: Show all existing and proposed locations of the sewer lateral, water service, and water and sewer mains on the building plans. Include sizes where appropriate. Note the location of all overhead utilities and construction underground service entrances per the CBC.
13. Debris Barrier: A Floating Debris Barrier shall be installed around the waterside perimeter of the construction site and maintained throughout the duration of the project. Note the beginning and end termini of the Floating Debris Barrier on Construction Plans. Silt screens and/ or straw waddles may be needed to prevent demolition/repair debris and sediments from entering the bay in the area of the piling repairs. The location of screens and waddles in this area should also be noted on the plans.
14. Flood Zone Requirements: A Flood Hazard Development Permit is required. The City's Flood Hazard Prevention Ordinance describes the requirements to obtain this permit. Pertinent requirements include, but are not limited to:
 - a) Per Section 14.72.050 A.3.a., new or substantial improvement construction, shall have the lowest floor (including basement) elevated two feet above the base flood elevation. Elevation data shall be based on NAVD 1988.
 - b) Submit a FEMA Elevation Certificate which will indicate the base flood elevation to be used with the proposed construction drawings. (Prior to Final Sign-off, submit an Elevation Certificate to indicate the finish elevations of the completed building.)
 - c) Verify that all mechanical and electrical machinery and controls (heating, A/C, etc.) is above BFE or flood proofed.

Add the following Notes to the Plans:

1. Any damage, as a result of construction operations for this project, to City facilities, i.e. curb/berm, street, sewer line, water line, or any public improvements shall be repaired at no cost to the City of Morro Bay.
2. No work shall occur within (or use of) the City's Right of Way without an encroachment permit. Encroachment permit application and requirements are available on the City's website at the following location: <https://www.morro-bay.ca.us/197/Public-Works>.
 - A standard encroachment permit shall be required for the proposed driveway; the driveway shall comply with B-9 (Driveway Ramps: Size & Location).
 - A sewer encroachment permit shall be required for any repairs or installation of a sewer lateral within the City right-of-way or within a utility easement.
 - If a construction dumpster is used, the dumpster location shall be on private property, unless allowed by a temporary encroachment permit within the City right-of-way.

Planning Conditions:

1. A Coastal Development Permit shall be submitted to the Community Development Department prior to issuance of a building permit.
2. Inspection: The applicant shall comply with all City conditions of approval and conditions imposed by the California Coastal Commission and obtain final inspection clearance from the Planning Division at the necessary time in order to ensure all conditions have been met.

3. Bayside Lateral Public Accessway (Harborwalk). The bayside lateral access, also known as the Harborwalk, shall maintain a minimum 15-foot wide coastal access with open unobstructed access at all times with no tables or dining encroachments in order to maximize public access. Any uses that obstruct the lateral access such as private uses or barriers including furniture, planters, ropes, or restaurant seating within the 15 foot lateral access shall be prohibited.
4. Floating dock. The floating dock shall be publicly available for general public pedestrian access and either short-term or long-term use by recreational or commercial boats. Signs discouraging the public from walking on the docks during daylight hours are prohibited. The dock shall be open to the general public during at least daylight hours (i.e. one hour before sunrise to one hour after sunset).
5. Dock material as shown on Project Plans dated November 1, 2023 shall be revised with the building plan submittal to be composite decking material in lieu of fiberglass decking in order to have consistent materials pursuant to the DWSP design guidelines unless otherwise required by the preconstruction eelgrass survey and the California Eelgrass Mitigation Policy (CEMP).
6. The second floor public view deck as part of the public benefit shall be made open and available to the public during daylight hours.
7. Historical interpretive sign copy shall be reviewed and approved by the Community Development Director prior to issuance of the building permit.
8. Twenty five percent of hotel rooms shall be set at rates equal to the City's area low-cost threshold pursuant to LUP Policy LU-6.5 or as otherwise approved consistent with the coastal development permit. The low cost threshold would be established based on the City's Lower Cost Visitor Serving Accommodations Technical Memorandum, or Smith Travel Research data or not to exceed 75 percent of the prior year's statewide average daily rate.
9. The diagonal view corridors at southwest and southeast building corners shall be maintained with no furniture item or table umbrellas to exceed 30 inches in height per the Waterfront Master Plan. No podium, hostess stand or station shall be allowed within the required view corridor.
10. Eelgrass – Applicant shall be subject to the California Eelgrass Mitigation Policy (CEMP) which requires that a pre-construction survey shall be completed within 30-60 days prior to issuance of a building permit. Post-construction survey shall be completed within 30 days of construction completion or as otherwise determined by the National Marine Fisheries Service (NMFS) in order to determine amount of impact if any and CEMP-required annual reporting and mitigations. Any eelgrass habitat shall be documented and reported to the Community Development Director. If the report identifies a reduction in eelgrass coverage then a plan shall be prepared to identify the appropriate mitigations necessary and in line with the specifications for mitigation of eelgrass habitat as provided for in the California Eelgrass Mitigation Policy, dated October 2014 or successor guiding document.
11. A Marine Wildlife Contingency Plan shall be developed and approved by the City of Morro Bay prior to the initiation of pile driving activities. This plan shall describe specific methods that will be used to reduce pile-driving noise. Power to the pile driver shall be ramped up to allow marine wildlife to detect a lower sound level and depart the area before full-power noise levels are produced. The plan shall identify a USFWS-approved biologist to monitor all construction within the water-lease area who shall be retained by the applicant. The

plan shall describe on-site marine wildlife monitoring and reporting requirements as well as identify specific conditions when the biological monitor shall be allowed to stop work, such as observance of a marine mammal within 100 feet of the project area. The biologist shall be responsible to monitor for compliance with all environmental mitigation measures, and regulatory permit conditions (as applicable). The approved biological monitor shall be present onsite during construction and shall have the authority to stop construction if any individuals of southern sea otter are seen within 100 feet of the project area. Construction will be allowed to resume after sighted otters have left the 100-foot radius of the project area. The species shall not be disturbed or forced from the project site by equipment, noise, or other disruptive activity. The monitor will have discretionary authority to temporarily halt the project if it is determined that the otter, or other marine mammal, could be affected by the project, even if the animal is beyond the 100-foot boundary. All construction crew employees shall be informed on the requirements of this condition.

12. A project-specific Oil Spill Response and Recovery Plan that includes specifics on reporting and response procedures, available on-site equipment and contracted services, and responsibilities shall be completed and approved prior to the initiation of construction activities. Specifically, the project shall include the following Best Management Practices (BMPs) and shall be included on building plans submitted for approval:
 - a. No refueling of equipment without adequate containment and spill response equipment. The barge shall have only double contained fuel storage below decks, with the spill containment and clean up kits on-site and easily accessible. Spill containment and clean up kits shall include the following:
 - b. 150 feet Absorbent Boom 200 square feet Absorbent Tarp (for use during pile driving operations)
 - c. Barrel Absorbent Pads
 - d. Container Absorbent Granules
 - e. Rainwater runoff pollution from equipment stored on deck shall be prevented through ongoing equipment maintenance and appropriate double containment.
 - f. The work area shall be contained within a boom to prevent debris from falling into the water.
 - g. All equipment fueling shall take place on the barge, with containment in-place. No refueling between vessels shall occur.
 - h. An Absorption Tarp shall be placed underneath any portable equipment while in use.
 - i. No equipment shall be permitted to enter the water with any petroleum products.
 - j. All equipment used during pile driving operations shall be in good condition without fuel or oil leakage.
 - k. Should any equipment begin to leak, that equipment shall be removed immediately from the barge and repaired or replaced.
 - l. All vessels shall have portable, regularly serviced sanitation equipment. No overboard discharge is permitted.
13. Prior to issuance of a building permit, a pile driving plan and hydroacoustical noise mitigation plan shall be submitted to the Community Development Director to ensure that underwater noise generated by pile driving activities is minimized to the maximum extent feasible and does not exceed: (1) an accumulated 187 dB SEL as measured 5 meters from the source; and (2) peak dB above 208 dB as measured 10 meters from the source as determined by the Fisheries Hydroacoustic Working Group. In the instance anything other than a vibratory hammer is to be used for pile driving activities, the plan shall provide for a hydro-acoustical monitor to ensure that underwater noise generated by pile driving activities does not exceed such limits. The plan shall identify the type of method used to install pilings. Vibratory hammers shall be used where feasible; if another method is used,

a bubble curtain shall be employed to contain both noise and sediment. The plan shall also provide for additional acoustical BMPs to be applied if monitoring shows underwater noise above such limits (including, but not limited to, alternative pile driving methods (press-in pile placement, drilling, dewatered isolation casings, etc.) and additional noise dampening measures (sound shielding and other noise attenuation devices).

14. Netting or fencing around and underneath the project site shall be installed to catch and remove debris released during and after construction.
15. To reduce potential turbidity-associated impacts, silt screens should be used when and where they will be effective. The relatively high tidal currents within Morro Bay could reduce the effectiveness of silt screens and should be considered prior to placing of these screens.
16. Exterior lighting fixtures shall include specifications on the building plans submittal for approval consistent with Zoning Code section 17.14.090 that ensure exterior lighting is cut-off, shielded, or downward fixtures and is between 2600 and 3500 Kelvin and has a CRI of 85 or greater.
17. A minimum of three trash cans with self-closing lid or other bird deterrent as approved by the Community Development Director shall be identified on plans to be included with the building permit submittal.
18. A 4-8 capacity public bike rack shall be installed on the site and placed so as not to impede public pedestrian flow. Location and brand of bike rack shall be included with the building permit submittal. Bike rack shall be consistent with other City facilities or as otherwise approved by the Community Development Director.
19. Two benches available for general public use shall be located in the general public plaza area.
20. Building plans submitted for approval shall meet all accessibility requirements to both adjacent lease site and public ways and match the grades without requirement for handrails providing a smooth transition between lease sites.

Planning Commission conditions 21 and 22 added on December 19, 2023:

21. Exterior stairs along the south elevation shall be adjusted so there is clear 10-foot wide vertical access with minimum 8 foot clearance height.
22. The alternate second floor plan which shows two hotels rooms facing the bay as presented at the December 19, 2023 Planning Commission meeting shall be incorporated into the revised plan set for City Council CUP review.
23. Signage shall be added to entrance of public view deck and at street level announcing public access. Form and design of signage shall be consistent with the approval public coastal access signs as approved by the California Coastal Commission. Final public access signs shall be included and shown on the building permit plans and shall denote all signage locations.

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24. A railing not to exceed 42 inches in height shall enclose the outdoor dining tables located on the west side of the building to prevent tables from encroaching into the required 15 foot Harborwalk lateral access. Design of the railing shall be included on building permit plans and approved by the Community Development Director.

City Council conditions 25 and 26 added on January 23, 2024:

25. Plaza improvements shall be deferred until a relocation plan is prepared that addresses relocation of parking spaces; or unless relocation of parking spaces for street ends is identified and included with approval of the future Waterfront Master Plan update. Deferral of the plaza improvements shall be included in the lease for the subject property. Plaza improvements shall be installed within 24 months of an approved relocation plan for the relocated parking spaces. Upon written determination by the City Manager and the Community Development Director, that parking relocation is unlikely, including but not limited to, through anticipated untimely delay of the waterfront master plan update, Applicant will within 30 calendar days deposit into the City's general fund for use in Harbor area by City a sum equal to the total amount of plaza improvement cost as reasonably determined by the Community Development Director based upon industry standards. If within 14 months after the building permit is issued for Applicant's project, plaza improvements have not been determined by the City to move forward then Applicant has the option of depositing said sum to the City, rather than waiting for a determination on whether or not parking relocation will or will not occur.
26. Staff will investigate ability to place an ADA parking space along the frontage or within street end and/or a passenger drop off loading zone space with priority toward providing an ADA parking space.

PASSED AND ADOPTED by the City Council of the City of Morro Bay at a regular meeting thereof held on this 23rd day of January, 2024, on the following vote:

AYES:	Wixom, Landrum, Barton, Edwards, Ford
NOES:	None
ABSENT:	None
ABSTAIN:	None
RECUSE:	None

CARLA WIXOM, Mayor

ATTEST

DANA SWANSON, City Clerk