

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 Ocean Blvd., Suite 300
Long Beach, CA 90802
(562) 590-5071



W13a

(CDP 5-23-0346, Tabazadeh)

June 12, 2024

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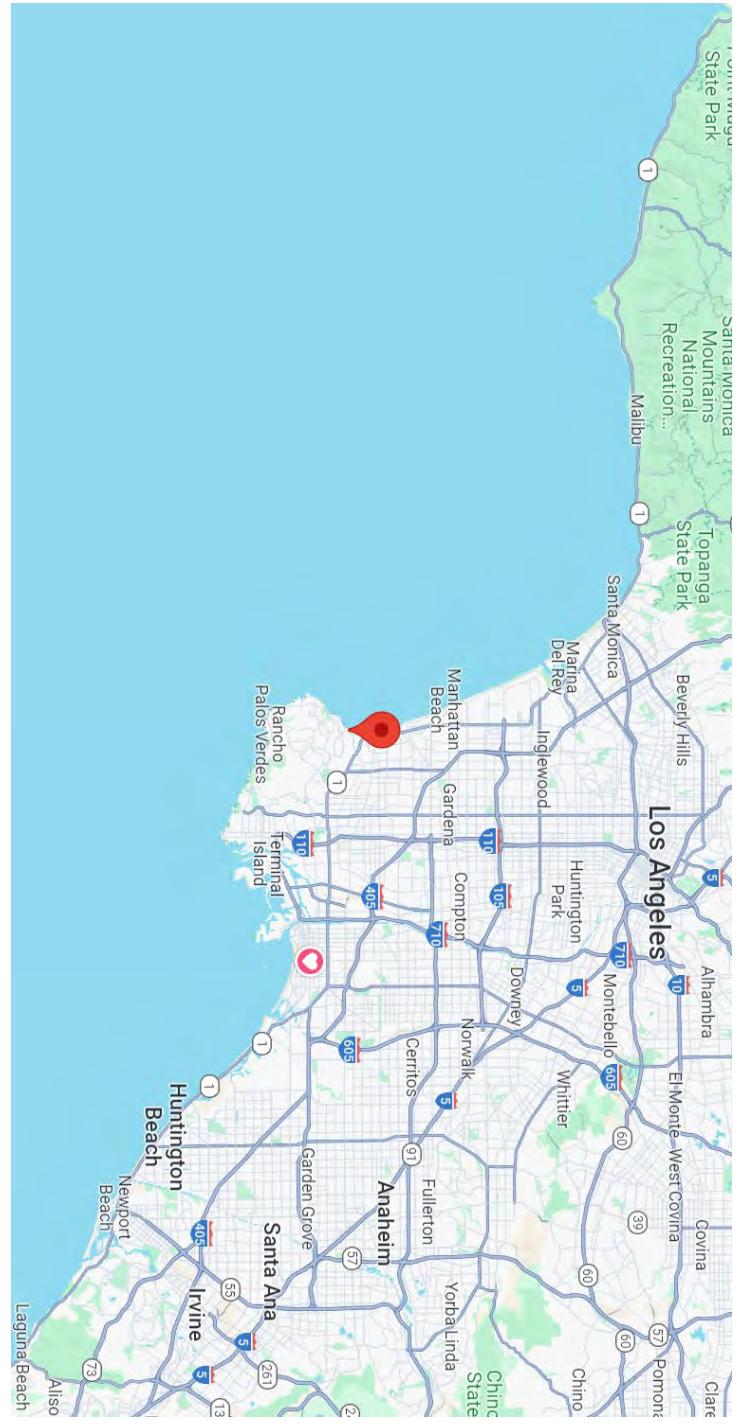
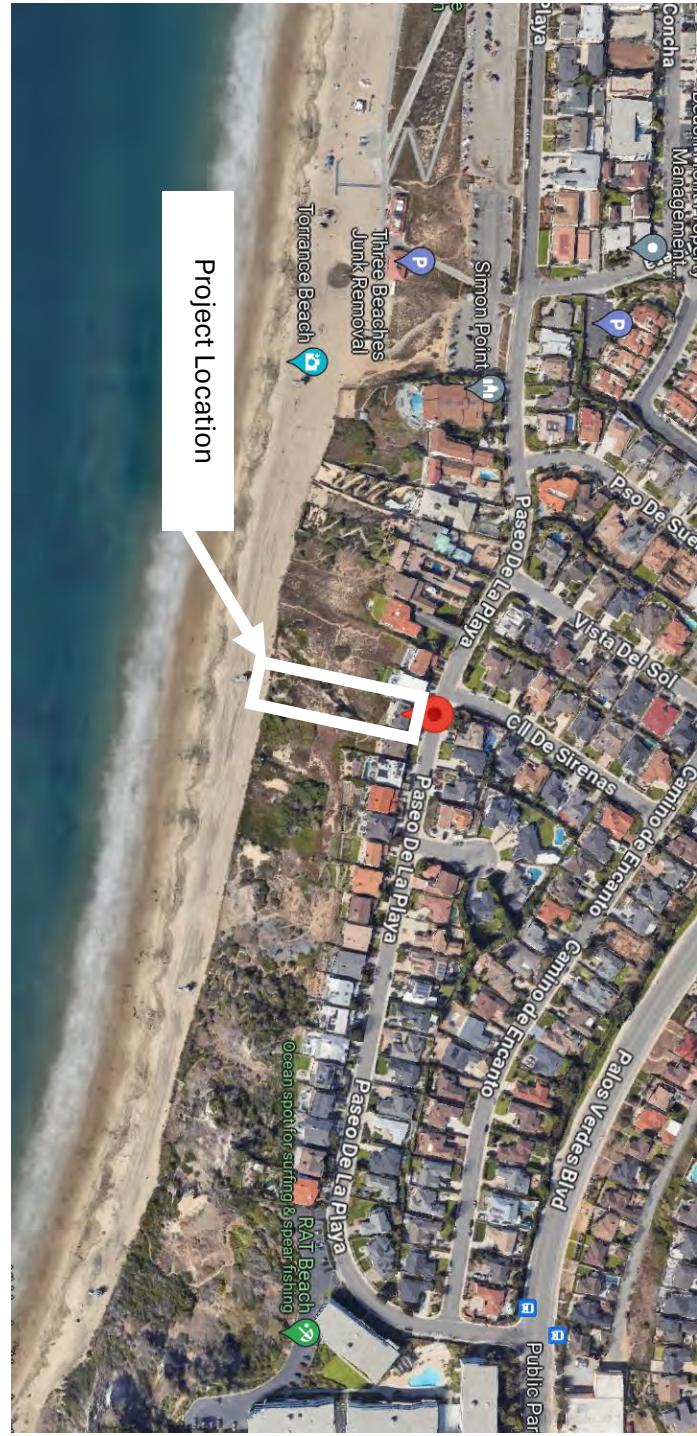
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**NEW HOME
MR. TABA
505 PASEO DE LA PLAYA
TORRANCE
CALIFORNIA 90277**

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DESIGNER CAUTHEN DESIGN INC 25332 NARBONNE AVE, SUITE 100 LOMITA, CA 90717 Tel (310) 462-3049 Email:cauthendesign@aol.com	GENERAL DRAWINGS G-101 TITLE SHEET G-102-1 TITLE 24 G-102-2 TITLE 24 G-102-3 TITLE 24 G-102-4 GREEN BUILDING NOTES G-103 PLANNING CONDITIONS CIVIL DRAWINGS C-1.0 SURVEY
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CAUTHEN DESIGN INC
25332 NARBONNE AVE suite 100
Lomita, CA 90717
Phone: 310.462.3049
EMAIL: CAUTHENDESIGN@AOL.COM

CONSULTING ENGINEERS
STRUCTURAL DESIGN

NAMVAR
ASSOCIATES
231 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733



03/30/23

PROJECT SUMMARY

PROJECT ADDRESS: 505 PASEO DE LA PLAYA TORRANCE CA 90277	VICINITY MAP
OWNER: SEAN TABA 19027 SOUTH HAMILTON GARDENA, CA 90248	
OWNER AGENT: CAUTHEN DESIGN INC 25332 NARBONNE AVE SUITE 100 LOMITA CA 90717	
SCOPE OF WORK: CONSTRUCTION OF A NEW TWO STORY RESIDENCE WITH ATTACHED TWO CAR GARAGE AND THE DEMOLITION OF THE EXISTING TWO STORY HOME WITH ATTACHED GARAGE.	

CONSTRUCTION TYPE: TYPE V-B
APN#: 7512-002-013
LEGAL: LOT 166 TRACT 18379
ZONE: R-3 / HILL SIDE OVERLAY AREA
FLOOD ZONE: NONE
OCCUPANCY: R-3 / U
STORIES: TWO STORIES
LOT SIZE: 26,967 SQUARE FEET
MAX ALLOWED LOT COVERAGE = 40% (10,787 SQ. FT.)
MAX FAR = .6% (16,180 SQ. FT.)
MAX ALLOWED HEIGHT = 27'-0"

FRONT YARD LANDSCAPING CALCULATION: AREA WITHIN THE FRONT YARD SETBACK = 1,211 SQ. FT. 50% REQ. TO BE LANDSCAPED. 605.50 SQ. FT. MIN. REQ. 618 SQ. FT. PROVIDED
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PROPOSED LOT COVERAGE:
2,417 SQ. FT. 9% % BUILDING
0 SQ. FT. 0% % COVERED PORCH
2,417 SQ. FT. 9% % TOTAL NEW COVERAGE

PROPOSED FLOOR AREA:
1,959 SQ. FT. FIRST FLOOR
2,090 SQ. FT. SECOND FLOOR
0 SQ. FT. BASEMENT
458 SQ. FT. GARAGE
0 SQ. FT. PORCH AREAS 1ST FLOOR ENCLOSED ON THREE SIDES
0 SQ. FT. PORCH AREAS 2ND FLOOR ENCLOSED ON THREE SIDES
4,507 SQ. FT. TOTAL = .17 % FAR

ADDITIONAL AREA INFORMATION
2,823 PAVED OR CONCRETE AREA (DRIVEWAY AND PATIOS)
250 LINEAR FT. OF RETAINING WALL
100 LINEAR FT. OF BLOCK WALL

ELEVATION

G-101

SHEET NO. OF SHEETS

GENERAL NOTES	
GENERAL NOTES:	
1. ALL WORK SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA MECHANICAL CODE, AND THE 2022 CALIFORNIA ELECTRICAL CODE, 2022 GREEN BUILDING STANDARDS CODE, THE CURRENT REQUIREMENTS OF THE ENERGY CODE AND COUNTY OF LOS ANGELES FIRE CODE.	14. The designer or their representative shall have free access to the job site at all times and to the factory or shop of any subcontractor.
2. The AIA 201, General Conditions of Contract, latest edition, shall be binding on the work at all times.	15. Substitution of materials, method or the sequence of construction shall be reviewed by the designer and approved prior to implementing such substitutions.
3. The General Contractor shall verify all job conditions and dimensions prior to starting with the work, and shall report to the designer of any discrepancies or omissions.	16. All glass within 18" of the walking surface, 12' from the door or within a door shall be 1/4" thick tempered glass.
4. The General Contractor shall within ten (10) days of receipt of drawings, carefully examine them and submit a report to the designer. The report shall include the following statement: "We have carefully examined the drawings and the specifications and, except for the specified item(s) described in the attached list, we have discovered no errors, omissions, impractical details or conflict in trades. If the item(s) listed are resolved, there are no foreseeable conditions which would require deviation from the drawings and specifications. We also certify that we have in our possession a similar statement executed by each subcontractor".	17. All exterior joints, penetrations and openings shall be caulked and sealed.
5. The General Contractor must comply with all appropriate municipal and regulatory agency codes and requirements.	ELECTRIC NOTES:
6. All work to be performed in a first class manner and in accordance with best practice and first class materials.	1. Provide ground fault interceptors for all exterior outlets, temporary electric panels, basement/garage outlets and any outlet within 6' from kitchen sink or any other source of water.
7. INSURANCE'S: The General Contractor and each subcontractor shall carry insurance to cover general liability workers' compensation during the entire job. No work shall commence on this project prior to submission of the certificate of insurance to the designer by the General Contractor.	2. Laundry facility shall have a separate circuit.
8. LIEN RELEASE: Labor and material lien release from each supplier or contractor who have provided labor or material on the job to date, shall accompany each request for payment.	3. Outlets at the kitchen counter shall be spaced at 4" on center.
9. EXTRAS: The client reserves the right to make changes to the construction document as the work progresses. No extras will be permitted unless they are submitted in writing by the general Contractor and approved by the designer.	4. Outlets at the living space shall be located as shown in the drawings, but in no case shall they be spaced more than 12' apart. Any outlet which does not meet this criteria shall be brought to the attention of the designer.
10. All requisition for payment from the General Contractor to the Owner shall be submitted to the designer in triplicate for approval.	5. The base of all exterior lights shall be sealed with silicone caulk.
11. A copy of the latest set of construction documents shall be kept at the job site at all times for review by the designer.	MECHANICAL NOTES:
12. GUARANTEES: All work shall be guaranteed for a period of one (1) year, unless otherwise noted. All contractors shall submit their guarantee in writing.	1. Compartment for the FAU shall be min. 12" wider than the FAU and shall have a min. clearance of 3" on back and 6" on front.
13. SCHEDULES: The General Contractor shall submit to the designer a copy of the work schedule indicating the completion date of all the trades involved in completion of the job.	2. Combustion air requirement to comply with Sec. 601b-2 of the CMC.
	3. One half of the required combustion air opening area shall be located within lower 12" of the enclosure and the rest within the upper 12" of the enclosure.
	4. Source of combustion air to comply with Sec. 603 of the CMC.
	5. Total output capacity of the gas furnace must be less than 45,000 BTU's per hour.
	14. Piping in unconditioned space leading to and from water heaters shall be wrapped with insulation having a thermal resistance of R-3 or greater for the 5' of pipe closest to the water heater.
	15. All hot water piping in unheated spaces shall be insulated.
	16. gas fired household cooking appliances, shower heads, and faucets shall comply with the appliance efficiency standards.
	17. Lamps used in luminaires for general lighting in kitchens and bathrooms shall have an efficiency of not less than 40 lumens per watt. (fluorescent type lighting will meet that requirement).
	18. Lamps used in luminaires for general lighting in kitchens and bathrooms shall have an efficiency of not less than 40 lumens per watt. (fluorescent type lighting will meet that requirement).
	19. Dust control measures shall be maintained throughout the duration of the project.
	ENERGY NOTES:
	1. Install R-30 insulation batts at all new ceiling joists and rafters common to the exterior.
	2. Install R-21 insulation batts at all new wall studs of the walls common to the exterior or unheated interior spaces.
	3. Insulation Contractor to post certificate of compliance on job after installation.
	4. All exterior doors, french door and windows shall be fully weather-stripped with bronze spring type weatherstripping.
	SECURITY NOTES:
	1. Heating systems to have automatic dual setback thermostat.
	2. Ducts shall be constructed, installed and insulated according to chapter 10 of the County Mechanical Code.
	3. All parts of the duct system shall be tightly sealed with mastic or tape.
	4. The Contractor shall provide the owner occupant with a list of heating, cooling, water heating, and lighting systems and conservation or solar devices installed in the building and instructions on how to use them efficiently.
	5. Sliding doors and windows shall be provided with a device in the upper channel of the moving panel to prohibit it raising and removing of the moving panel in the closed or partially opened position.
	6. Windows or door lights within 40" of locking device shall be fully tempered/approved burglar resistance, protected by bars or screen.
	7. Door stops of wood jamb in-swing doors shall be of one piece construction or joined by rabbit.
	8. Single swinging door, active leaf or a part of doors, and bottom leaf of dutch doors shall be equipped with a dead bolt and dead locking latch, both key operated from the outside. Dead bolt top & bottom with min. 1/2" embed.
	9. Overhead and sliding garage doors shall be secured with a cylinder lock, padlock with a hardened steel shackle, metal slide bar bolt or equivalent when not otherwise locked by electric power operation.
	PLUMBING NOTES:
	1. Water closets to be maximum 1.28 gallon per flush per 2022 CPC.
	2. No water heater shall be installed in bedrooms, bathrooms, closets, under the stairs or in any confined space.
	ADDITIONAL NOTES:
	1. Two layers of grade "D" paper are required under stucco applied over wood sheathing (shear walls) Sec. 2506.4 CBC

PLAN CHECK NOTES

California Coastal Commission
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BMPs	
CITY OF TORRANCE COMMUNITY DEVELOPMENT DEPARTMENT	
BEST MANAGEMENT PRACTICES FOR ALL CONSTRUCTION ACTIVITIES*	
Project Address: _____	Case No. _____
The following are Minimum Water Quality Protection Requirements for All Development Construction Projects:	
<ul style="list-style-type: none"> • Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind. • Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water. • Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system. • Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site. • Existing or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste. • Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind. • Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadway must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental deposits must be swept up immediately and may not be washed down by rain or other means. • Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water. • Other: 	
As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.	
Print Name _____ (Owner or authorized agent of the owner)	Date _____
Signature _____ (Owner or authorized agent of the owner)	
*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.calphoenixbooks.com	

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The design, details and ideas contained in this drawing are and shall remain the property of Cauthen Design Inc. No part thereof shall be reproduced, disclosed, copied or used for any other work or project without the written consent of Cauthen Design Inc.



PROJECT SUMMARY

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OWNER: SEAN TABA 19027 SOUTH HAMILTON GARDENA, CA 90248

OWNER AGENT: CAUTHEN DESIGN INC 25332 NARBONNE AVE SUITE 100 LOMITA CA 90717

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AREA WITHIN THE FRONT YARD SETBACK - 1,211.50% REQ. TO BE LANDSCAPED.

605.50 SQ. FT. MIN. REQ.

618 SQ. FT. PROVIDED

CAUTHEN DESIGN INC
25332 Narbone Ave suite 100
Lomita, CA 90711
Phone: 310.462.3049
EMAIL: CAUTHENDESIGN@AOL.COM

Consultants
CONSULTING ENGINEERS
STRUCTURAL DESIGN

NAMVAR
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231 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733

JOB No. #####



03/30/23

SITE PLAN

SCALE 3/32=1'-0"



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SCALE 3/32=1'-0"

**California Coastal Commission
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This architectural floor plan illustrates the layout of a single-story residence. The plan includes the following rooms and their dimensions:

- KITCHEN:** 17'-10" x 6'-0" (with a D.W. and a Sink)
- BREAKFAST ROOM:** 8'-4" x 3'-0" (with a Sink and a Range)
- OFFICE:** 13'-0" x 4'-4" (with a Sink and a Range)
- GARAGE:** 20'-9" x 18'-0" (with a Car Drawing)
- BATHROOM:** 6'-0" x 4'-6"
- POWDER BATHROOM:** 5'-6" x 4'-6"
- DINING NOOK:** 4'-0" x 3'-6"
- BAR:** 12'-5" x 5'-9"
- FAMILY ROOM:** 25'-0" x 28'-9" (with a Sink and a Range)
- DINING ROOM:** 14'-3" x 12'-5"
- LIVING ROOM:** 15'-9" x 10'-6"

The plan also features several closets and a central Foyer. The overall width of the house is 54'-3". The front entrance is at the bottom center, leading into the Foyer. Stairs labeled "UP" lead to the second floor. Various doors and windows are indicated throughout the plan.

FIRST FLOOR PLAN

SCALE:1/4"=1'-0"

SHEET NOTES

1. KITCHEN SINK W/ GARBAGE DISPOSER
 2. RANGE OR COOKTOP (VERIFY). PROVIDE VENT HOOD ABOVE OR DOWNDRAFT VENT (VERIY).
 3. REFRIGERATOR
 4. FREEZER
 5. REF./ FREEZER
 6. DBL. OVEN. -VERIFY GAS OR ELEC. & VENT REQUIREMENT
 7. MICROWAVE OVEN
 8. DISHWASHER
 9. TRASH COMPACTOR
 10. HOOD ABOVE- VENT TO OUTSIDE
 11. BASE CABINET -(VERIFY HEIGHT) WITH COUNTERTOP (VERIFY FINSH)
 12. WALL MOUNTED CABINET- VERIFY HEIGHT & CLEARANCE ABV. LOWER CABINET.
 13. MILLWORK- CONTRACTOR TO VERIFY DESIGN WITH OWNER AND PROVIDE SHOP DRAWINGS.
 14. SHELVES- VERIFY WITH OWNER
 15. NICHE- VERIFY SIZE
 16. BAR FRIDGE/ WINE COOLER
 17. BALCONY/ PATIO/DECK, FINISHED WITH TILE OR STONE OVER POLYMETIC WATERPROOF MEMBRANE MEL-ROL LARR 26022 OR EQUAL. SLOPE $\frac{1}{4}$ " PER FOOT MIN. PROVIDE DRAIN AND OVER FLOW. REFER TO OWNER FOR FINISH.
 18. MIRROR- VERIFY SIZE
 19. SINK.
 20. SOFFIT OR DROP CEILING ABOVE
 21. TOILET.- 30" CLR. WIDE SPACE REQUIRED. (1.28 GALLONS PER. FLUSH)
 22. BIDET.- 30" CLR. WIDE SPACE REQUIRED.
 23. BATHTUB- PROVIDE TEMP. GLASS ENCLOSURE UNLESS A SEPARATE SHOWER IS PROVIDED IN THE SAME BATHROOM. THE WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, 70" ABOVE DRAIN AT HE SHOWERS OR TUBS WITH SHOWERS PER (CBC 1210)
 24. JACUZZI TUB- VERIFY SIZE & HEIGHT PROVIDE DECK PER TUB SPECS VERIFY WITH OWNER,
 25. SHOWER- THE WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, 70" ABOVE DRAIN AT HE SHOWERS OR TUBS WITH SHOWERS PER (CBC 1210). MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. MINIMUM INSIDE DIM. 24"x30" CLEARANCE- ENCLOSURE TO BE TEMPERED GLASS CATEGORY II. SWING THE DOOR OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA, AND ENCOMPASS 30 INCH DIAMETER CIRCLE..
 26. POLE & SHELF OR CUSTOM CLOSET DESIGN BY OTHERS. REFER TO OWNER
 27. WOOD STUD FRAMED WALL WITH GYPSUM WALL BOARD FINISH ON INTERIOR SURFACE & CEMENT STUCCO FINISH ON EXTERIOR. INTERIOR WALLS TO BE 2x4 STUDS (14' MAX. HEIGHT) U.N.O. , EXTERIOR WALLS TO BE 2x6 STUDS U.N.O.
 28. ROOF EAVE OR OVERHANG SEE DETAILS / SECTIONS
 29. LOW WALL- 36" A.F.F. MINIMUM (VERIFY HEIGHT & CAP)
 30. LOW WALL BELOW- GYPSUM BOARD FINISH
 31. BENCH
 32. WINDOW SEAT
 33. BOOKCASE
 34. SKYLIGHT ABOVE SEE DETAIL # 10 A-602
 35. INTERIOR DECORATIVE COLMN.- VERIFY SIZE & MATERIAL
 36. EXTERIOR PRE-CAST CONCRETE COLUMN – U.N.O.
 37. 22"x30" ATTIC SCUTTLE (MINIMUM) - PROVIDE 30"x36" ACCESS IF FAU IS IN ATTIC. PER 904.10 CMC
 38. PULL DOWN ATTIC ACCESS STAIRS
 39. PILASTER – VERIFY HEIGHT & SIZE
 40. DRYER USE ELECTRIC DRYER WHEN LOCATED IN GARAGES
 41. WASHER
 42. G.I. DRYER VENT. – 14' LENGTH W/ 2-90" ELBOWS MAX.PER SEC 504.3.1 THROUGH 504.3.1.2 OF CMC USE BOSTER FAN WHERE LENGTH EXCEEDS 14' MAX SEE DETAIL 6 ON A-604
 43. A.C. CONDENSING UNIT ON CONCRETE PAD. –VERIFY ELECTRIC REQUIREMENT.
 44. COMBUSTION AIR VENT – VERIFY SIZE REQUIREMENT PER CHAPTER 7 OF CMC
 45. FLOOR DRAIN PROVIDE OVERFLOW
 46. ELECTRIC MAIN PANEL – VERIFY LOCATION W/ POWER CO.
 47. ELECTRIC SUB-PANEL
 48. TANKLESS WATERHEATER . – PROVIDE VENT PER C.B.C. LOCATION TO BE DETERMINED BY CONTRACTOR
 49. FAU – PROVIDE VENT & FRESH AIR INTAKE PER 904.0 C.M.C..
 50. GARAGE TO HOUSE DOOR- 20 MIN. RATED W/ SELF CLOSING, TIGHT FITTING 20- MINUTE RATED FOR OPENING BETWEEN GARAGE AND DWELLING PER SECTION R302.5.1 CRC.
 51. CONCRETE PATIO
 52. CONCRETE STEPS
 53. EXISTING MASONARY FIREPLACE
 54. DIRECT-VENT GAS PREFAB. FIREPLACE BY "HEAT & GLO" MEZZO 60 UL307B, ANSI Z21.88-2017 WITH TIGHT FITTING METAL OR GLASS DOOR; OUTSIDE AIR INTAKE W/ DAMPER CONTROL; FLUE DAMPER AND CONTROL; AND A FACTORY LISTED SPARK ARRESTOR. –VENT THROUGH EXT. WALL OR ROOF.
 55. PROVIDE HARD WIRED AND INTERCONNECTED COMBINATION SMOKE DETECTORS AND CARBON MONOXIDE ALARM SECTION 315 OF THE RBC WITH BATTERY BACK-UP ADJACENT TO AND INSIDE BEDROOMS. SMOKE DETECTOR IN BASEMENT AREA MUST BE SOUND AUDIBLE IN ALL BEDROOMS.
 - PER BUILDING CODE 420.6 GROUP R-1 AND R-2 OCCUPANCIES; AND RESIDENTIAL BUILDING CODE R315 FOR GROUP R-3 ONLY. PER PROVISIONS SET FORTH IN FIRE CODE 907.2.11 AND BUILDING CODE 907.2.11 FOR GROUP R-1 AND R-2 OCCUPANCIES; AND RESIDENTIAL BUILDING CODE 314 FOR GROUP R-3 ONLY.
 56. DECORATIVE GUARDRAIL- MINIMUM 42" ABOVE FINISH FLOOR OR NOSING LINE. GUARDRAIL DESIGN SHALL NOT ALLOW A 4" Ø SPHERE TO PASS THROUGH. SEE STRUCTURAL DRAWINGS FOR ATTACHMENT DETAILS. REQUIRED GUARDS ON THE OPEN SIDE OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" FROM A LINE CONNECTING THE LEADING EDGE OF THE TREADS. (R312.2).
 57. STAIRCASE: WITH OCCUPANCY LOAD OF 9 OR MORE PERSONS: RISE 4"-7" MAX.,RUN 11" MINIMUM; OCCUPANCY LOAD LESS THAN 9: RISE 8" MAX.,RUN 9" MIN. MINIMUM WIDTH 36" FOR (OCCUPANCY LOAD LESS THAN 50). HEADROOM 6'-8". SEC 1009.3 EX 4 CBC.
 58. PROVIDE (1) LAYER OF 5/8" TYPE-X GYPSUM WALL BOARD ON ALL WALLS & CEILINGS OF SPACE UNDER STAIRS.
 59. PROVIDE (1) LAYER OF 5/8" TYPE-X GYPSUM WALL BOARD ON ALL GARAGE SIDE WALLS & CEILINGS BETWEEN GARAGE & HABITABLE SPACE.
 60. CONC. FILLED STEEL BOLLARD
 61. RETAINING WALL PER. STRUCTURAL DETAIL. – PROVIDE WATER PROOFING, DRAINAGE & BACKFILL AS PER. SOILS REPORT , USE "MIRADRAIN 860 / 861 LARR# 25094 " OR EQ.
 62. GARAGE FLOOR TO BE EPOXY COATED ON TOP OF LIGHT WEIGHT CONC. WHERE FLOOR IS WOOD FRAMED.
 63. ALL EXTERIOR DOORS SHALL HAVE A MINIMUM OF 36" LANDING IN THE DIRECTION OF TRAVEL, ON EACH SIDE OF DOOR PER SECTION R311.3ND 311.3.1 OF CRC

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CAUTHEN DESIGN INC
25332 Narbbone Ave suite 100
Lomita, CA 907117
Phone: 310.462.3049
EMAIL: CAUTHENDESIGN@AOL.COM

Consultants

NAMVAR
ASSOCIATES

231 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733

JOB No. #####



01 / 30 / 23

LEGEND

LEGEND		
	CENTER LINE	
	SHEET NOTE CALL-OUT	
	EXISTING WALL TO REMAIN TYP.	
	EXISTING WALL TO BE REMOVED TYP.	
	NEW PLUMBING STUD WALL TO BE 2X6 MIN. U.O.N.	
	NEW STUD WALL TO BE INTERIOR 2X4 EXTERIOR 2X6 U.N.O. PROVIDE TWO LAYERS OF GRADE D PAPER UNDER STUCCO APPLIED OVER WOOD SHEATHING(SHEAR WALLS). SEC. 703.6.3 OF THE CRC.	
	DOOR	
	WINDOW THIS WINDOW/DOOR MUST COMPLY WITH RBC SEC 310.4 EMERGENCY ESCAPE REQ. MIN. OPENABLE AREA = 5.7 N.S.F. MIN. WIDTH = 20" MIN. HEIGHT = 24" MAX. SILL HEIGHT. = 44" * FIRE NOTE: ALL EXTERIOR GLAZING TO BE TEMPERED PER HIGH FIRE ZONE.	
	COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE ALARM SECTION 315 OF THE RBC (HARD WIRED W/BATT. BACKUP) (REFER TO SHEET NOTE 55.)	
	LAVATORY WITH WOOD CABINET	
	TUB - GLASS ENCLOSURES TO BE TEMPERED GLASS	
	SHOWER - GLASS ENCLOSURE TO BE TEMPERED GLASS	
	SPA TUB - GLASS ENCLOSURE TO BE TEMPERED GLASS	
	TRIPLE SINK - W/ GARBAGE DISPOSAL	
	GAS RANGE	
	WASHER	
	DRYER - VENT EXHAUST TO OUTSIDE	
	WATER HEATER PROVIDE 18" HI. PLATFORM AND STRAP WATER HEATER TO WALL W/ APPROVED STRAP	
	JANITROL GMP 075-3 OR APPROVED EQUAL: CAPACITY= 7500 BTU EACH PROVIDE 18" HI. PLATFORM	
	WATER CLOSET - USE LOW FLOW TYPE (1.28 GALLONS PER FLUSH)	
GENERAL NOTES		
REVISIONS		
NO.	DATE	REMARKS
ISSUED		
Issued for	Issued on	
PROGRESS PRINTS		
PROJECT TITLE		
NEW HOME		
JOB ADDRESS		
505 PASEO DE LA PLAYA TORRANCE, CA 90277		
OWNER		
LEGAL DESCRIPTION		
LOT 166 BLOCK TRACT 18379 APN# 7512-002-013		
Sheet Title		
FIRST FLOOR PLAN		
Job No.:	J-2101	
Date:	02/01/23	
Drawn by:	B.C.	
Checked by:		

GENERAL NOTES

1. GARAGE TO INCLUDE AUTOMATIC DOOR OPENER.
 - 2.
 3. SMOKE DETECTORS SEE E-101 FOR SMOKE DETECTORS
 4. CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
 5. EXTERIOR WALLS TO BE A MINIMUM 2X6 TO ACCOMODATE REQUIRED R-21 INSULATION PER T-24
 6. FIRE-RESISTIVE ASSEMBLIES FOR THE PROTECTION OF OPENINGS, WHEN REQUIRED BY THE BUILDING CODE SHALL COMPLY WITH TABLE 715.4 AND TABLE 715.5. BUILDING CODE SECTION 705.8.2
 7. GENERAL CONTRACTOR SHALL PROVIDE A HAUL ROUTE AND THE SIZE OF EQUIPMENT TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.

FILENAME

Drawing Type Drawing No.

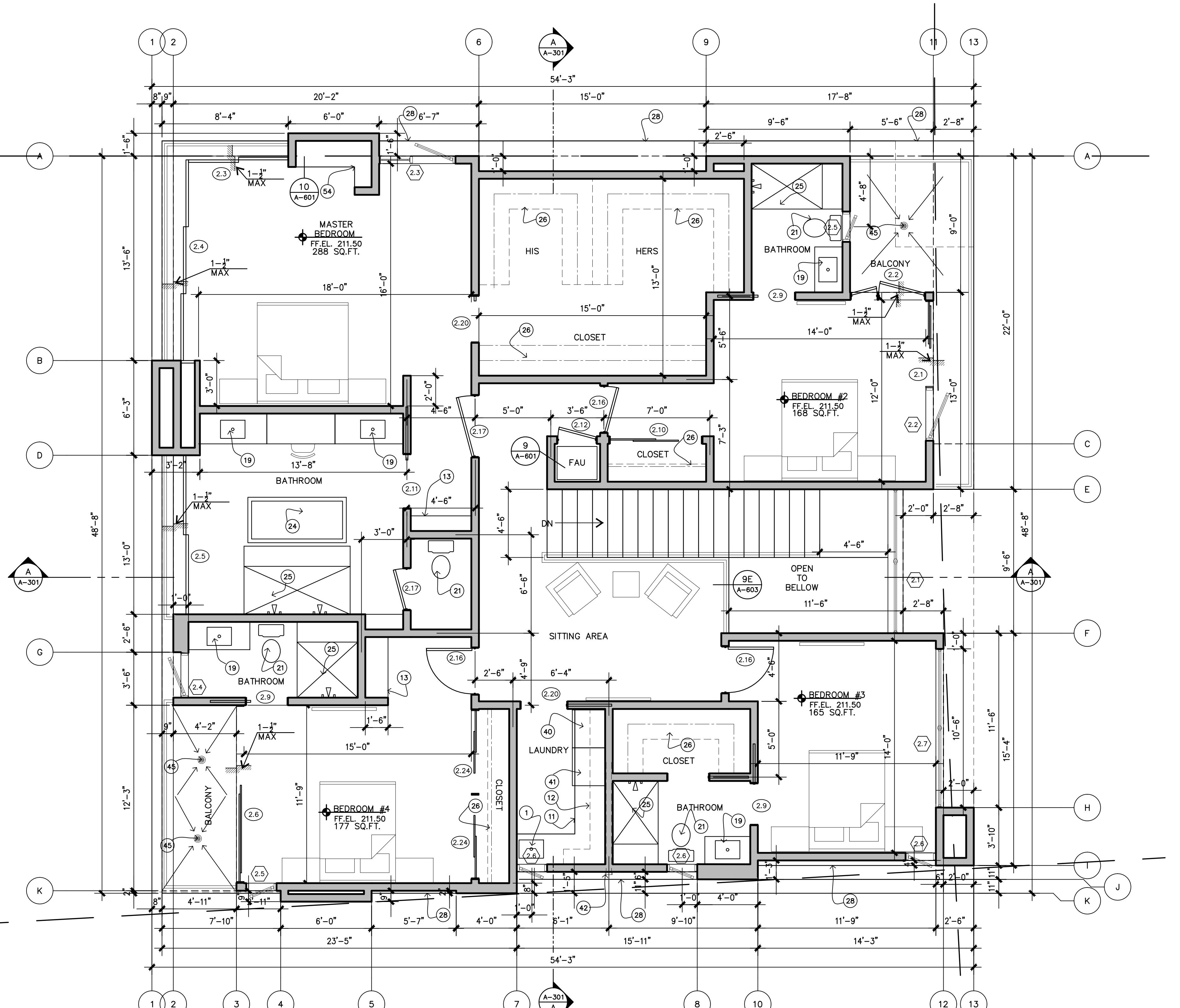
PROGRESS

PRINTS

A-102

A-102

California Coastal Commission
CDP 5-23-0346
Exhibit 2 p. 4 of 7



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

SHEET NOTES

1. KITCHEN SINK W/ GARBAGE DISPOSER
2. RANGE OR COOKTOP (VERIFY). PROVIDE VENT HOOD ABOVE OR DOWNDRAFT VENT (VERIFY).
3. REFRIGERATOR
4. FREEZER
5. RE/FREEZER
6. OVEN - VERIFY GAS OR ELEC. & VENT REQUIREMENT
7. MICROWAVE OVEN
8. DISHWASHER
9. TRASH COMPACTOR
10. EXHAUST VENT TO OUTSIDE
11. BASE CABINET - VERIFY HEIGHT WITH COUNTERTOP (VERIFY FINISH)
12. WALL MOUNTED CABINET - VERIFY HEIGHT & CLEARANCE ABV. LOWER CABINET.
13. MILLWORK - CONTRACTOR TO VERIFY DESIGN WITH OWNER AND PROVIDE SHOP DRAWINGS.
14. SINK - VERIFY WITH OWNER
15. Niche - VERIFY SIZE
16. BAR FRIDGE / WINE COOLER
17. BALCONY / PATIO/DECK, FINISHED WITH TILE OR STONE OVER POLYMERIC WATERPROOF MEMBRANE MEL-ROL LARR 26022 OR EQUAL. SLOPE 1/4" PER FOOT MIN. PROVIDE DRAIN AND OVER FLOW. REFER TO OWNER FOR FINISH.
18. MIRROR - VERIFY SIZE
19. SHELF
20. SOFFIT OR DROP CEILING ABOVE
21. TOILET - 30" CLR. WIDE SPACE REQUIRED. (1.28 GALLONS PER. FLUSH)
22. BIDET - 30" CLR. WIDE SPACE REQUIRED.
23. BATHTUB - PROVIDE TEMP. GLASS ENCLOSURE UNLESS A SEPARATE SHOWER IS PROVIDED IN THE BATH. THE TUB SURFACE SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, 70" ABOVE DRAIN AT HE SHOWERS OR TUBS WITH SHOWERS PER (CBC 1210).
24. JACUZZI TUB - VERIFY SIZE & HEIGHT PROVIDED DECO PER TUB SPECS VERIFY WITH OWNER.
25. SHOWER - THE WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, 70" ABOVE DRAIN AT HE SHOWERS OR TUBS WITH SHOWERS PER (CBC 1210). MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. MINIMUM INSIDE DIM. 24"X30" CLEARANCE. ENCLOSURE TO BE TEMPERED GLASS CATEGORY II. SWING THE DOOR OUTWARD. NET AREA OF SHOWER REQUIRES SHOWER STALLS LESS THAN 30" X 36" AND ENCOMPASS 30 INCH DIAMETER CIRCLE.
26. POLE & SHELF OR CUSTOM CLOSET DESIGN BY OTHERS. REFER TO OWNER.
27. WOOD STUD FRAMED WALL WITH GYPSUM BOARD FINISH ON INTERIOR SURFACE & CEMENT STUCCO FINISH ON EXTERIOR. INTERIOR WALLS TO BE 2x4 STUDS (14" MAX. HEIGHT) U.N.O., EXTERIOR WALLS TO BE 2x6 STUDS U.N.O.
28. ROOF EAVS OR OVERHANG SEE DETAILS / SECTIONS
29. LOW WALL - 36" A.F. MINIMUM (VERIFY HEIGHT & CAP)
30. LOW WALL BELOW - GYPSUM BOARD FINISH
31. BENCH
32. BENCH
33. BENCH
34. LIGHT ABOVE SEE DETAIL # 10 A-602
35. INTERIOR DECORATIVE COLUMN - VERIFY SIZE & MATERIAL
36. EXTERIOR PRE-CAST CONCRETE COLUMN - U.N.O.
37. 22'X30' ATTIC SCUTTLE (MINIMUM) - PROVIDE 30"X36" ACCESS IF FAU IS IN ATTIC. PER 904.10 CMC
38. FAU - PROVIDE 30" X 36" ACCESS
39. PILASTER - VERIFY HEIGHT & SIZE
40. DRYER USE ELECTRIC DRYER WHEN LOCATED IN GARAGES
41. WASHER
42. G.D. DRAIER VENT - 14' LENGTH W/ 2-90° ELBOWS MAX. PER SEC 504.3.1 THROUGH 504.3.1.2 OF CMC USE BOSTER FAN WHERE LENGTH EXCEEDS 14' MAX. SEE DETAIL 6 ON A-604
43. A/C. CONDENSING UNIT ON CONCRETE PAD - VERIFY ELECTRIC REQUIREMENT.
44. COMBUSTION AIR VENT - VERIFY SIZE REQUIREMENT PER CHAPTER 7 OF CMC
45. FLOOR DRAIN PROVIDE OVERFLOW
46. ELECTRICAL MAIN PANEL - VERIFY LOCATION W/ POWER CO.
47. PLUMBING - SEE PLANS
48. TANKLESS WATERHEATER - PROVIDE VENT PER C.B.C. LOCATION TO BE DETERMINED BY CONTRACTOR
49. FAU - PROVIDE VENT & FRESH AIR INTAKE PER 904.0 C.M.C.
50. GARAGE TO HOUSE DOOR - 20 MIN. RATED W/ SELF CLOSING, TIGHT FITTING 20- MINUTE RATED FOR OPENING BETWEEN GARAGE AND HOUSE SECTION R302.5.1 CRC.
51. CONCRETE PATH
52. CONCRETE STEPS
53. EXISTING MASONRY FIREPLACE
54. DIRECT-VENT GAS PREFAB. FIREPLACE BY "HEAT & GLO" MEZZO 60 UL307B AND LISTED BY CSA. TIGHT CLOSURE ASSEMBLY. DUCTS TO EXHAUST VENT W/ DAMPER CONTROL; FLUE DAMPER AND CONTROL AND A FACTOR LISTED SPARK ARRESTOR - VENT THROUGH EXT. WALL OR ROOF.
55. PROVIDE HARD WIRED AND INTERCONNECTED COMBINATION SMOKE DETECTORS AND CARBON MONOXIDE ALARM SECTION 315 OF THE RBC WITH BATTERY BACK-UP ADJACENT TO AND INSIDE BEDROOMS. SMOKE DETECTOR IN BASEMENT AREA MUST BE SOUND AUDIBLE IN ALL BEDROOMS.
56. PER 904.10 CMC-2020 GROUP R-1 AND R-2 OCCUPANCIES, AND RESIDENTIAL BUILDING CODE R315 FOR GROUP R-3 ONLY. PER PROVISIONS SET FORTH IN FIRE CODE 907.2.11 AND BUILDING CODE 907.2.11 FOR GROUP R-1 AND R-2 OCCUPANCIES; AND RESIDENTIAL BUILDING CODE 314 FOR GROUP R-3 ONLY.
57. GUARDRAIL - MINIMUM 42" ABOVE FINISH FLOOR OR NOSING LINE. GUARDRAIL DESIGN SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH. SEE STRUCTURAL DRAWINGS FOR ATTACHMENT DETAILS. REQUIRED GUARDS ON THE OPEN SIDE OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" FROM A LINE CONNECTING THE LEADING EDGE OF THE TREADS. (R312.2).
58. STAIRCASE WITH OCCUPANCY LOAD OF 9 OR MORE PERSONS: RISE 7"-7" MAX., RUN 11" MINIMUM; OCCUPANCY LOAD LESS THAN 9: RISE 7"-7" MAX., RUN 9" MIN. MINIMUM WIDTH 36" FOR (OCCUPANCY LOAD LESS THAN 50). HEADROOM 6'-8". SEC 1009.3 EX 4 CBC.
59. PROVIDE (1) LAYER OF 5/8" TYPE-X GYPSUM WALL BOARD ON ALL WALLS & CEILINGS OF SPACE UNDER STAIRS.
60. CONC. FILLED STEEL BOLLARD
61. RETAINING WALL PER STRUCTURAL DETAIL - PROVIDE WATER PROOFING, DRAINAGE & BACKFILL AS PER. SOILS REPORT , USE MATERIALS APPROVED BY THE SOILS REPORT
62. GARAGE FLOOR TO BE EPOXY COATED ON TOP OF LIGHT WEIGHT CONC. WHERE FLOOR IS WOOD FRAMED.
63. ALL EXTERIOR DOORS SHALL HAVE A MINIMUM OF 36" LANDING IN THE DIRECTION OF TRAVEL, ON EACH SIDE OF DOOR PER SECTION R311.3ND 311.3.1 OF CBC.

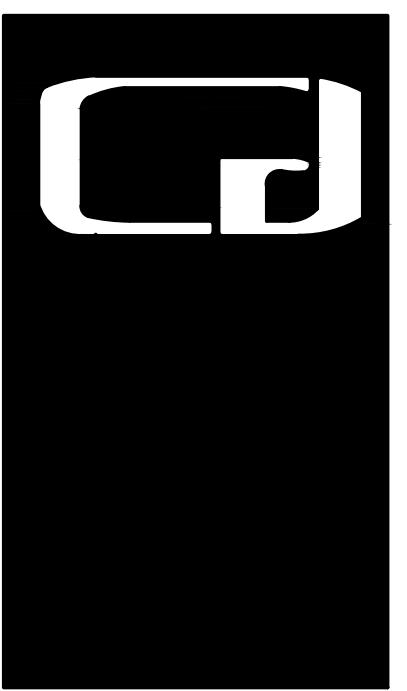
LEGEND

	CENTER LINE
	SCHEET NOTE CALL-OUT
	EXISTING WALL TO REMAIN TYP.
	EXISTING WALL TO BE REMOVED TYP.
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	DOOR
	THIS WINDOW/DOOR MUST COMPLY WITH RBC SEC 310.4 EMERGENCY ESCAPE REQ. MIN. OPENABLE AREA = 5.75 SF. MIN. WIDTH = 20" MAX. HEIGHT = 44" ★ FIRE NOTE: ALL EXTERIOR GLAZING TO BE TEMPERED PER HIGH FIRE ZONE.
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	GAS RANGE
	WASHER
	DRYER - VENT EXHAUST TO OUTSIDE
	WATER HEATER PROVIDE 18" HI. PLATFORM AND STRAP WATER HEATER TO WALL W/ APPROVED STRAP
	JANITROL GMP 075-3 OR APPROVED EQUAL: CAPACITY= 7500 BTU EACH PROVIDE 18" HI. PLATFORM
	WATER CLOSET - USE LOW FLOW TYPE (1.28 GALLONS PER FLUSH)

GENERAL NOTES

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CAUTHEN DESIGN INC
25332 Narbonne Ave suite 100
Lomita, CA 90711
Phone: 310.462.3049
EMAIL: CAUTHENDESIGN@AOL.COM

Consultants
CONSULTING ENGINEERS
STRUCTURAL DESIGN

NAMVAR
ASSOCIATES
213 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733
JOB No. #####



01/30/23

NO.	DATE	REMARKS

ISSUED	Issued for	Issued on

PROJECT TITLE	NEW HOME
	JOB ADDRESS 505 PASO DE LA PLAYA TORRANCE, CA 90277

OWNER

LEGAL DESCRIPTION
LOT 166
BLOCK
TRACT 18379
APN# 7512-002-013

Sheet Title
SECOND FLOOR PLAN

Job No.: J-2101
Date: 02/02/23
Drawn by: B.C.
Checked by:
FILENAME

Drawing Type
PROGRESS PRINTS
Drawing No.
A-103

SHEET NO. OF SHEETS



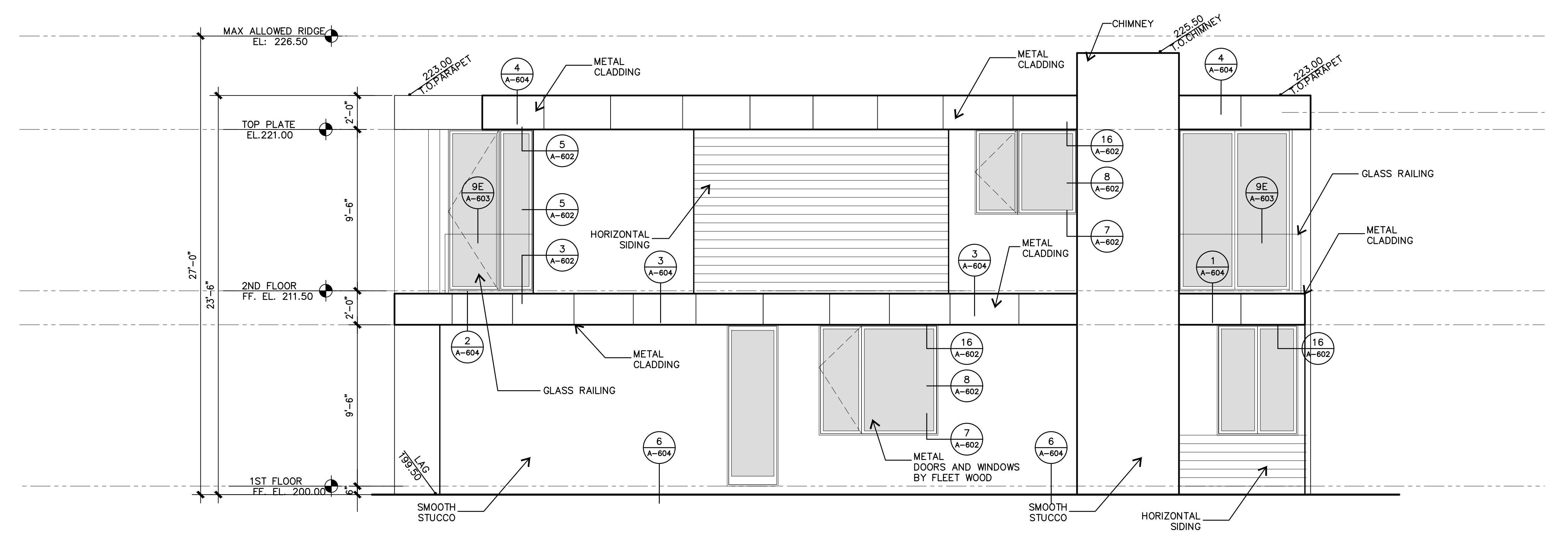
Designer
CAUTHEN DESIGN INC
25332 Narbone Ave suite 100
Lomita, CA 90717
Phone: 310.462.3049
EMAIL: CAUTHENDESIGN@AOL.COM

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CONSULTING ENGINEERS
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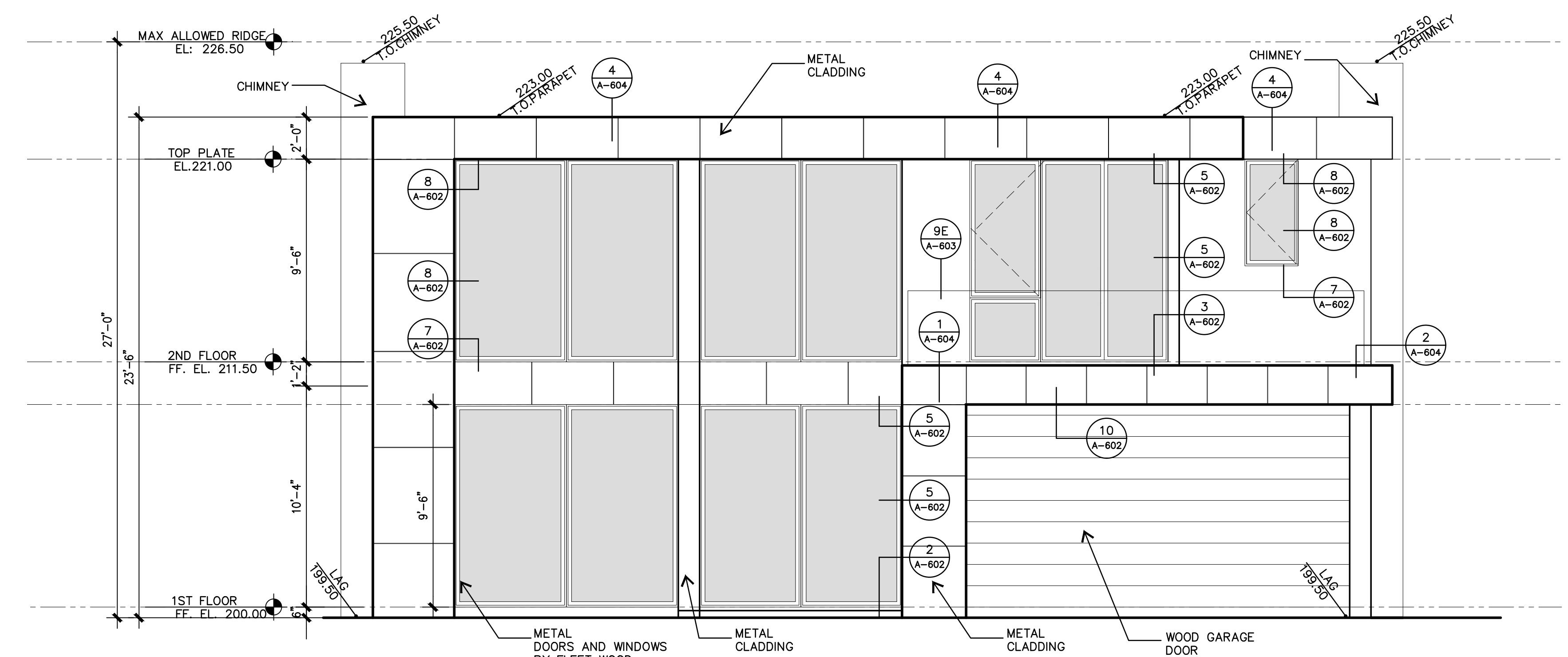
NAMVAR
ASSOCIATES
231 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733
JOB No. #####



01/30/23



California Coastal Commission
CDP 5-23-0346
Exhibit 2 p. 5 of 7



REVISIONS		
NO.	DATE	REMARKS
ISSUED	Issued for	Issued on
	PROGRESS PRINTS	
PROJECT TITLE		
NEW HOME		
JOB ADDRESS		
505 PASEO DE LA PLAYA TORRANCE, CA 90277		
OWNER		
LEGAL DESCRIPTION		
LOT 166 BLOCK 18379 APN# 7512-002-013		
Sheet Title		
ELEVATIONS		
Job No.:	J-2101	
Date:	02/02/23	
Drawn by:		B.C.
Checked by:		
FILENAME		
Drawing Type		Drawing No.
PROGRESS PRINTS		

A-201

SHEET NO. OF SHEETS

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AUTHEN DESIGN INC
332 Narbone Ave suite 100
mita, CA 907117
one: 310.462.3049
AIL: CAUTHENDESIGN@AOL.CO

CONSULTING ENGINEERS
STRUCTURAL DESIGN

 NAMVAR
ASSOCIATES
31 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733

OB No.



01/30/23

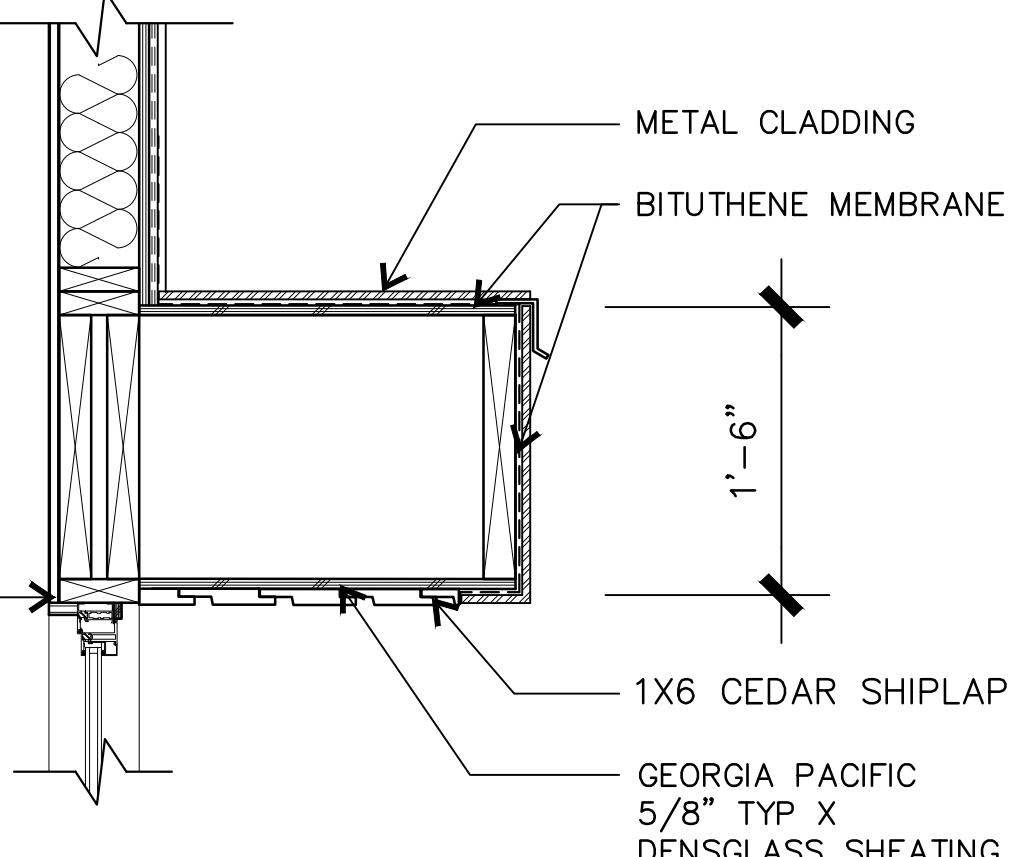
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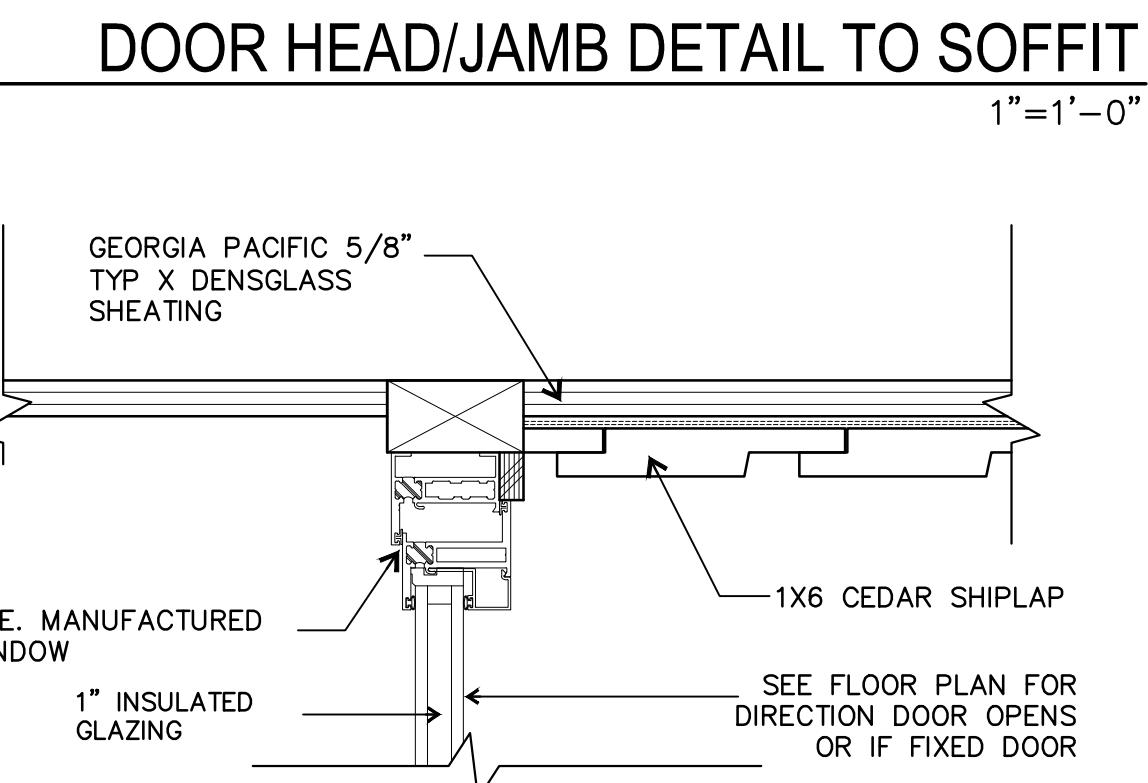
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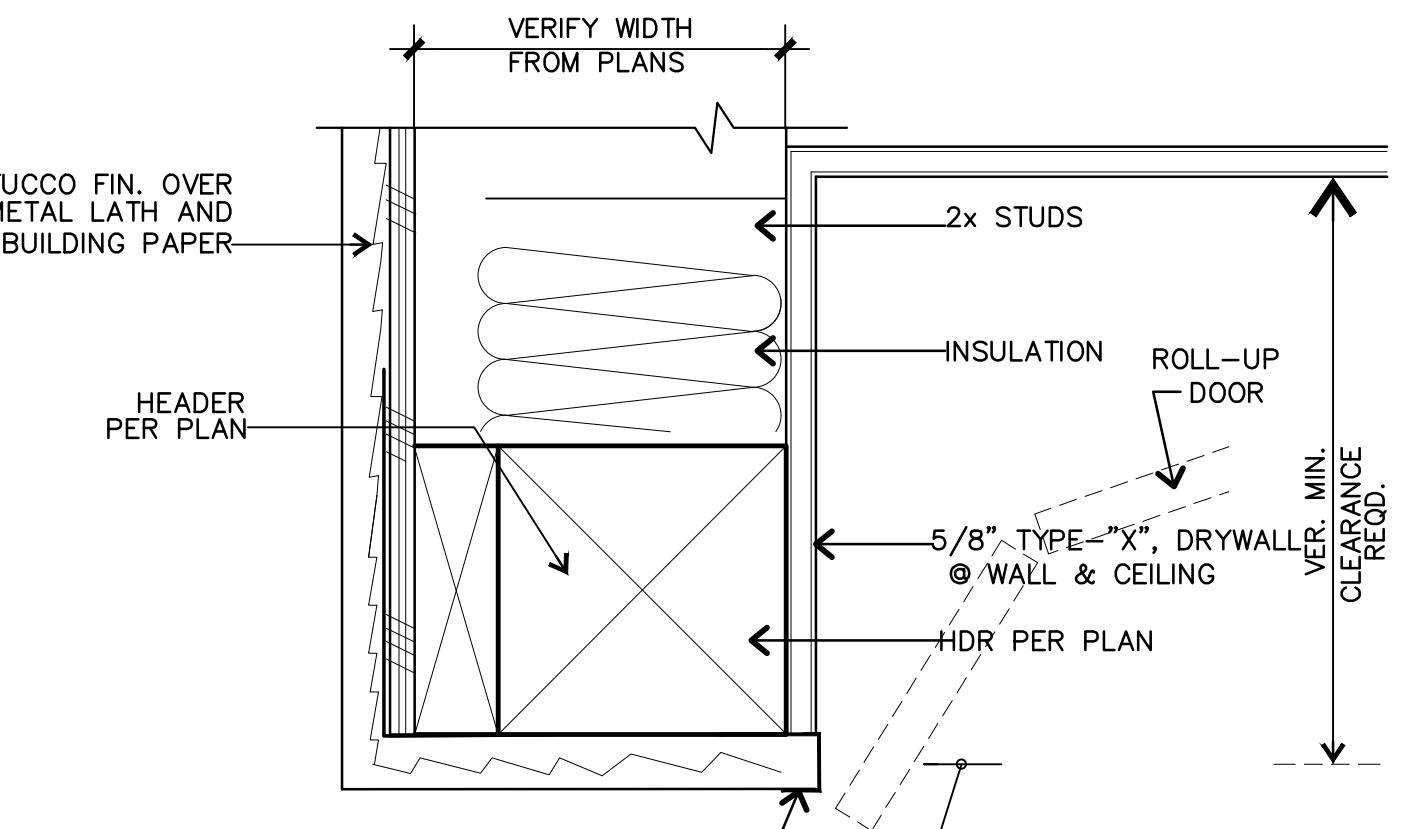
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ISSUED		
Issued for	Issued on	
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PROJECT TITLE		
NEW HOME		
ADDRESS		
PASEO DE LA PLAYA MUNICIPALITY, CA 90277		
OWNER		
ITEM DESCRIPTION		
166 BLOCK LOT 18379 <u>IN#</u> 7512-002-013		
Set Title ELEVATIONS		
No.: J-2101		
Date: 02/10/22		
Drawn by: B.C.		
Checked by:		
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Drawing Type		
PROGRESS PRINTS		
Drawing No.		
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SET NO. OF SHEETS		



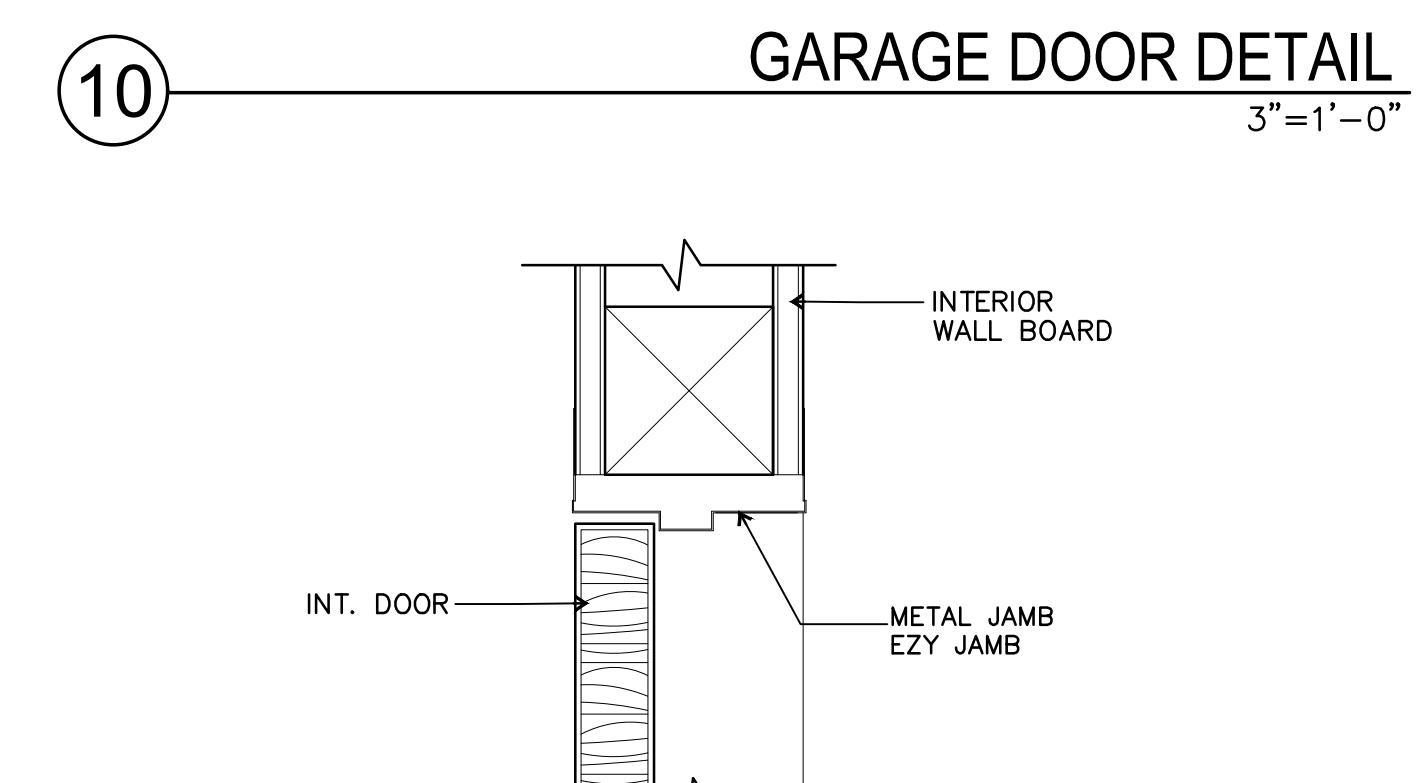
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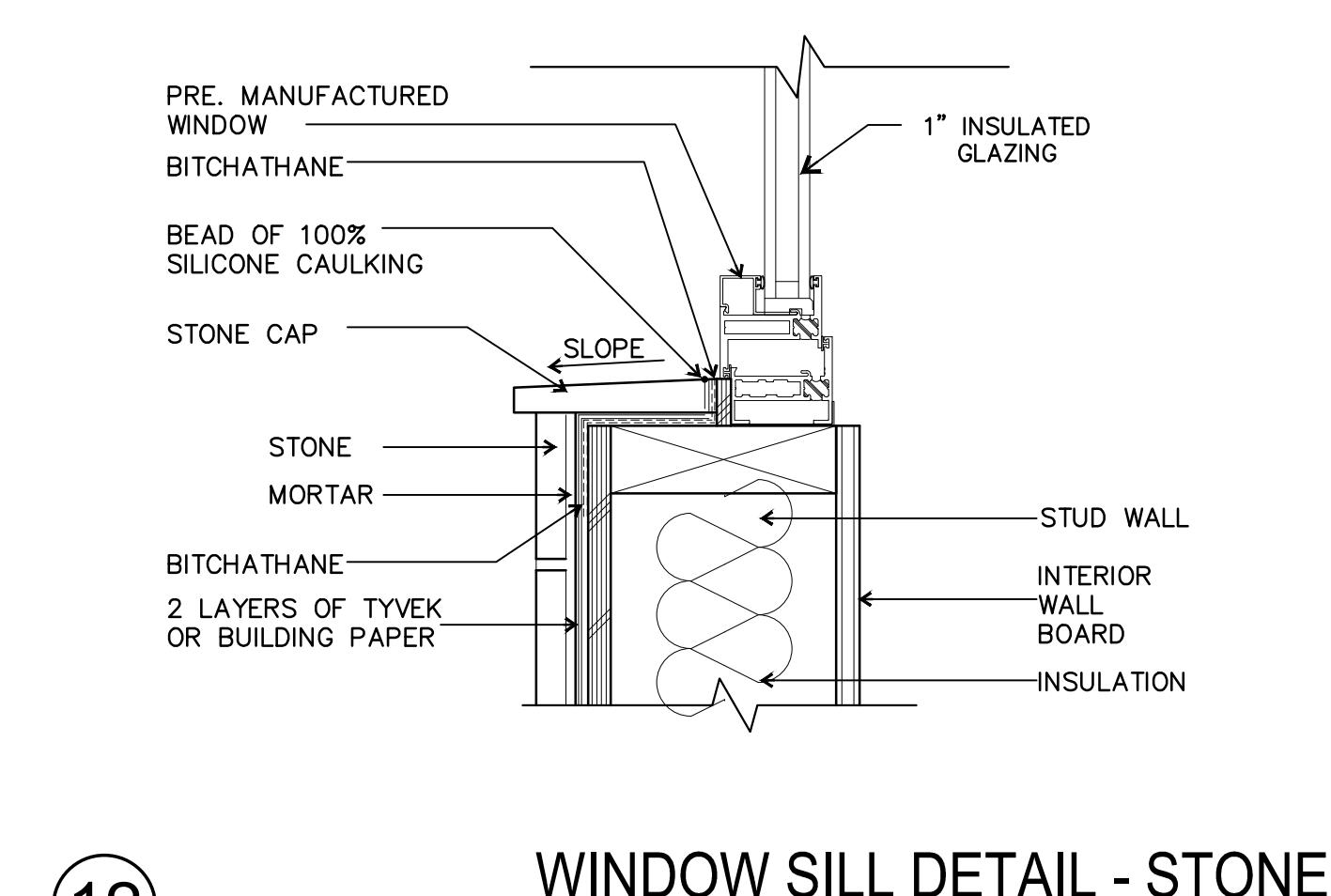
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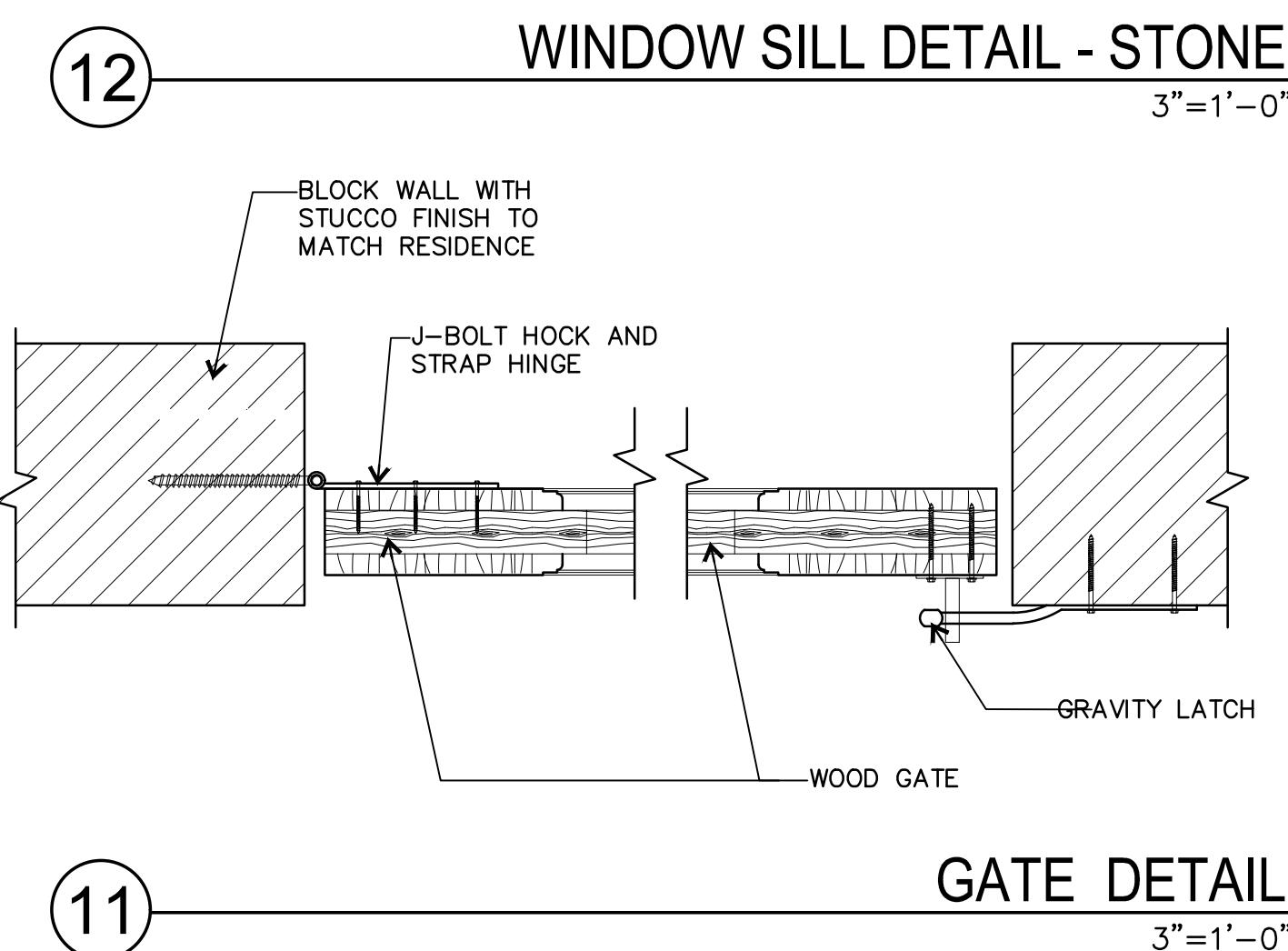
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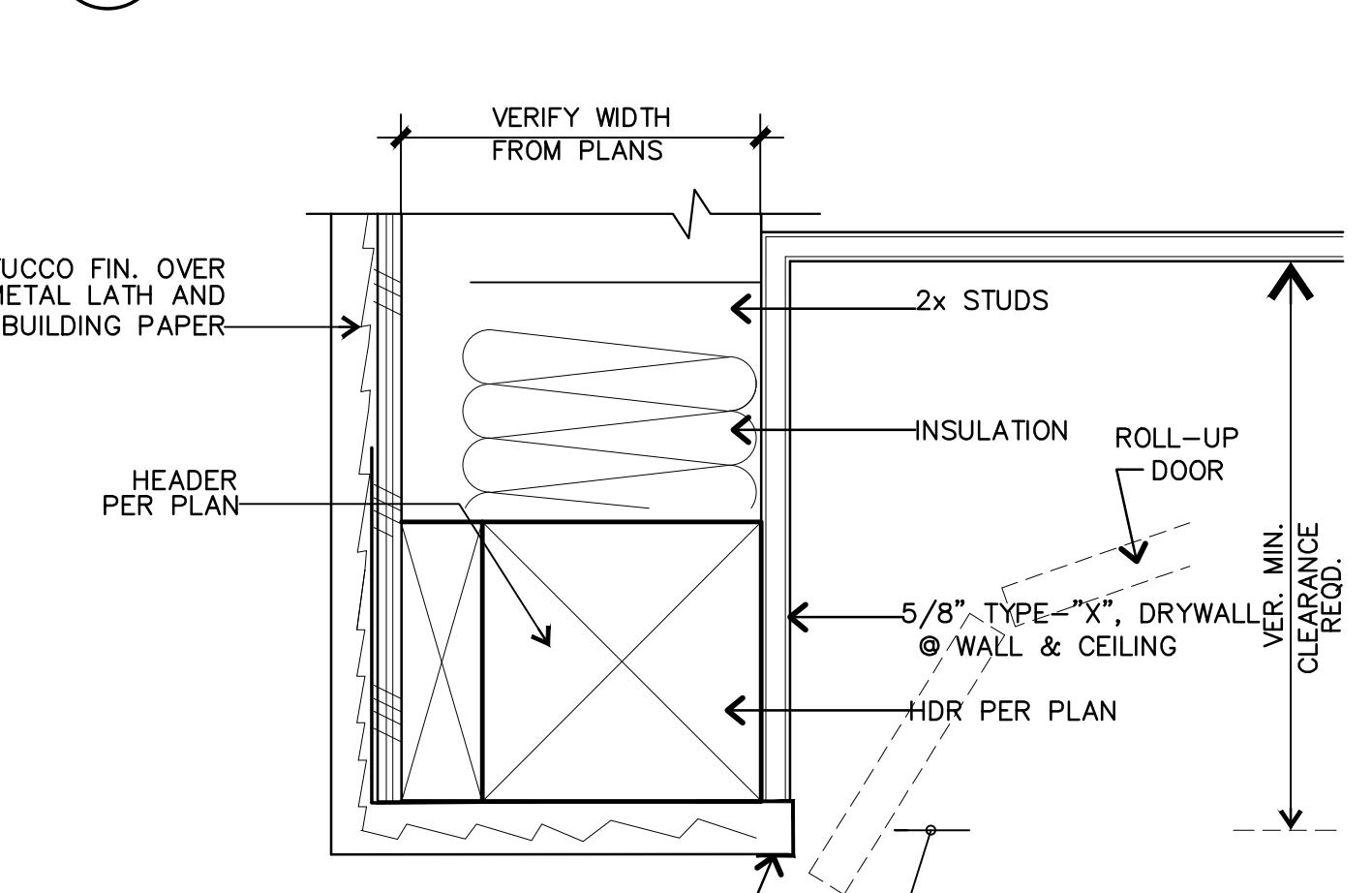
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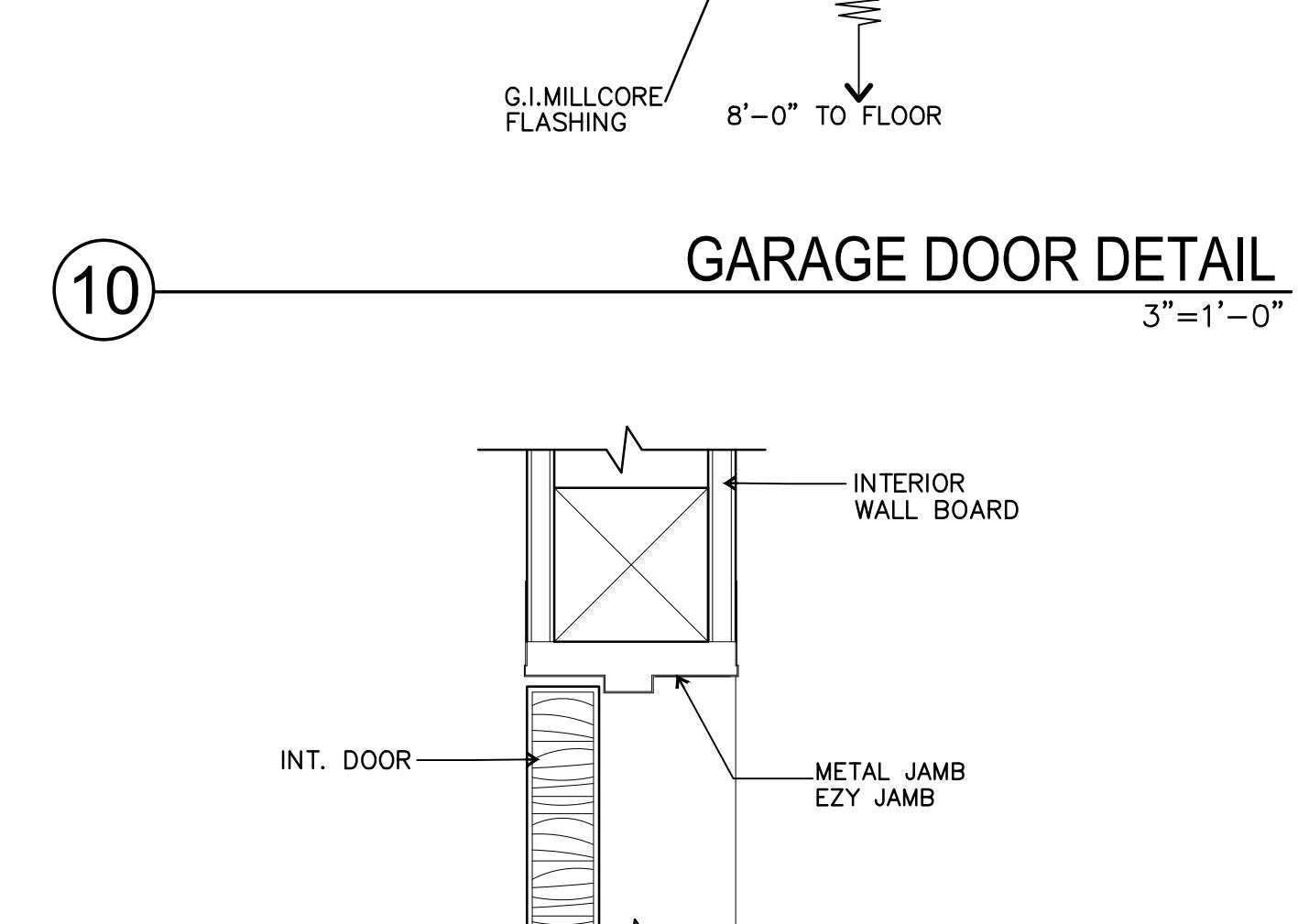
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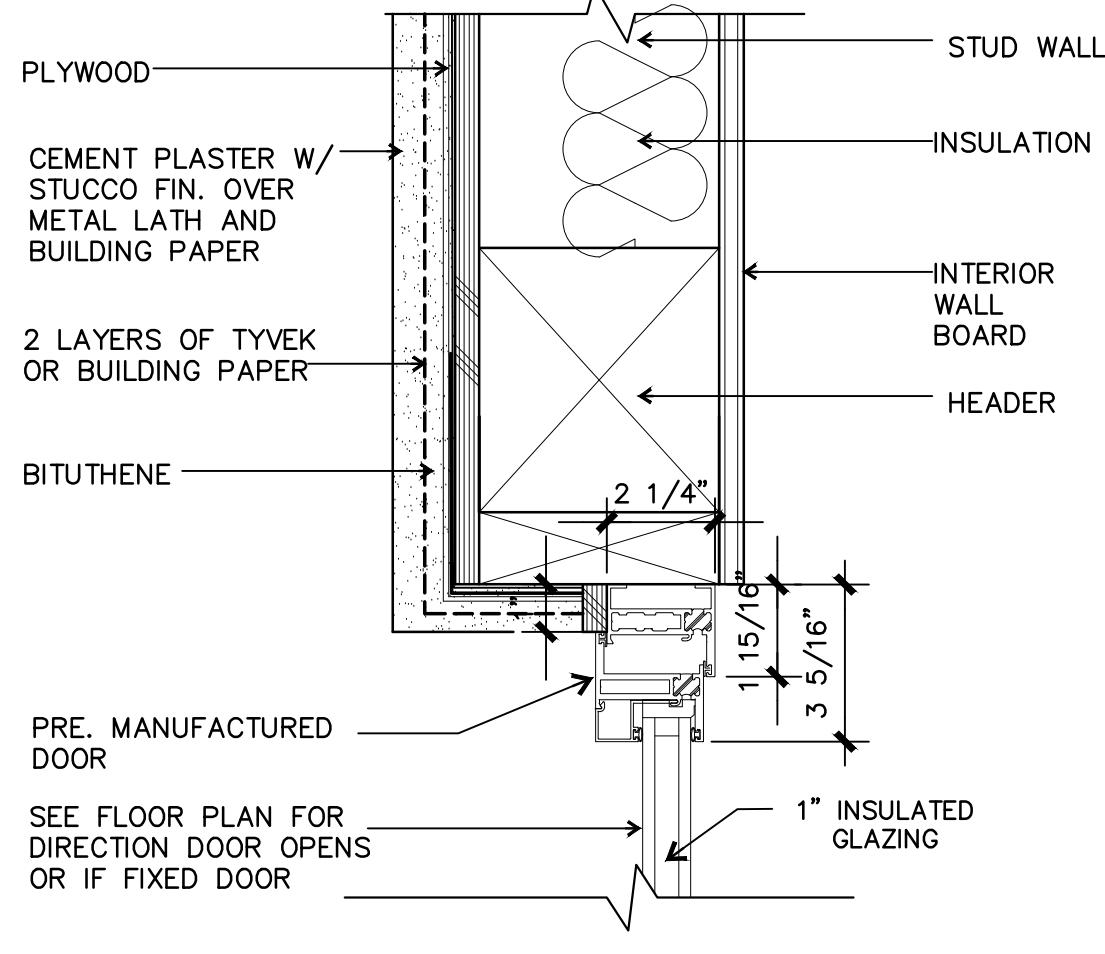
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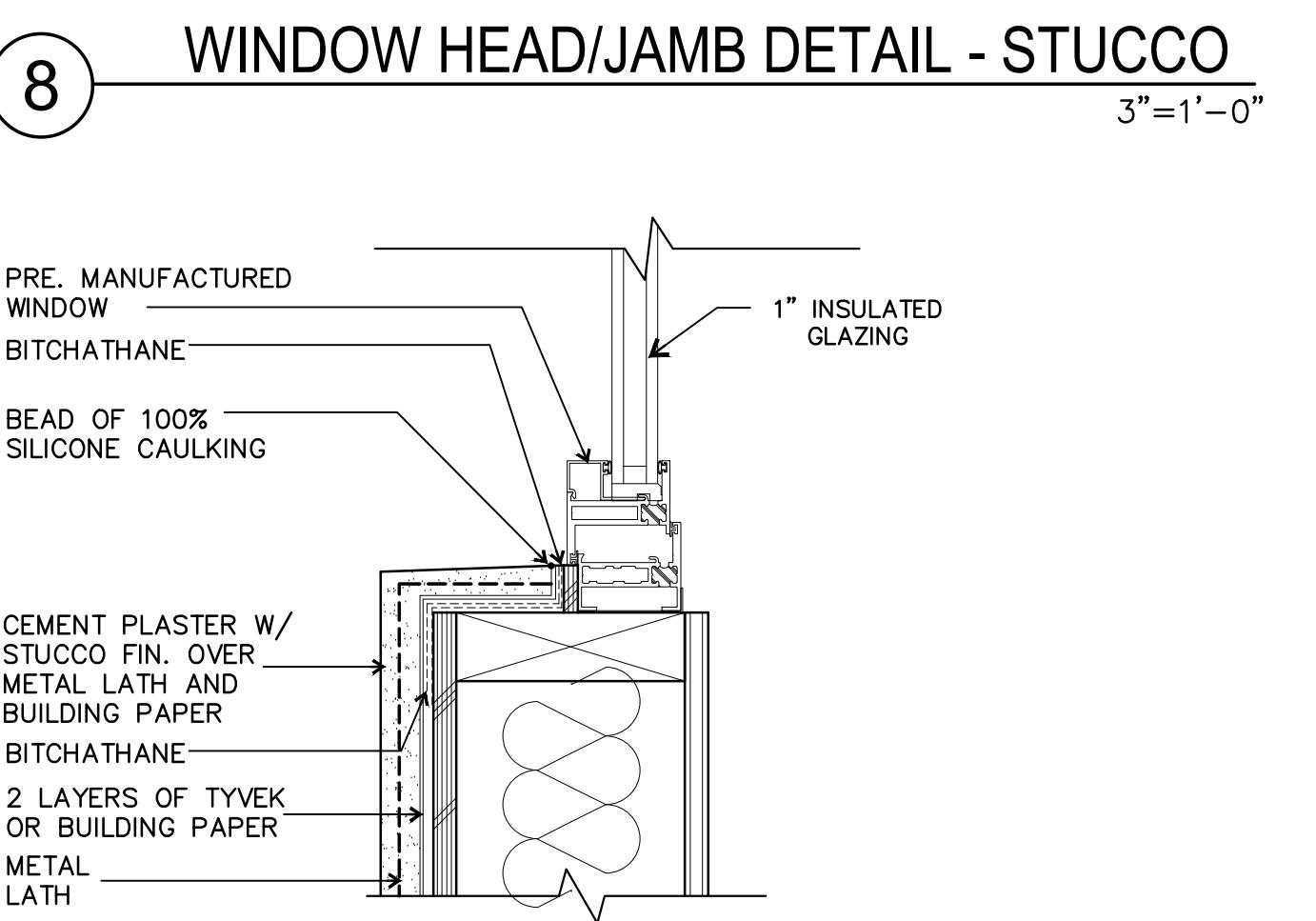
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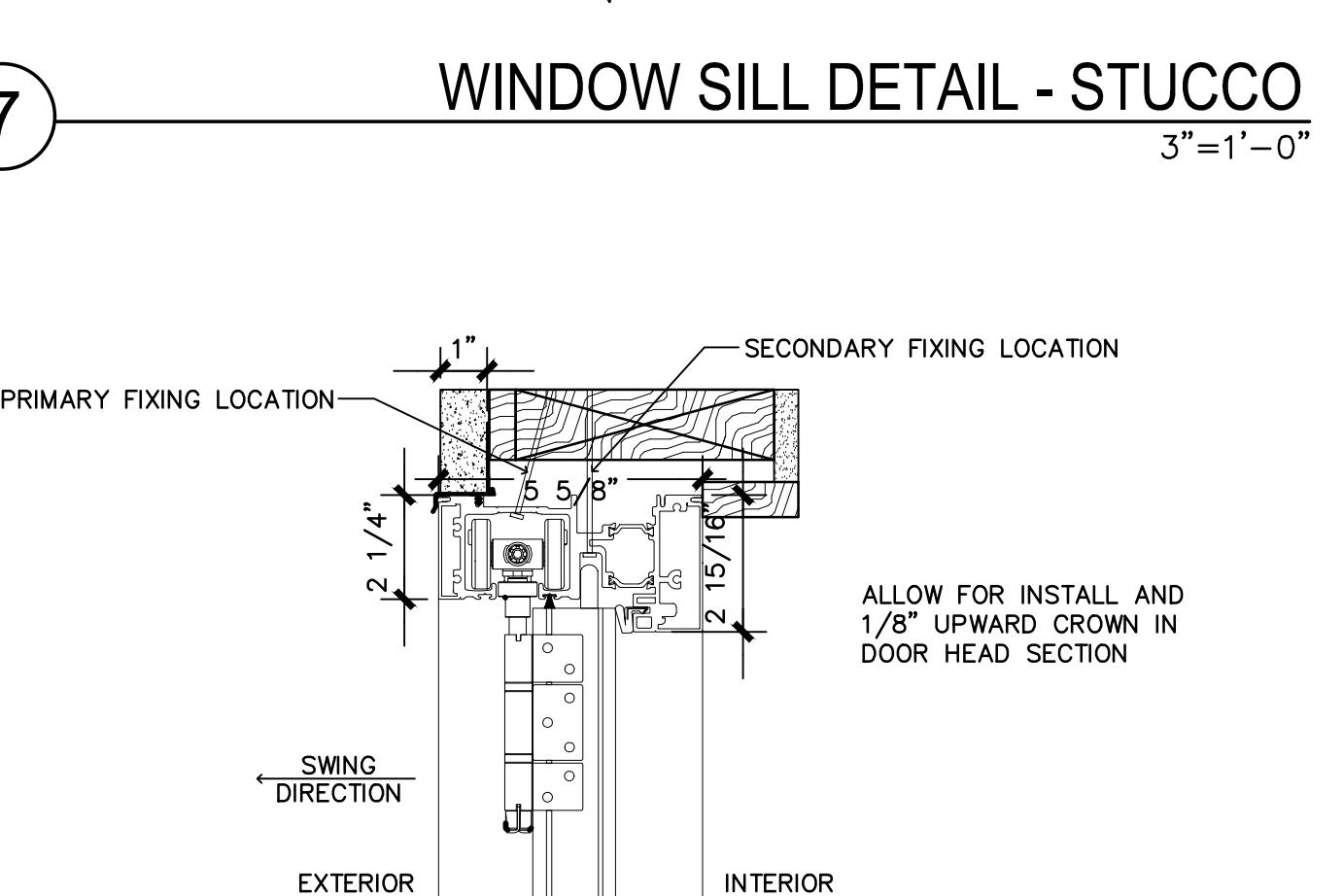
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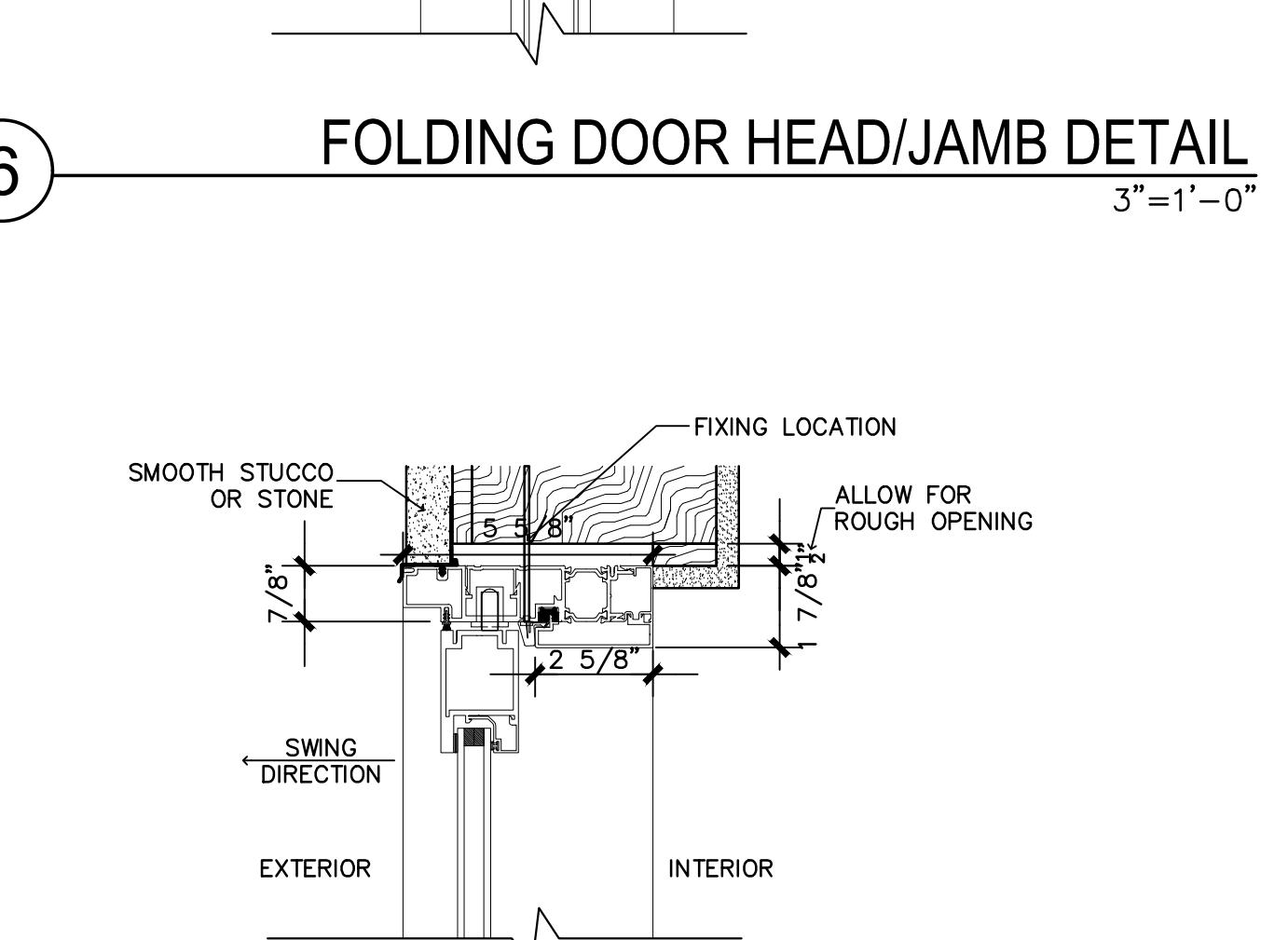
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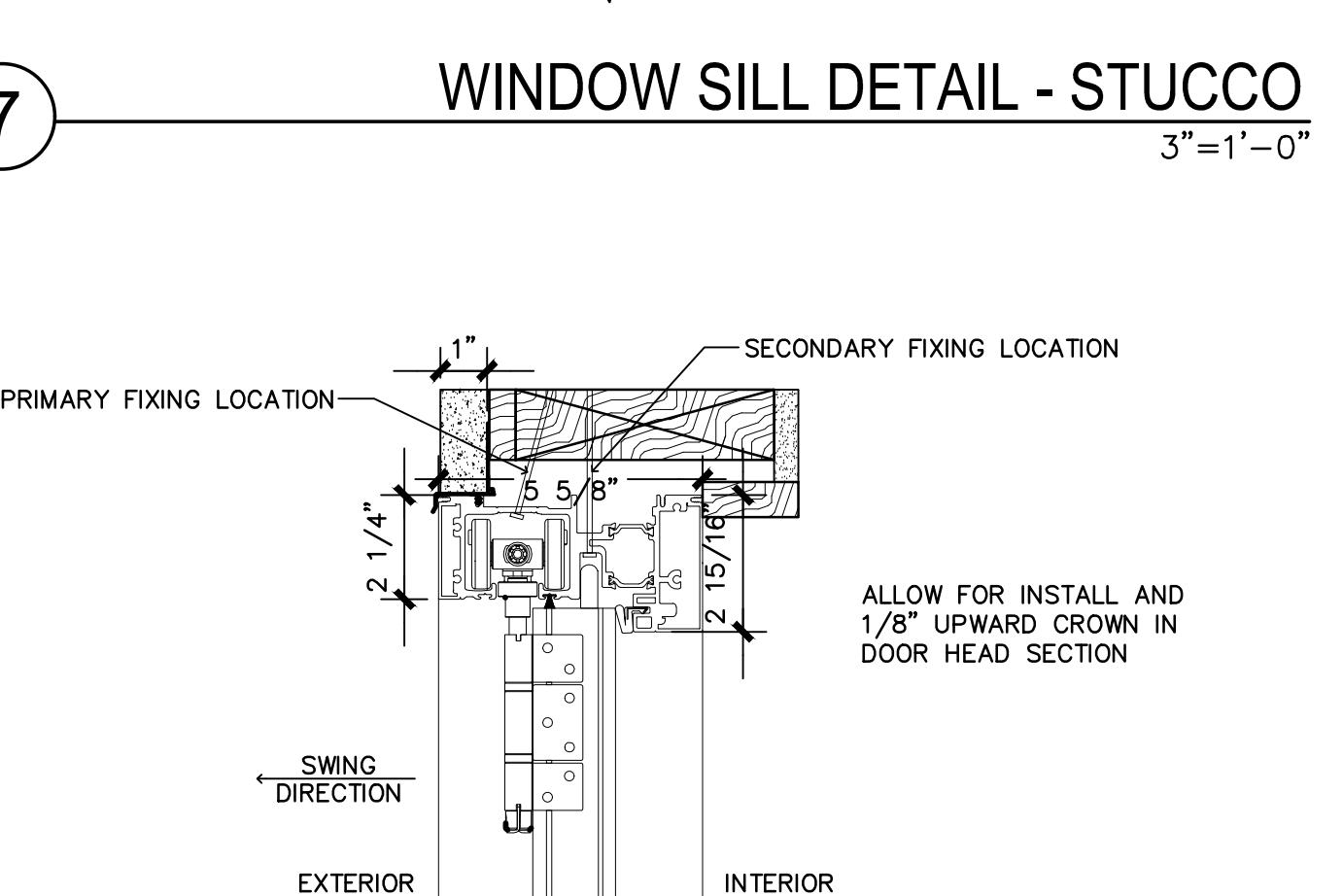
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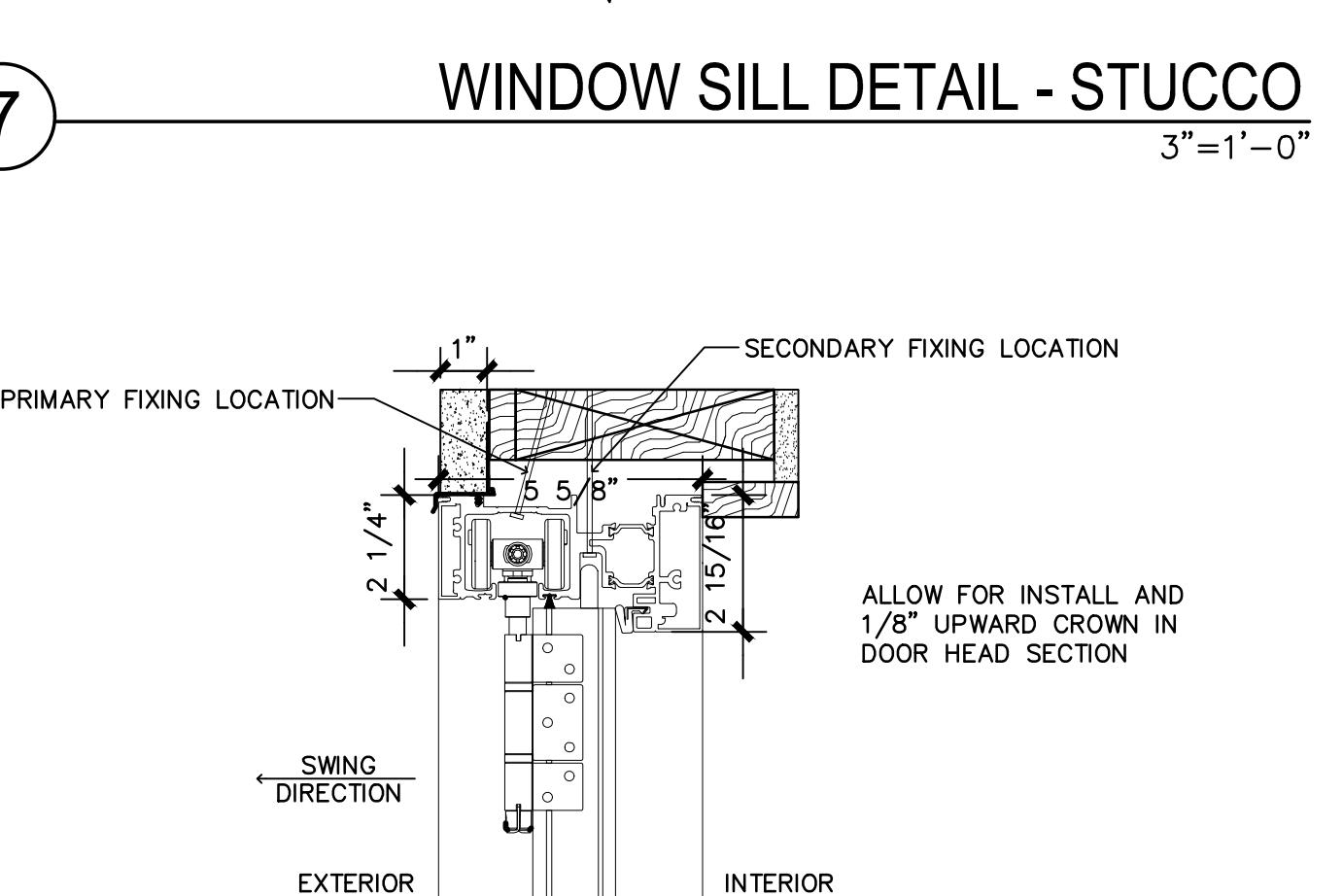
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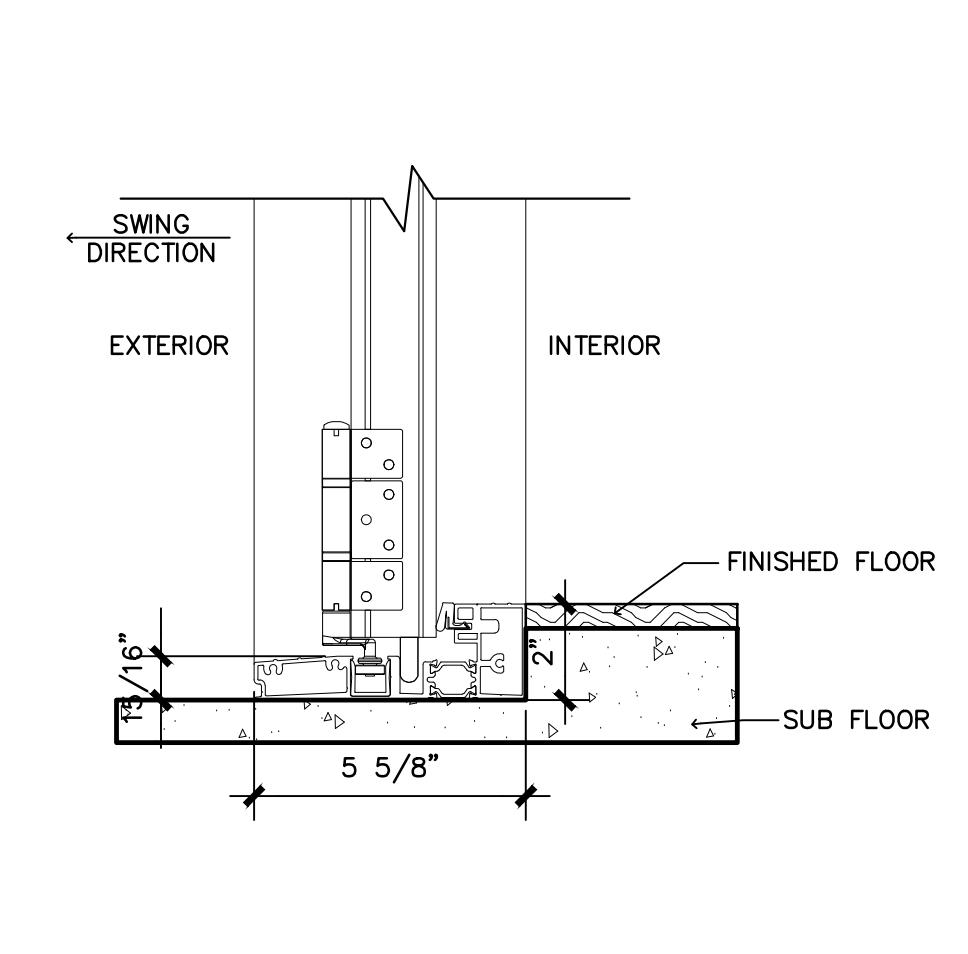
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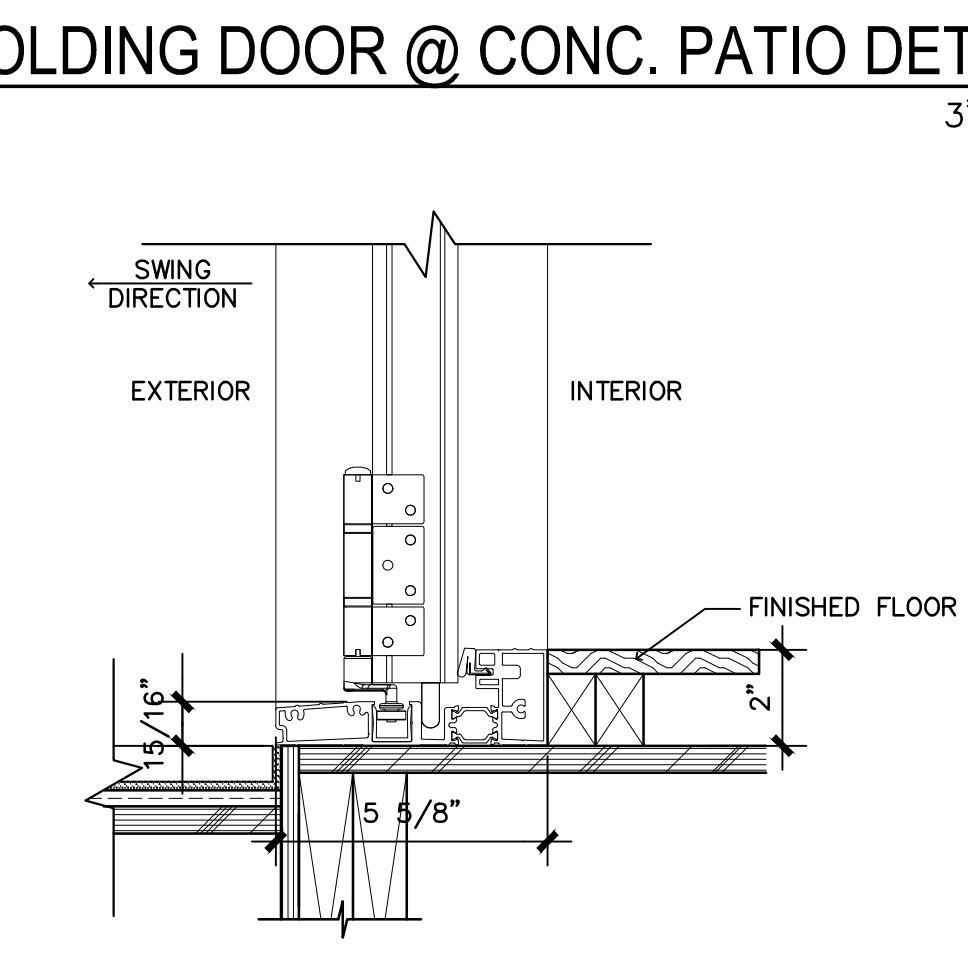
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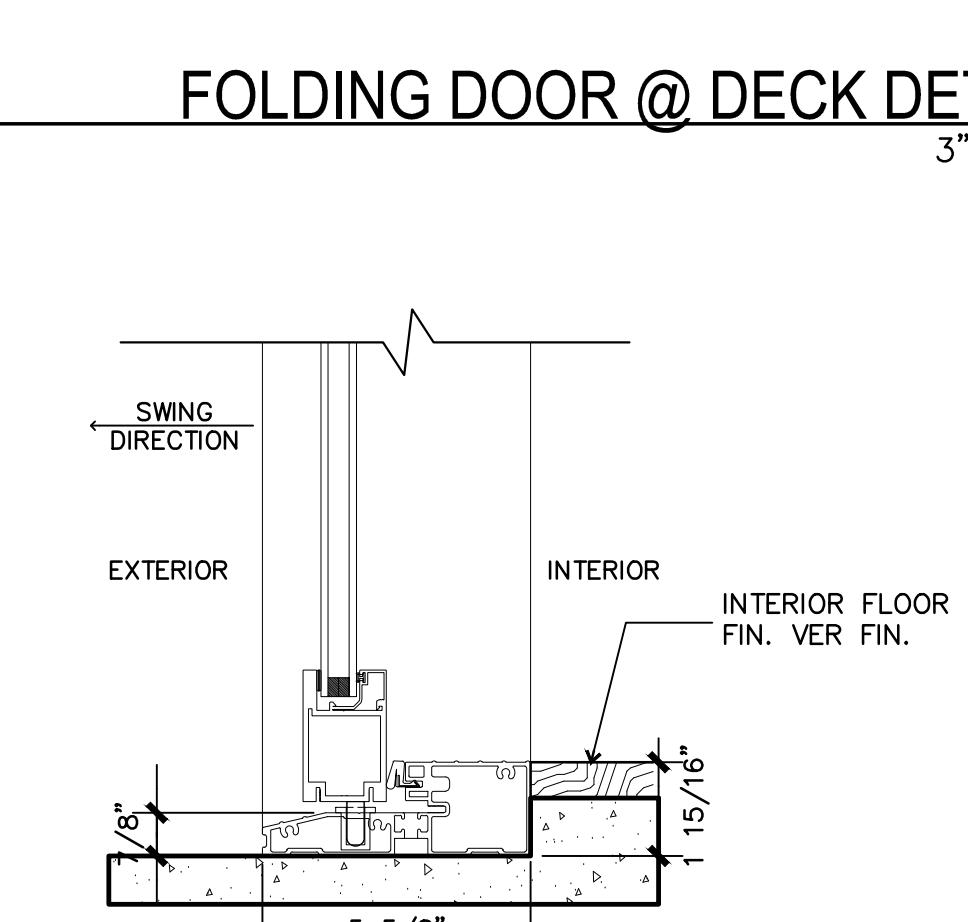
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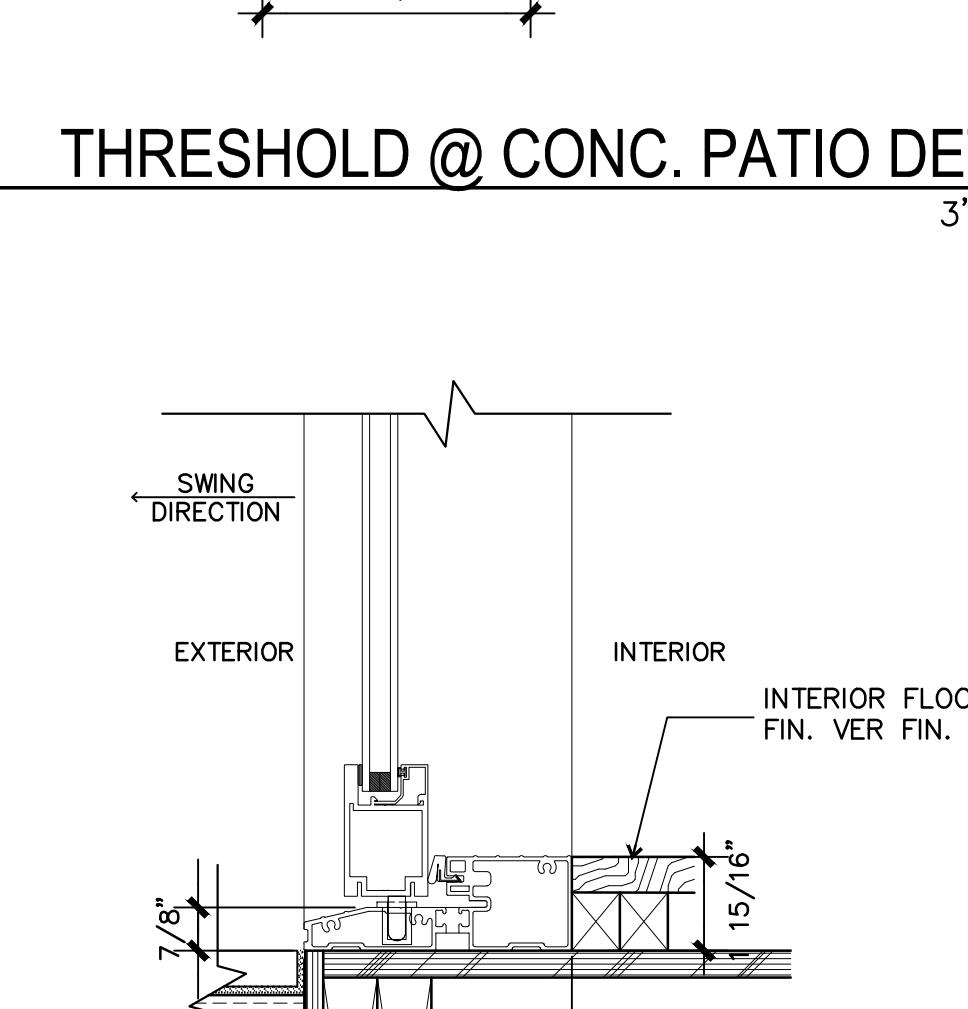
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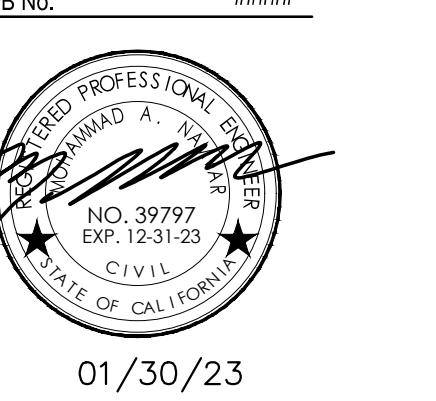
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JOB No. #####



01/30/23

REVISIONS	NO.	DATE	REMARKS
ISSUED			Issued for PROGRESS PRINTS

PROJECT TITLE
NEW HOME
JOB ADDRESS
505 PASEO DE LA PLAYA
TORRANCE, CA 90277

OWNER

LEGAL DESCRIPTION
LOT 166
BLOCK TRACT 18379
APN# 7512-002-013

Sheet Title
DOOR/WINDOW DETAILS

Job No.: J-2101
Date: 02/10/23
Drawn by:
Checked by:
FILENAME

Drawing Type
PROGRESS PRINTS
Drawing No.

A-602

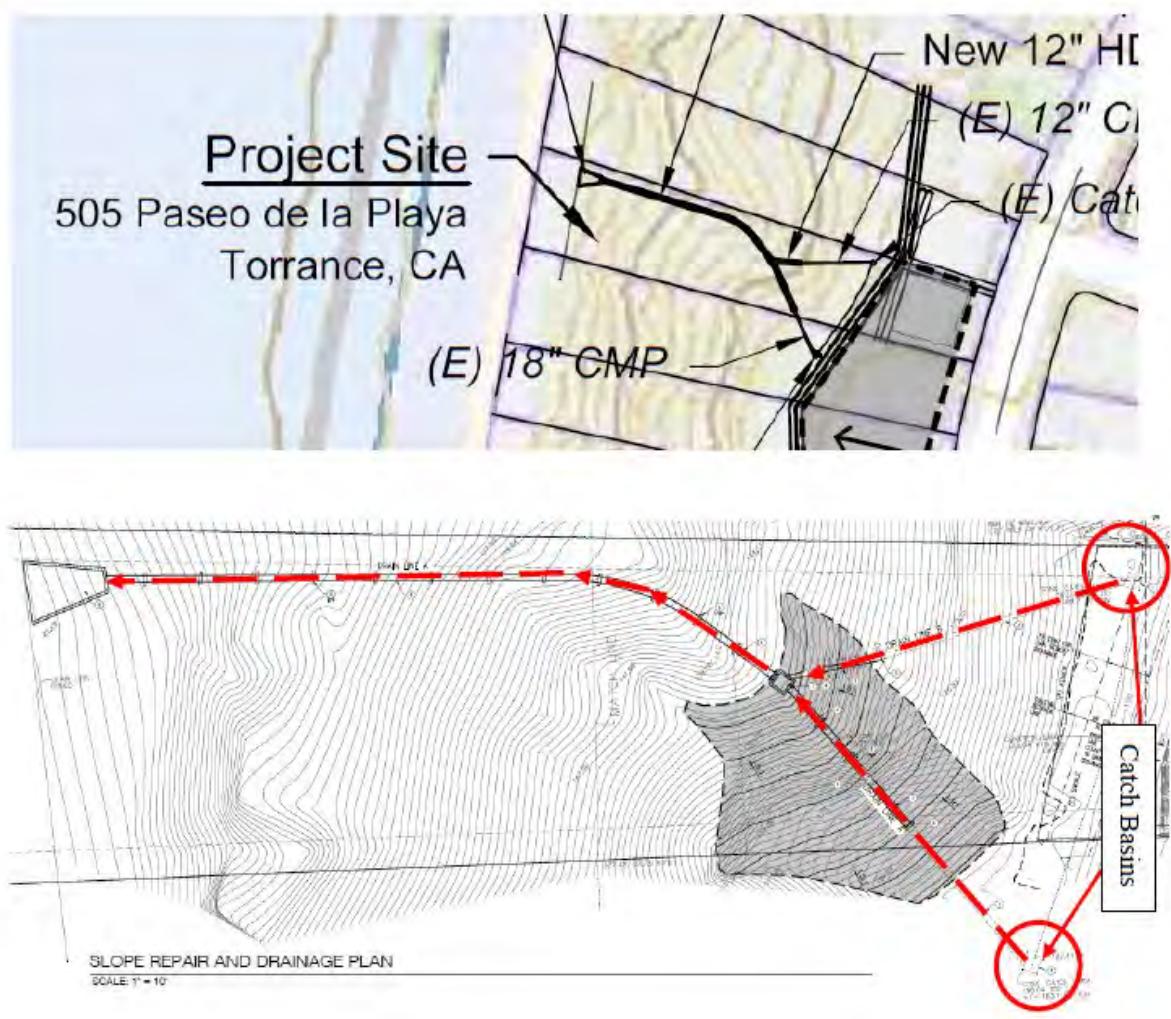
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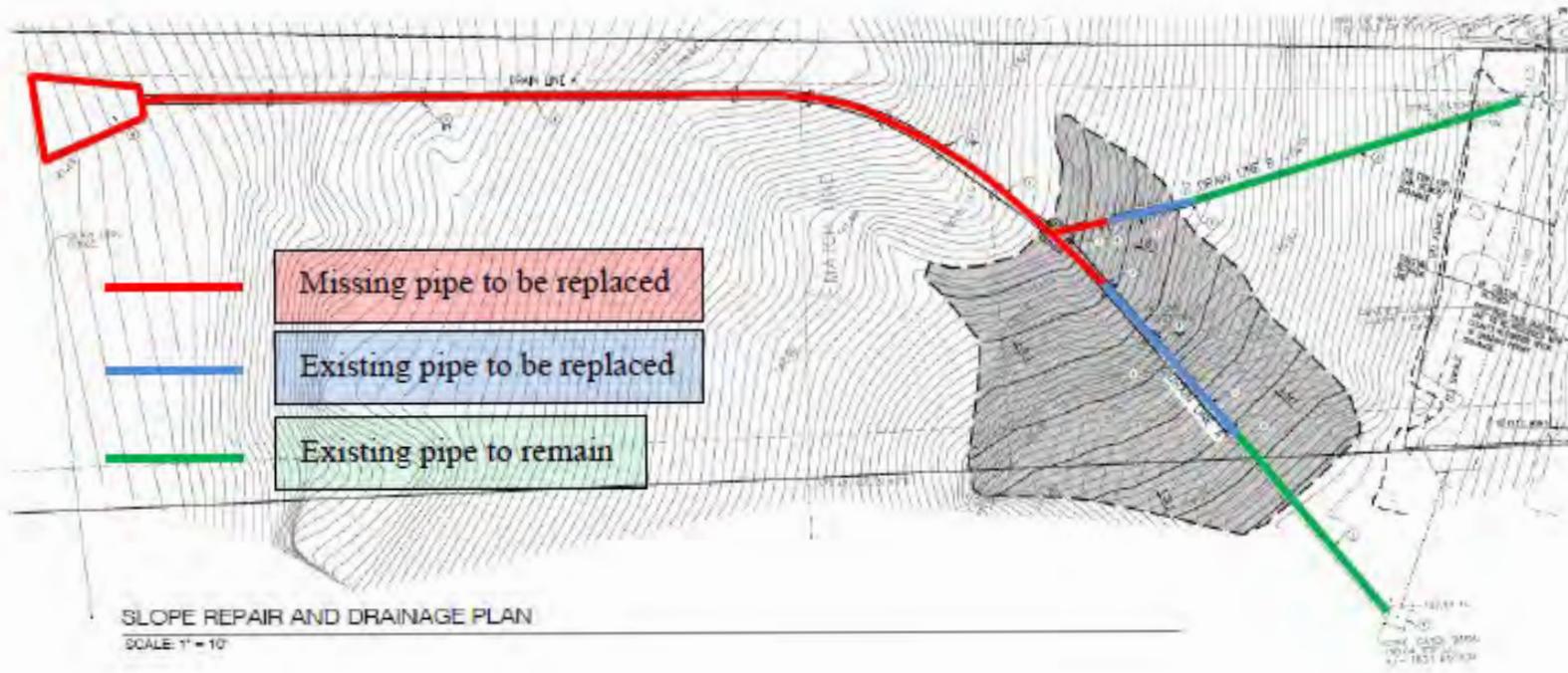
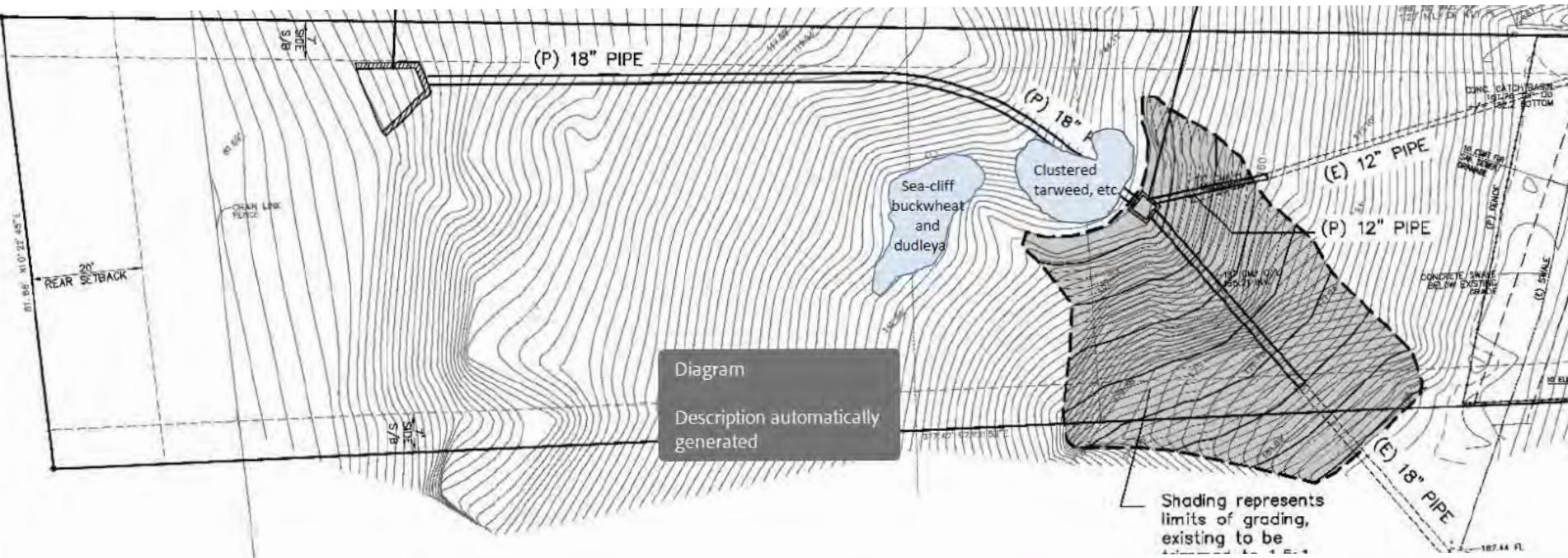


The swale collects run-off from 18 of the bluff-top lots, as shown in Figure 2.

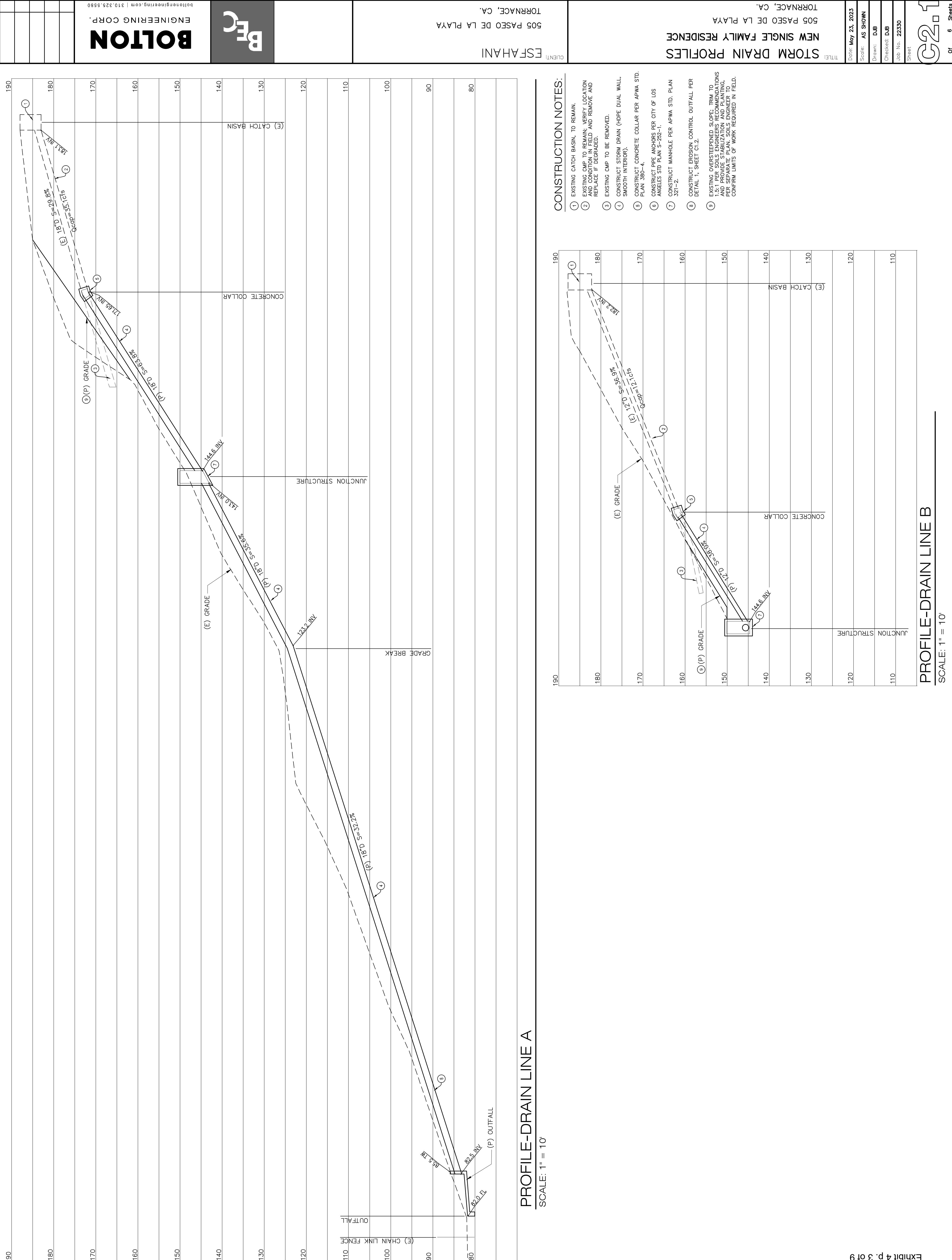
Figure 3, there are two catch basins that collect the water from the swale near the north end of the bluff. The catch basins connect to corrugated metal pipes (CMP) that are designed to channel the water to the toe of the bluff.

Figure 3

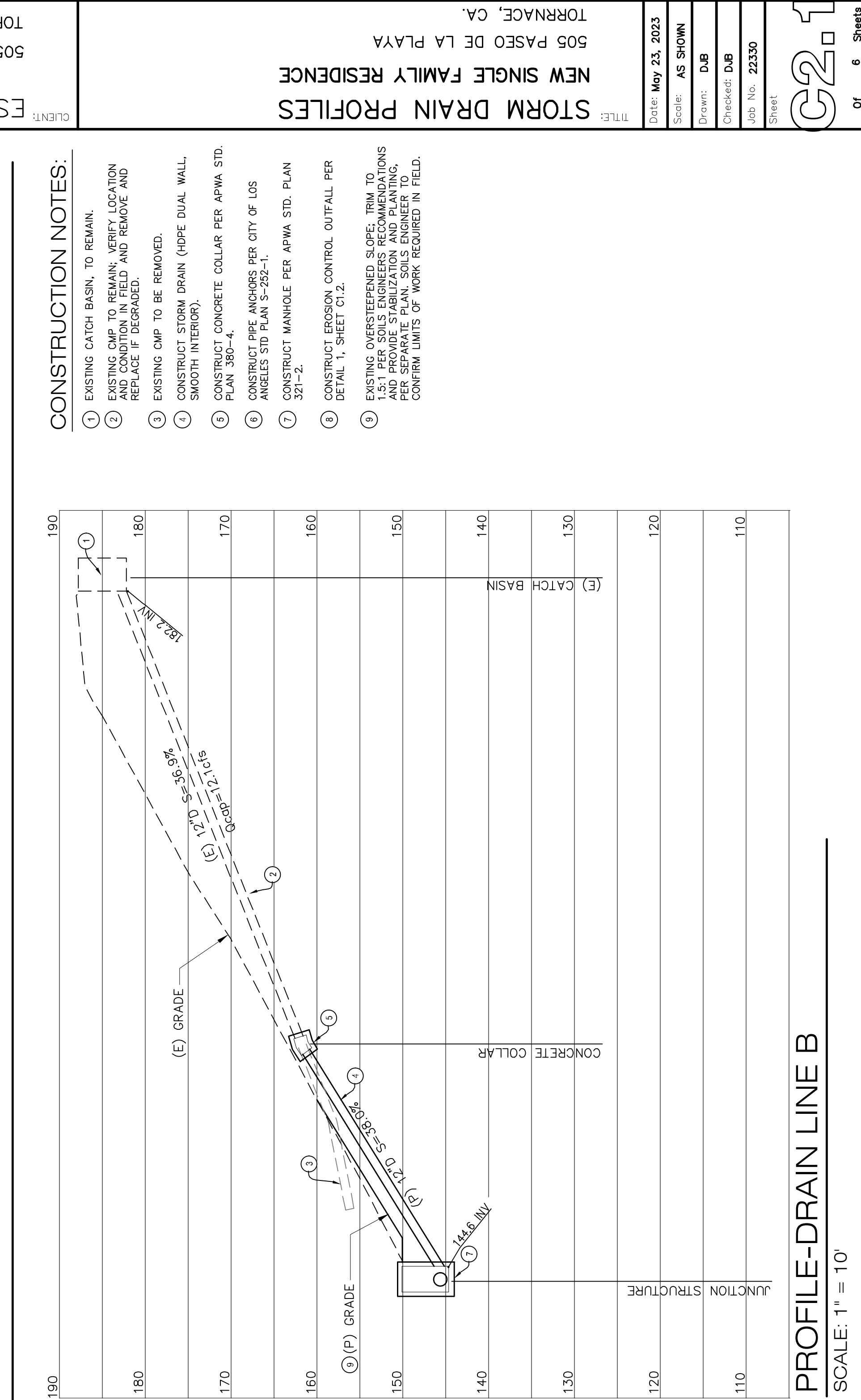




California Coastal Commission CDP
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Exhibit 4 p. 2 of 9



CDP 5-23-0346
California Coastal Commission
Exhibit 4 p. 3 of 9

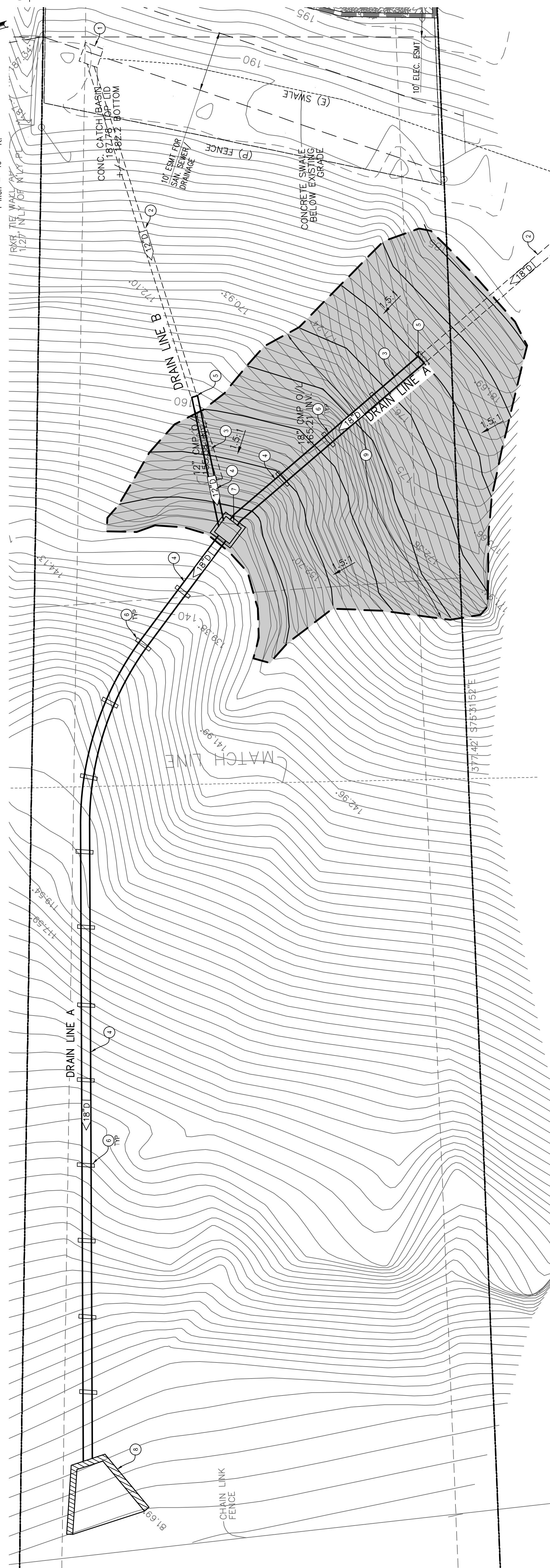


Date May 25, 2023
Scale: AS SHOWN
Drawn: D.B
Checked: D.B
Job No. 22230
Sheet 6 of 6



OVERVIEW | SITE PI AN

CCAI 1991 - 16



OPEN SOURCE DBA MANAGEMENT

SCAI E·1" = 10'

TORI

4

AGE PLAN

OBRAZCE CA

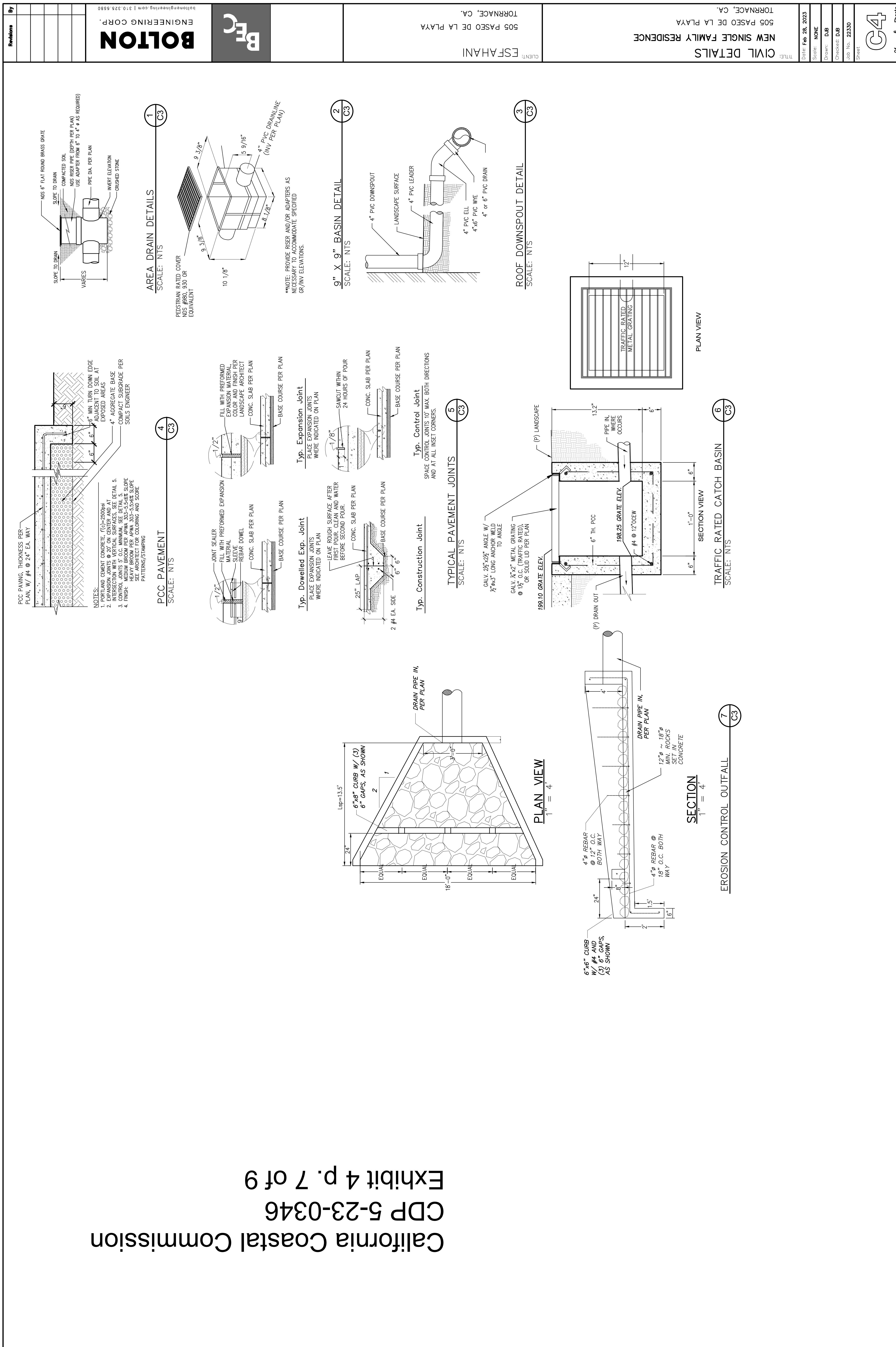
1

1

CONSTRUCTION NOTES:

- XISTING CATCH BASIN, TO REMAIN.
 - XISTING CMP TO REMAIN; VERIFY LOCATION AND CONDITION IN FIELD AND REMOVE AND REPLACE IF DEGRADED.
 - XISTING CMP TO BE REMOVED.
 - CONSTRUCT STORM DRAIN (HDPE DUAL WALL, SMOOTH INTERIOR).
 - CONSTRUCT CONCRETE COLLAR PER APWA STD. PLAN 380-4.
 - CONSTRUCT PIPE ANCHORS PER CITY OF LOS ANGELES STD PLAN S-252-1.
 - CONSTRUCT MANHOLE PER APWA STD. PLAN 21-2.
 - CONSTRUCT EROSION CONTROL OUTFALL PER DETAIL 1, SHEET C1.2.
 - XISTING OVERSTEEPENER SLOPE; TRIM TO 5:1 PER SOILS ENGINEERS RECOMMENDATIONS AND PROVIDE STABILIZATION AND PLANTING, PER SEPARATE PLAN. SOILS ENGINEER TO

C2



California Coastal Commission

1. IN CASE OF EMERGENCY, CALL _____ AT _____
2. TOTAL DISTURBED AREA: _____
3. WDID #: (pending) RISK LEVEL 1 2 3 (circle one as determined by State General Permit for sites greater than 1 acre).
4. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1ST TO APRIL 30TH). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
5. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
6. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
7. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
8. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
9. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
10. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN OCTOBER 1ST TO APRIL 30TH OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
11. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OR STATE OFFICIAL.
12. EVERY EFFORT OR STATE SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.
13. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
14. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
15. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
16. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPS ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
17. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
18. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
19. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
20. AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPS TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPS MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPS NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY.”

SECTION A-A

ENTIRE SITE - APPLY WIND EROSION CONTROL MEASURES PER WE-1.

2 STORM DRAIN INLET PROTECTION DETAIL

SCALE: NOT TO SCALE

5 PLACE GRAVEL BAG INLET PROTECTION PER SE-10.

6 PRESERVE EXISTING DRIVEWAY AS CONSTRUCTION ENTRANCE; PROVIDE TRACKING CONTROL AS NEEDED PER TCI.

7 INSTALL SILT/CONSTRUCTION FENCE FOR THE PERIMETER OF THE CONSTRUCTION SITE PER SE-1.

8 DAILY STREET SWEEPING AND VACUUMING PER SE-7

EROSION AND SEDIMENT CONTROL PLAN

ENTIRE PROTECTION TYPE 1

LA PLATE

EXISTING TWO STORY STICK COTTAGE

SECTION A-A

SECTION A-A

ENTIRE SITE - APPLY WIND EROSION CONTROL MEASURES PER WE-1.

2 STORM DRAIN INLET PROTECTION DETAIL

SCALE: NOT TO SCALE

5 PLACE GRAVEL BAG INLET PROTECTION PER SE-10.

6 PRESERVE EXISTING DRIVEWAY AS CONSTRUCTION ENTRANCE; PROVIDE TRACKING CONTROL AS NEEDED PER TCI.

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8 DAILY STREET SWEEPING AND VACUUMING PER SE-7

EROSION AND SEDIMENT CONTROL PLAN

ENTIRE PROTECTION TYPE 1

LA PLATE

EXISTING TWO STORY STICK COTTAGE

SECTION A-A





Existing Condition: Exposed Broken Corrugated Metal Pipe with Temporary Pipe in Place in Eroded Gully