

## CALIFORNIA COASTAL COMMISSION

South Coast Area Office  
301 E. Ocean Blvd., Suite 300  
Long Beach, CA 90802-4302  
(562) 590-5071



# W13b

**A-5-VEN-20-0054 (GEICKE)**

**JUNE 11, 2024**

**EX PARTE FORMS**

## EX PARTE COMMUNICATION DISCLOSURE FORM

Filed by Commissioner: \_\_\_\_\_

1) Name or description of project: \_\_\_\_\_

2) Date and time of receipt of communication: \_\_\_\_\_

3) Location of communication: \_\_\_\_\_

(If not in person, include the means of communication, e.g., telephone, e-mail, etc.)

4) Identity of person(s) initiating communication: \_\_\_\_\_

5) Identity of person(s) on whose behalf communication was made: \_\_\_\_\_

6) Identity of persons(s) receiving communication: \_\_\_\_\_

7) Identity of all person(s) present during the communication: \_\_\_\_\_

Complete, comprehensive description of communication content (attach complete set of any text or graphic material presented):

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\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Commissioner

**TIMING FOR FILING OF DISCLOSURE FORM:** File this form with the Executive Director within seven (7) days of the ex parte communication, if the communication occurred seven or more days in advance of the Commission hearing on the item that was the subject of the communication. If the communication occurred within seven (7) days of the hearing, provide the information orally on the record of the proceeding and provide the Executive Director with a copy of any written material that was part of the communication. This form may be filed with the Executive Director in addition to the oral disclosure.

CDP APPLICATION A-5-VEN-20-0054

APPLICANT: HJG CA LLC

717 E. CALIFORNIA AVE. & 670 E. SANTA CLARA AVE., VENICE

CCC HEARING

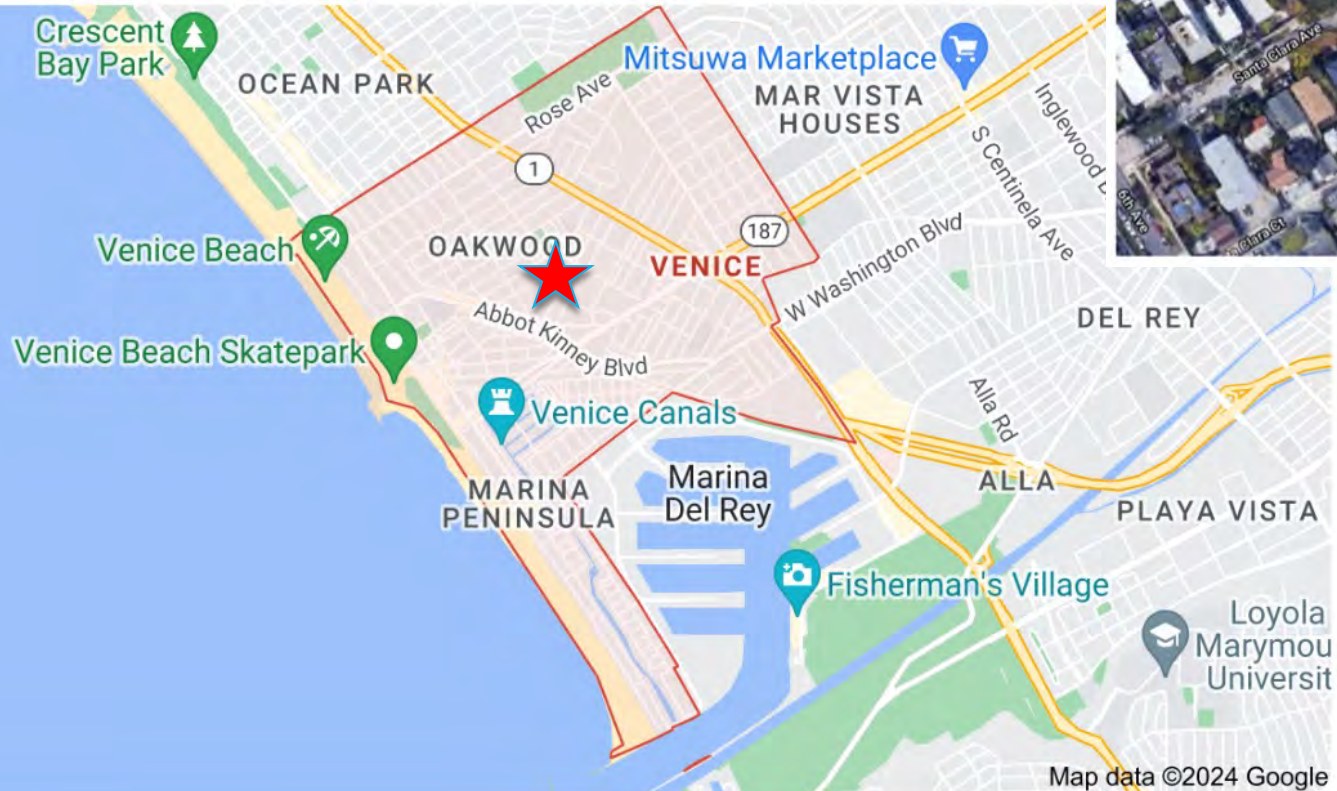
June 12, 2024

ITEM # W13b

*A copy of these briefing materials has been provided to CCC staff.*

# Project Site

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# Project Description

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The applicant is proposing demolition of an existing one-story single-family residence and construction of a two-story, 25-ft. high single-family residence, including 4,274 sq. ft. above-ground living space, 2,445 sq. ft. basement, attached 326 sq. ft. first-floor accessory dwelling unit, attached 450 sq. ft. two-car garage, roof deck with roof access structure, swimming pool, hardscape and landscaping, and approx. 1,600 cy of grading cut on a triangularly shaped 8,207 sq. ft. lot over ½ mile inland of the beach.



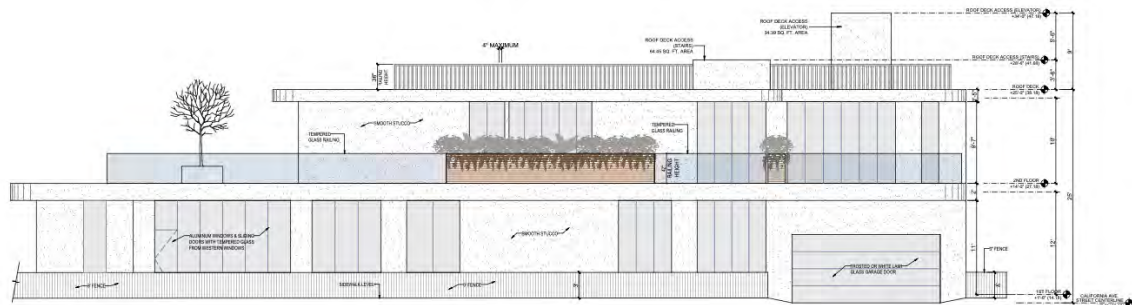
# Permitting History

4

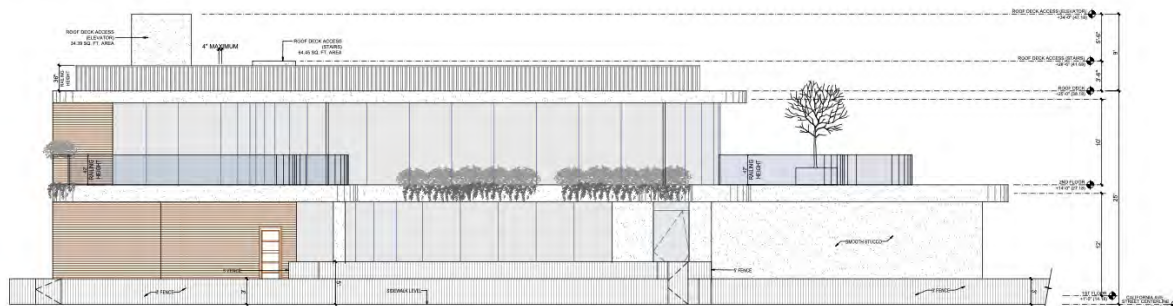
- July 20, 2020: City of Los Angeles Approval
- Sept. 2020 : Appeals Filed
- Nov. 4, 2020: Substantial Issue Found
- Nov. 2020-present: Coordination with CCC staff; project revisions
- June 12, 2024: De Novo Hearing

# Elevations

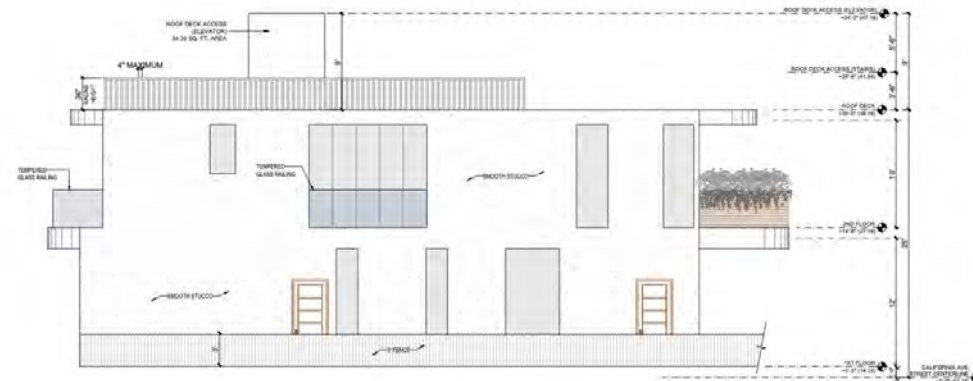
5



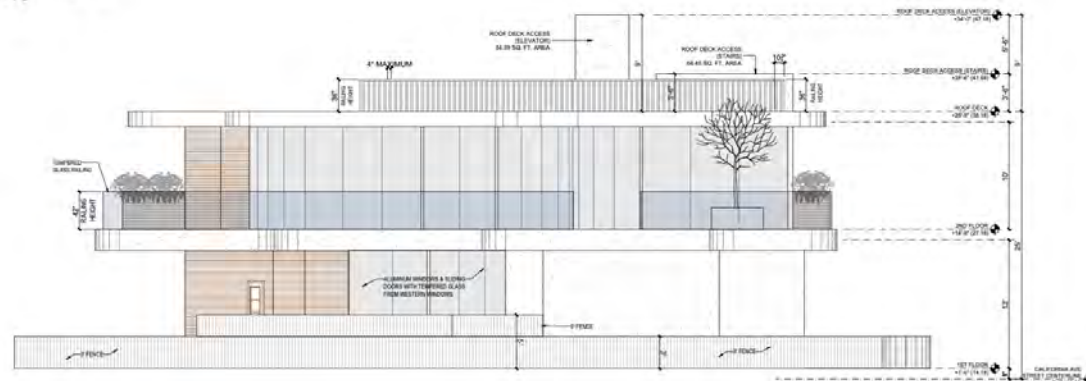
2 NORTH ELEVATION  
SCALE 3/16" = 1'-0"



1 SOUTH ELEVATION  
SCALE 3/16" = 1'-0"



2 WEST ELEVATION  
SCALE 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE 1/4" = 1'-0"

# Revisions to Project

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- Applicant worked closely with CCC staff to revise project to ensure consistency with character of surrounding area.
- Changes to project since SI hearing include:
  - Addition of ADU on ground floor
  - Increased setbacks on California Ave and Santa Clara Ave
  - Reduction in perimeter fence height to 3'
  - Decreased overall above-grade mass and scale
  - Addition of substantial vegetative screening
- Staff conducted an extensive community character analysis and concluded project is consistent with Venice LUP and Coastal Act.



# Community Character Consistency

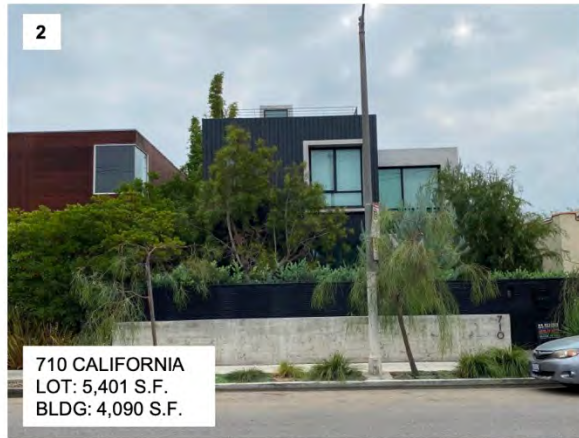
7

*“As proposed and conditioned, the project will be compatible with the character and scale of the surrounding area and will minimize impacts to visual resources and community character consistent with sections 30251 and 30253(e) of the Coastal Act and the certified Venice LUP.*

*The Commission acknowledges the trend of houses getting larger; however, community character is not defined solely on the size of structures. The Commission uses the LUP to guide decisions regarding mass and scale, appropriate to the community. Here, the Commission finds that with the increased setbacks, articulation, and landscaping, the proposed project is consistent with the LUP, and thus, the community character as contemplated by the LUP.”*

# Eclectic Community Character

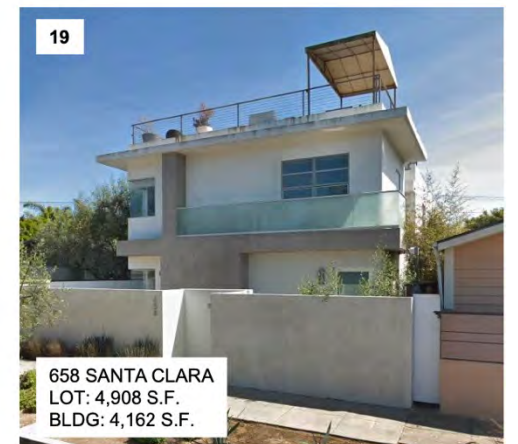
8





# Eclectic Community Character

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# Visual Simulation w/Proposed Vegetation

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View of residence from California Avenue



# Visual Simulation w/Proposed Vegetation

11



View of residence from Santa Clara Avenue



# Visual Simulation w/Existing and Proposed Vegetation

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# Support of Staff Recommendation

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- Staff recommending approval with eight (8) special conditions, including:
  - 1) Submittal of Final Plans;
  - 2) Acknowledgement that Future Development Requires a Permit;
  - 3) Compliance with Local Government Approval;
  - 4) Construction Best Management Practices;
  - 5) Protection of Archaeological and Tribal Cultural Resources;
  - 6) Assumption of Risk, Waiver of Liability and Indemnity;
  - 7) Development Removal if Threatened by Coastal Hazard; and
  - 8) Recordation of a Deed Restriction

The applicant supports the Staff Recommendation.