

Exhibit 1 Project Location

717 E. California Avenue & 670 E. Santa Clara Avenue, Venice, Los Angeles, Los Angeles County (APN: 06037-4239029001)

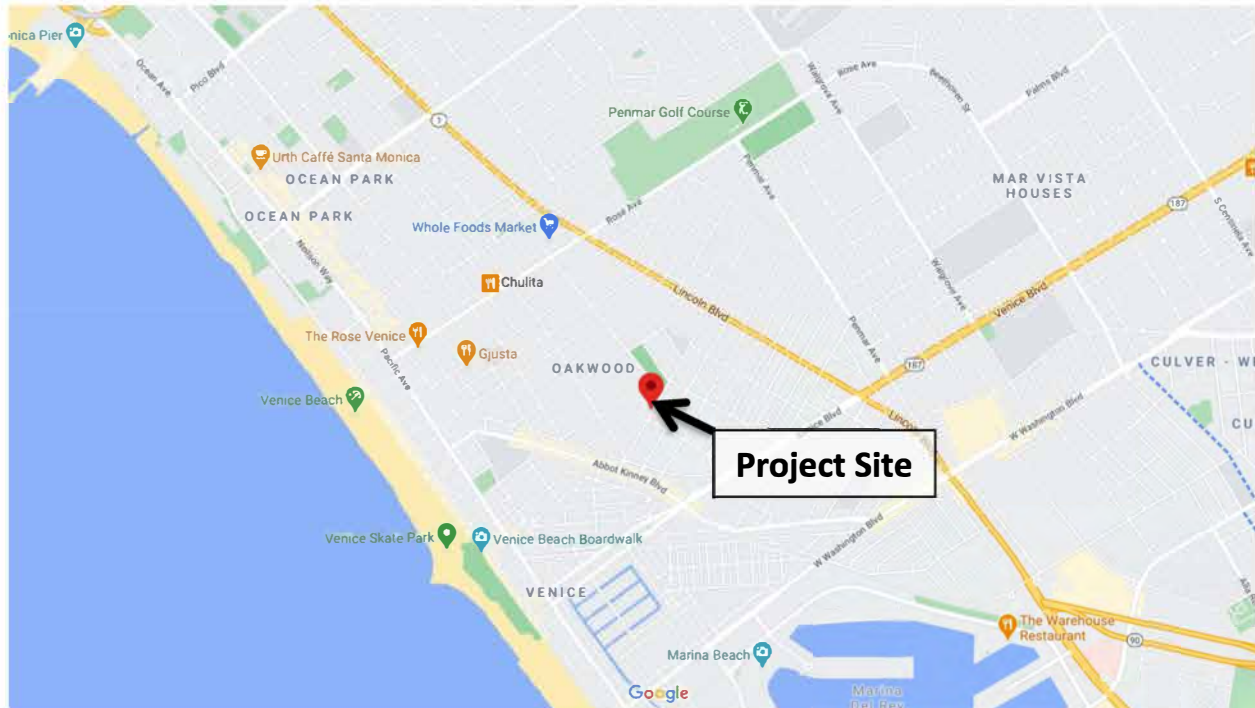




Exhibit 2 City Approved Plans

717 CALIFORNIA AVE

LOS ANGELES, CA 90291

VICINITY MAP

PROJECT TEAM

OWNER	HUG CAL LLC 717 CALIFORNIA AVE LOS ANGELES CA 90291 P. 808 284-0386 E. RACHEL@SHOWMONEY.COM
ARCHITECTURAL DESIGN	ARCHIVE DESIGN GROUP LLC 322 WILSHIRE BLVD #214 LOS ANGELES, CA 90058 P. 313 283-7614 E. MATTHEW@ARCHIVEDESIGNGROUP.COM
SURVEYORS	MAG CIVIL ENG. & LAND SURVEYING 347 S. ROBERTSON BLVD. BEVERLY HILLS, CA 90211 P. 310 458-0571 E. INFO@MAGLANDSURV.COM
SOILS ENGINEERS	RALPH STONE & CO. SOILS ENG. & ENG. GEO. 15564 SANTA MONICA BLVD LOS ANGELES, CA 90058 P. 310 478-1501 RSTONECO@GMAIL.COM

717 CALIFORNIA AVE.
VENICE, CA 90291

New residential construction where landscape irrigation water is planned, a water budget shall be developed that conforms to local and landscape ordinance or the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), which ever is more stringent.

Prior to final inspection, the licensed contractor, architect, or engineer in responsible charge of the overall construction must provide, to the building department, official written verification that all applicable revisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

Compliance with the documentation requirements of the 2016 Energy Efficiency Standards is necessary for this project. Registered, signed, and dated copies of the appropriate CFIR, CF2R, and CF3R forms shall be made available at necessary intervals for Building Inspector review. Final completed forms will be available for the building owner.

All Plans Shall Comply with:
2016 California Building Standards Code Includes:

Part 1, 2016 ADMINISTRATIVE CODE
Part 2, 2016 California Building Code (CBC)
Part 2.5, 2016 California Residential Code (CRC)
Part 3, 2016 California Electrical Code (CEC)
Part 4, 2016 California Mechanical Code (CMC)
Part 5, 2016 California Plumbing Code (CPC)
Part 6, 2016 California Energy Code (CEC)
Part 9, 2016 California Fire Code (CFC)
Part 10, 2016 California Existing Building Code
Part 11, 2016 California Green Building Standards Code (CGBC)

2017 Los Angeles City Green Building Code
2017 Los Angeles Building Code (LABC)
2017 Los Angeles Residential Code (LARC)

A licensed engineer or surveyor shall stake the property corners of the subject lot. At the time of the underground plumbing inspection, and prior to calling for any footing inspections for these projects, the contractor shall provide string lines along the property lines adjacent to the proposed wall lines of the new construction

SQUARE FOOTAGE CALCS:

BASEMENT:	1756 SQ. FT. (INTERIOR)
	96 SQ. FT. (STORAGE)
	60 SQ. FT. (STAIR)
	30 SQ. FT. (ELEVATOR)
LEVEL 1:	475 SQ. FT. (GARAGE)
	2,782 SQ. FT. (INTERIOR)
	30 SQ. FT. (ELEVATOR)
	16 SQ. FT. (STAIR)
LEVEL 2:	1,990 SQ. FT. (INTERIOR)
	30 SQ. FT. (ELEVATOR)
	120 SQ. FT. (STAIR)
	107 SQ. FT. (DECK SPACE)
ROOF DECK:	820 SQ. FT.
EXEMPTIONS:	
BASEMENT:	96 SQ. FT. (STORAGE)
	60 SQ. FT. (STAIR)
	30 SQ. FT. (ELEVATOR)
LEVEL 1:	475 SQ. FT. (GARAGE)
	30 SQ. FT. (ELEVATOR)
	16 SQ. FT. (STAIR)
LEVEL 2:	30 SQ. FT. (ELEVATOR)
	120 SQ. FT. (STAIR)
	107 SQ. FT. (DECK SPACE)
ROOF DECK:	820 SQ. FT.
TOTAL EXEMPTIONS:	2884 SQ. FT.
TOTAL NET SQ. FT.:	6,526 SQ. FT.
MAX. FLOOR RATIO (FAR)	3.1

PROJECT DESCRIPTION

SINGLE FAMILY RESIDENCE

LOT AREA: 6,206.7 SQ. FT.
SFR AREA PER ZONING CODE:
SFR AREA PER LAUSD:

TYPE V-B CONSTRUCTION

MAX. HEIGHT: 29' FLAT ROOF + 10' 100 SQ. FT. ROOF ACCESS

FIRE ZONE: NON-WFHSE

ZONING: RQ (5-)

PARKING: 2 SPACES REQUIRES, 4 SPACES PROPOSED

HEIGHT FROM LOWEST ADJACENT GRADE:
HEIGHT FROM GRADE PLAN:
HEIGHT FROM STREET CENTERLINE: 25'-0"

THE PROPOSED SINGLE FAMILY RESIDENCE CONSISTS OF 6 BEDROOMS, 6.5 BATHROOMS, AND ROOF DECK. THERE IS A ROOF DECK ACCESS THAT IS 9 FEET ABOVE THE HEIGHT LIMIT OF 25 FEET. THE PROPOSED PROJECT ALSO HAS A REDUCED FRONT YARD SETBACK OF 7 FEET ALONG SANTA CLARA AVE., AND 9 FEET ALONG CALIFORNIA AVE. THERE IS ALSO A FENCE HEIGHT ADJUSTMENT OF 6 FEET AROUND THE FRONT YARD WITH A PROPOSED POOL AND SPA. THE FENCE HEIGHT ADJUSTMENT ALLOWS FOR THE POOL AND SPA TO BE PLACED IN THE FRONT YARD.

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A-2.1	ELEVATIONS (EAST AND WEST)
A-2.2	FENCE ELEVATIONS
A-3.0	SECTIONS

LEGAL DESCRIPTION:

TRACT: OCEAN PARK VILLA TRACT NO. 2
APN: 4239029001
MAP REFERENCE M B J-48

CALIFORNIA AVE. RESIDENCE
717 CALIFORNIA AVE.
LOS ANGELES, CA 90291

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Case No. DIR-2019-499-CDS-MEL
and SA-2019-501-2AA-F

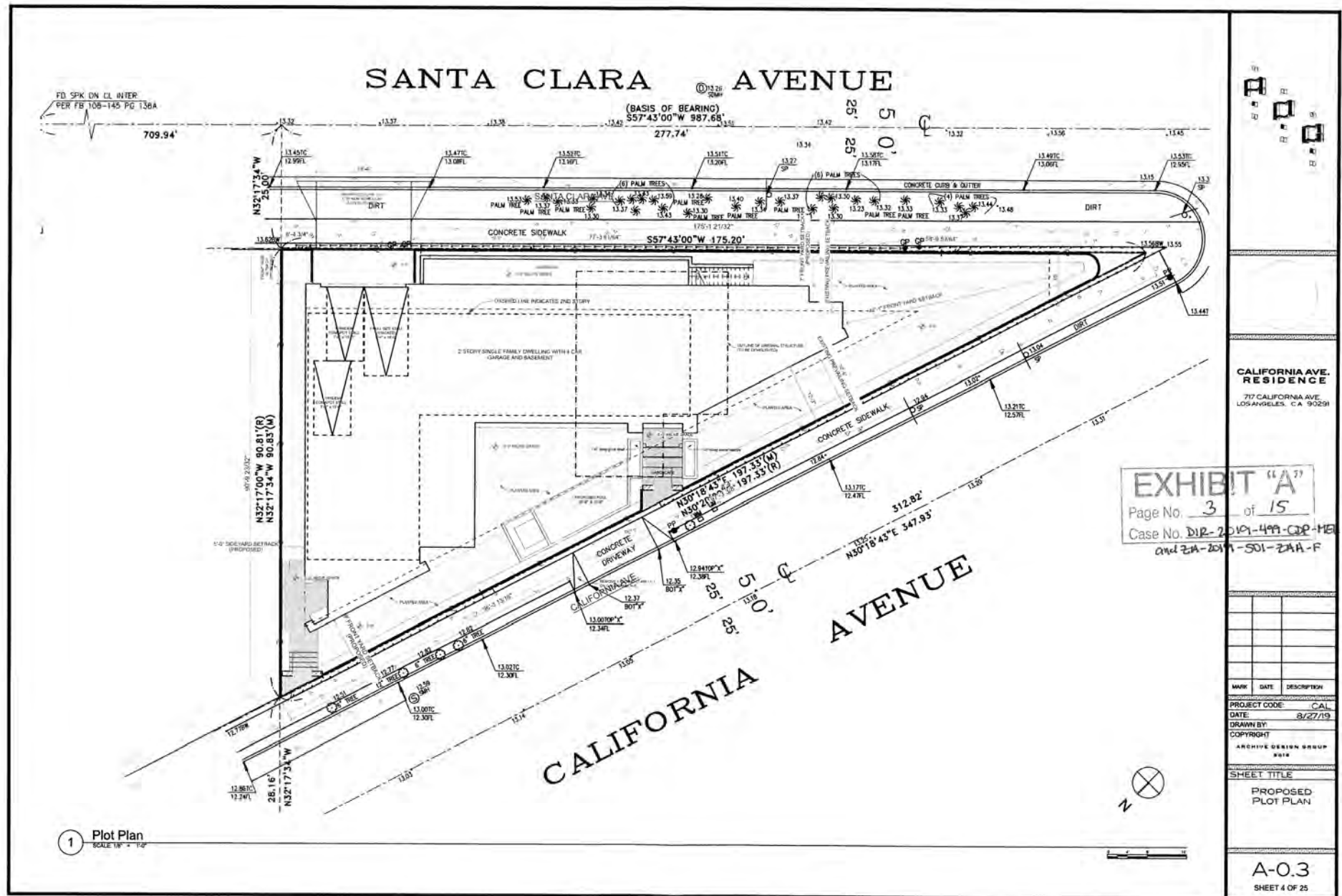
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A-0.0		
SHEET 1 OF 25		

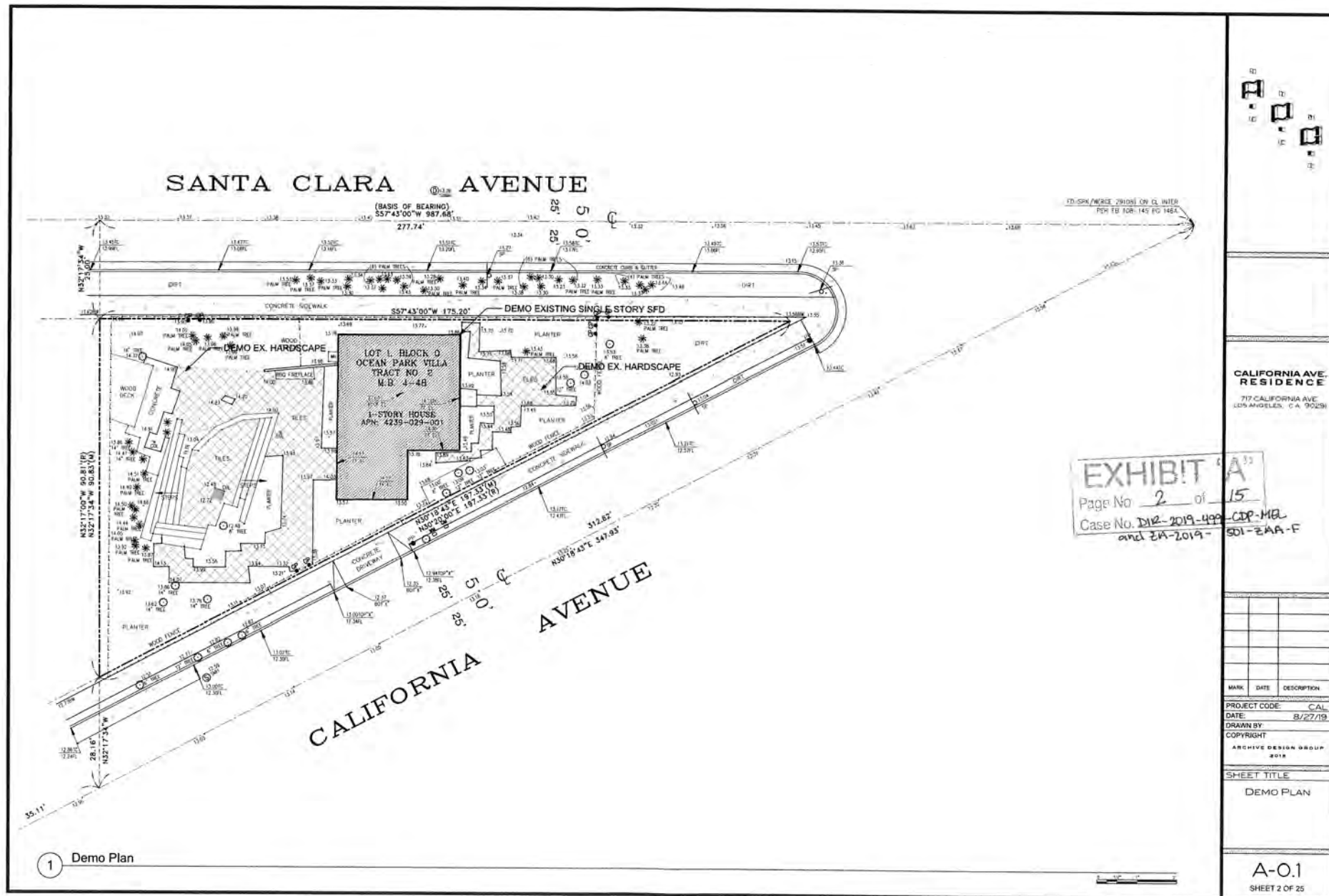
California Coastal Commission

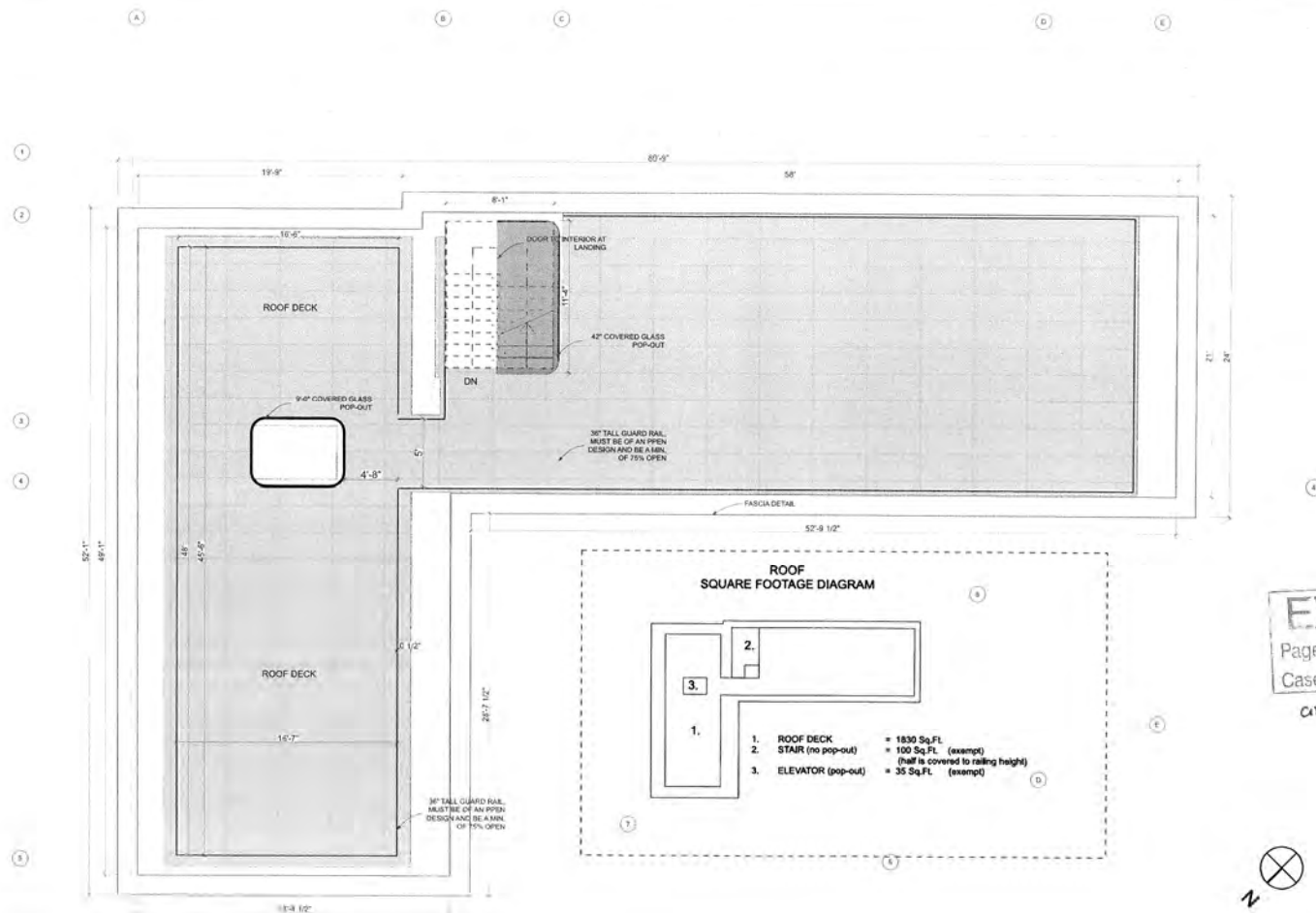
A-5-VEN-20-0054

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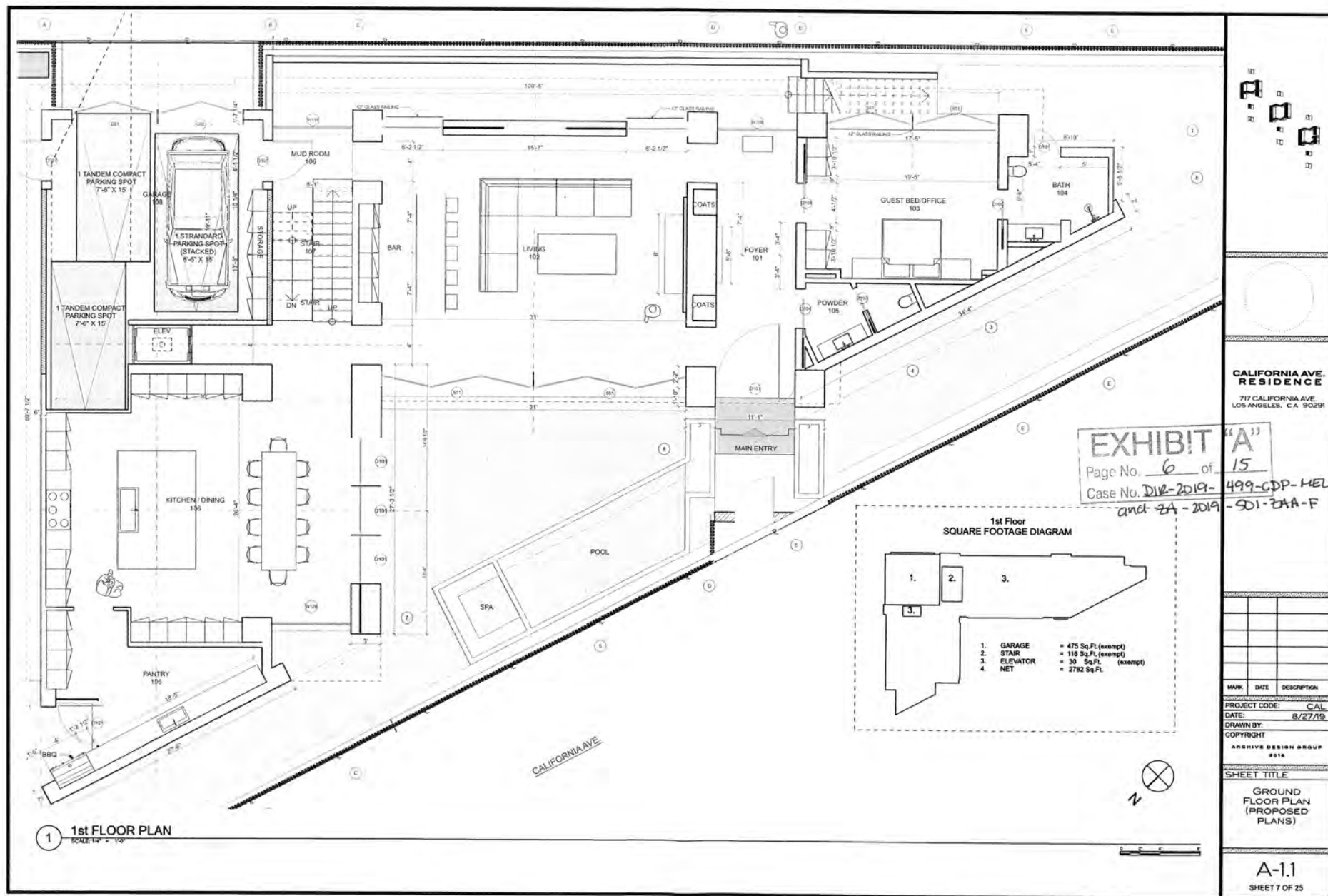
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

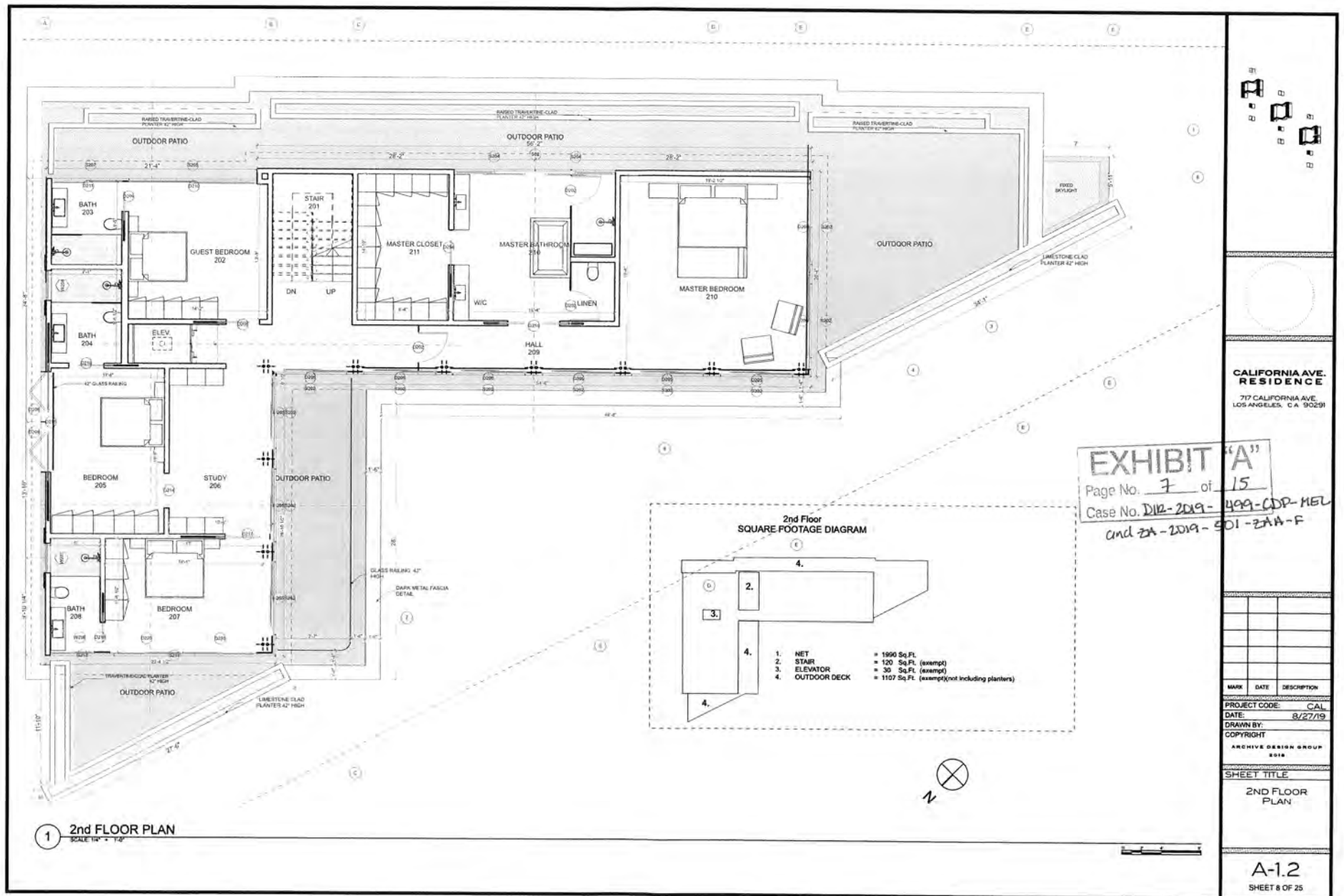


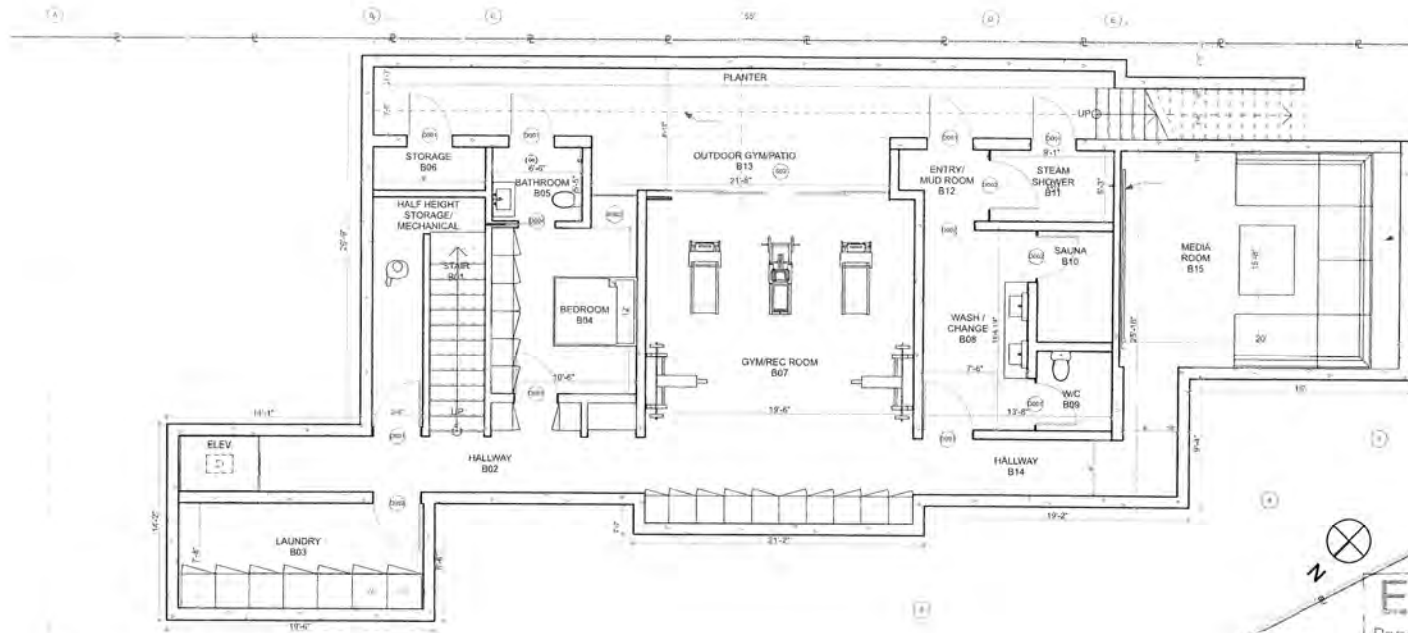
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SHEET TITLE		
ROOF DECK PLAN		
A-1.3		
SHEET 9 OF 25		







1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

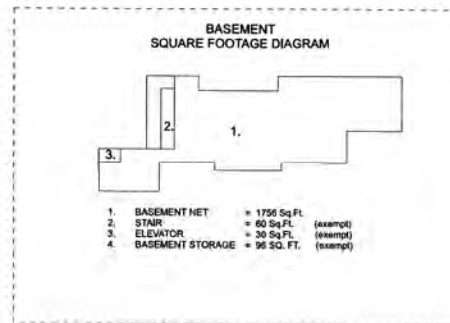


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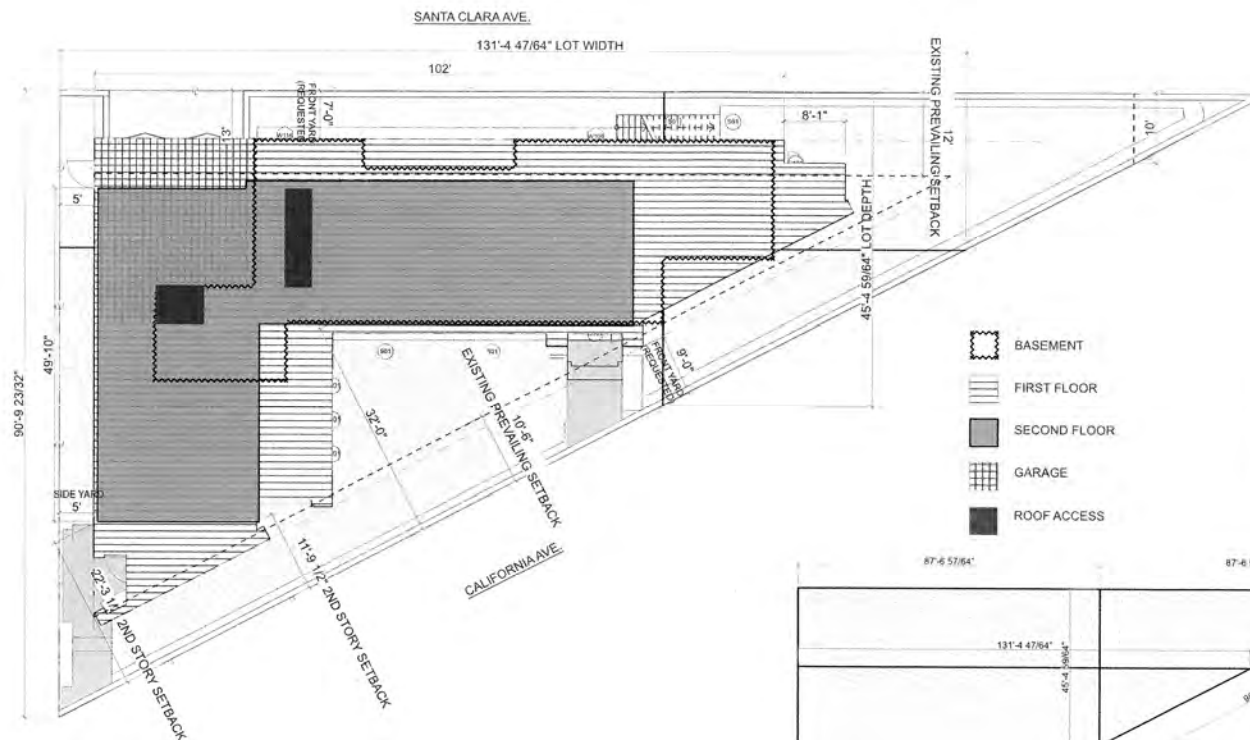
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717 CALIFORNIA AVE.
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2018

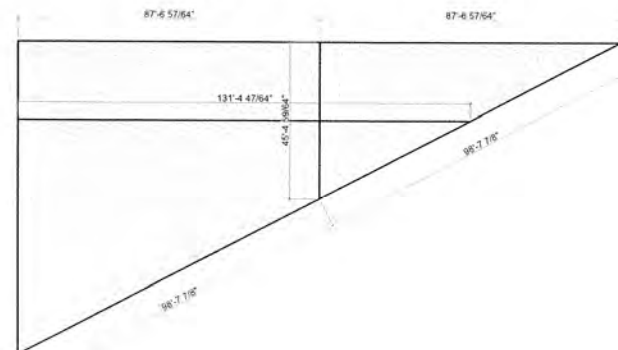
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BASEMENT
PLAN

A-1.4
SHEET 10 OF 25



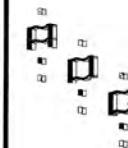
- BASEMENT
- FIRST FLOOR
- SECOND FLOOR
- GARAGE
- ROOF ACCESS

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and 2A-2019-91-2AA-F



1 Setback Diagram
 SCALE 1/8" = 1'-0"

2 Setback Diagram
 SCALE 1/16" = 1'-0"

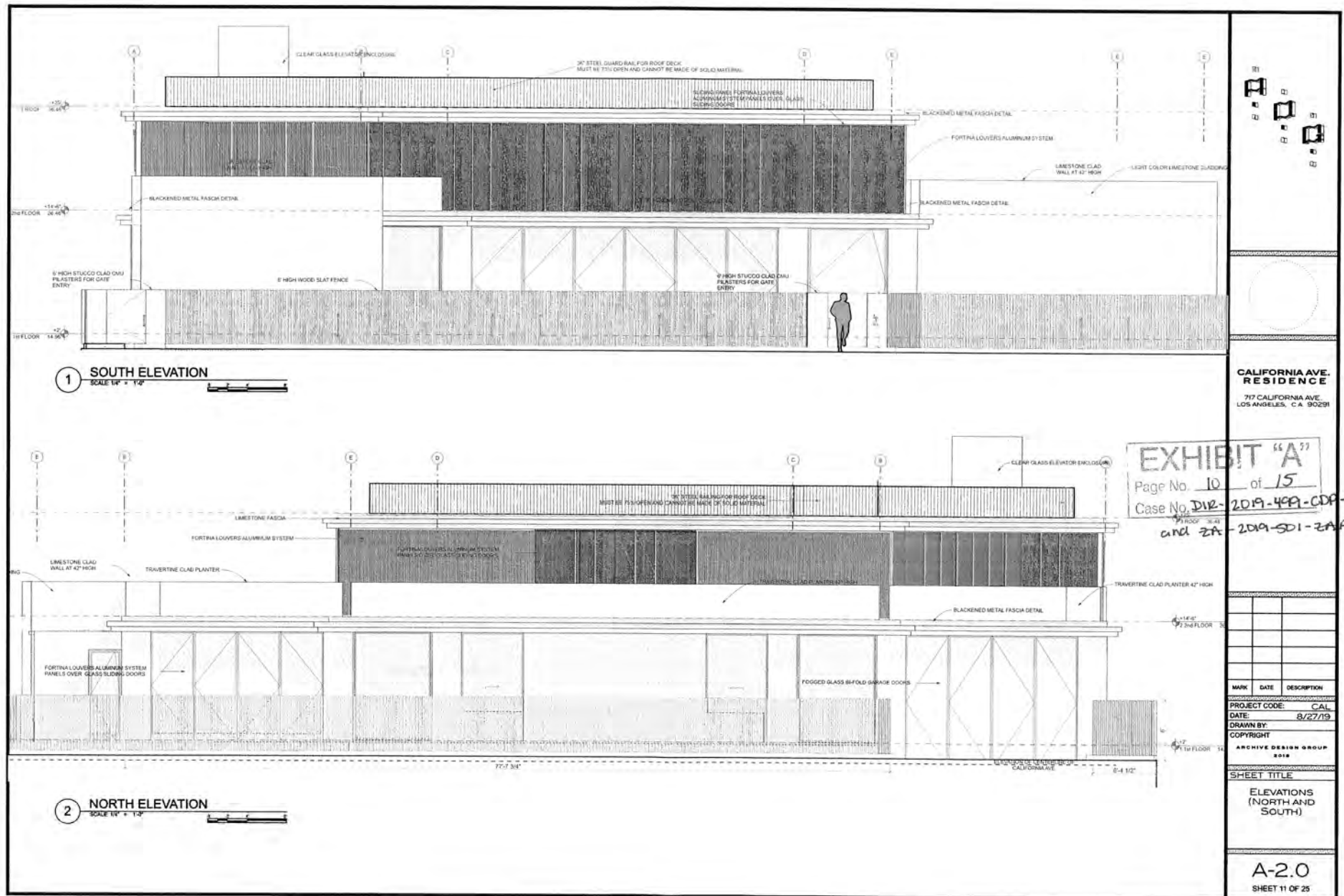


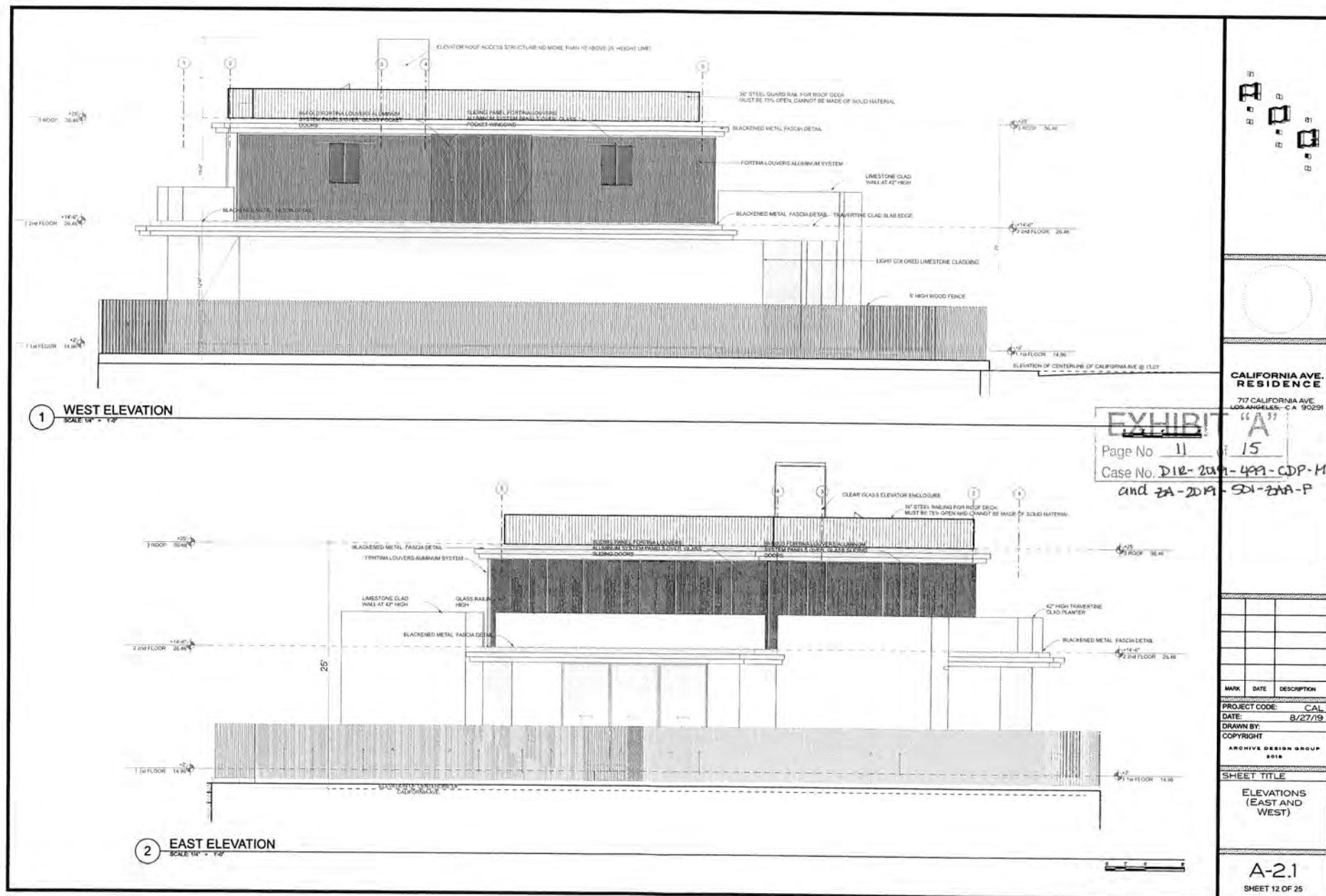
CALIFORNIA AVE. RESIDENCE
 717 CALIFORNIA AVE.
 LOS ANGELES, CA 90291

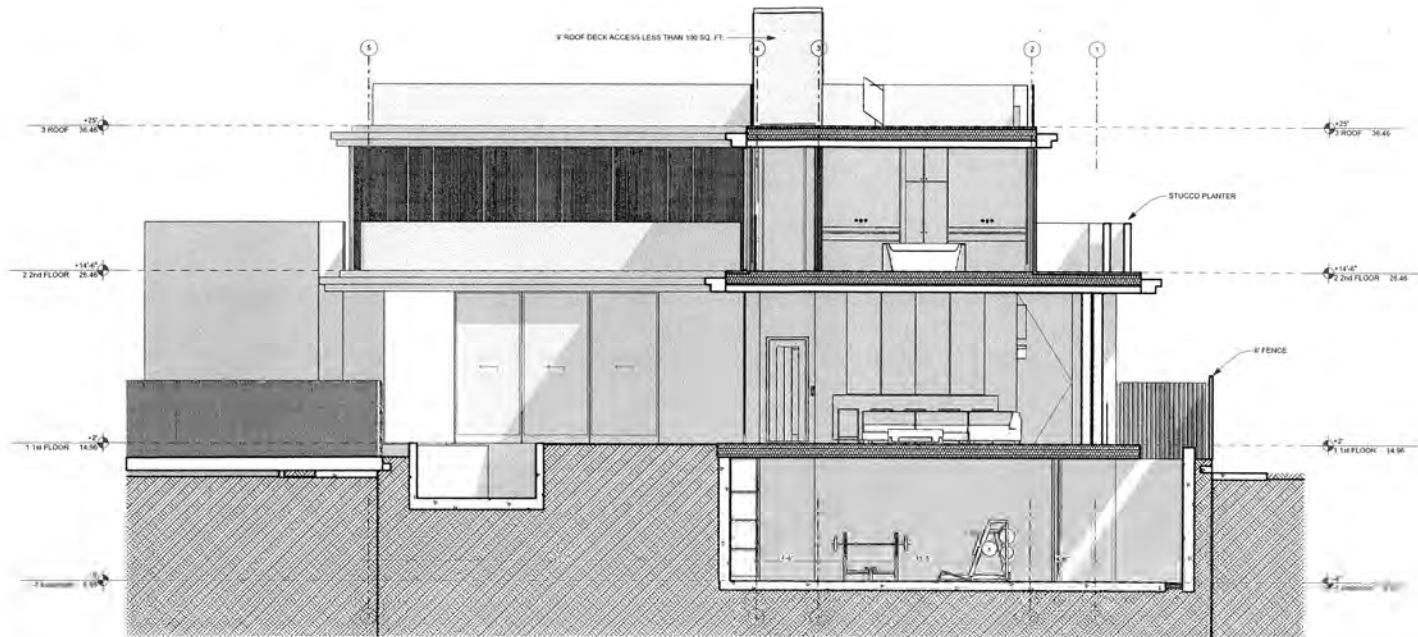
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SHEET TITLE
 SETBACK
 DIAGRAM

A-0.4
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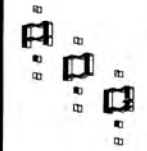




1 SECTION (transverse)
SCALE 1/4" = 1'-0"

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CDP-MEL

and 2A-2019-901-
2A-A-F



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A-3.0

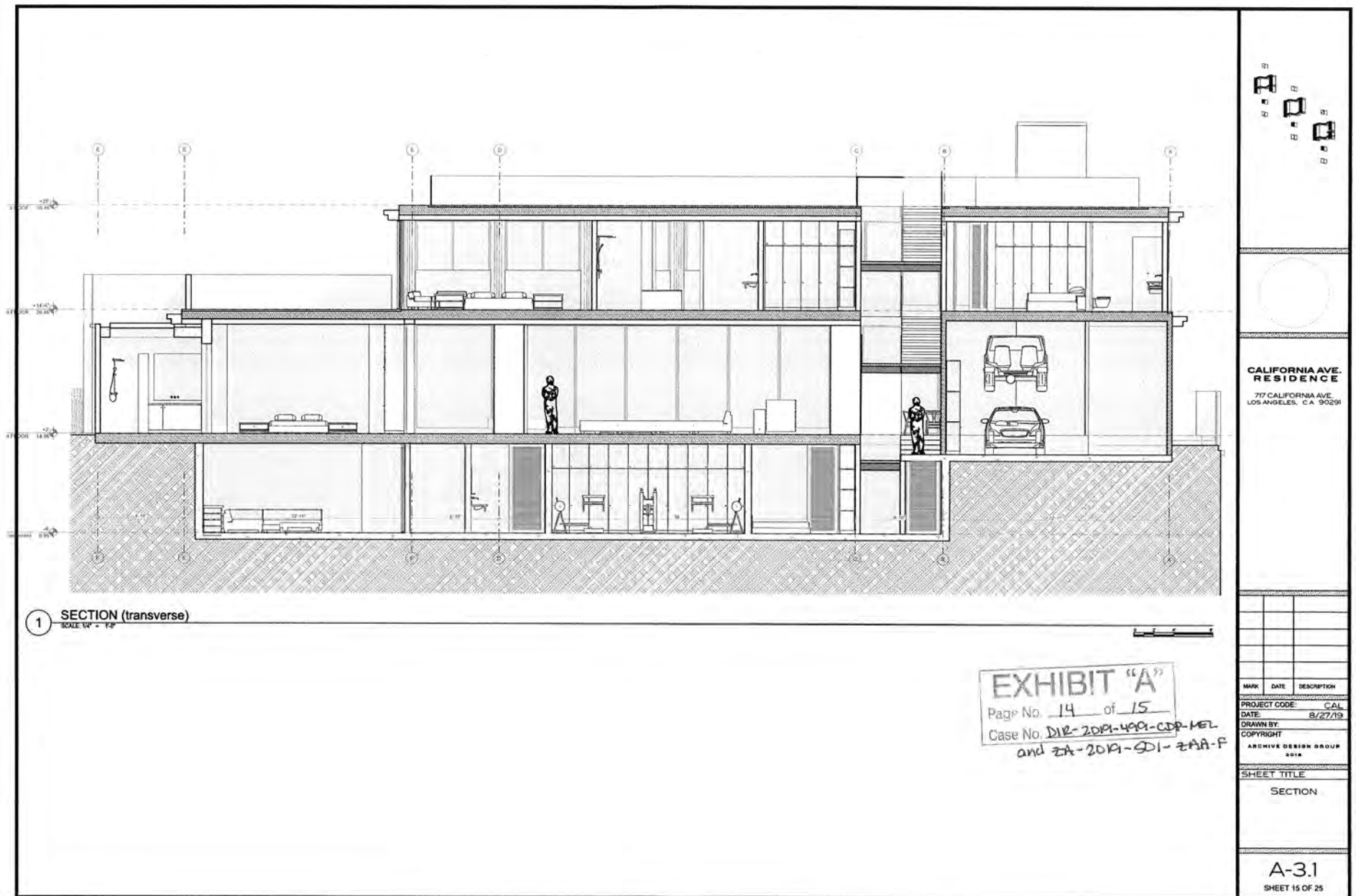
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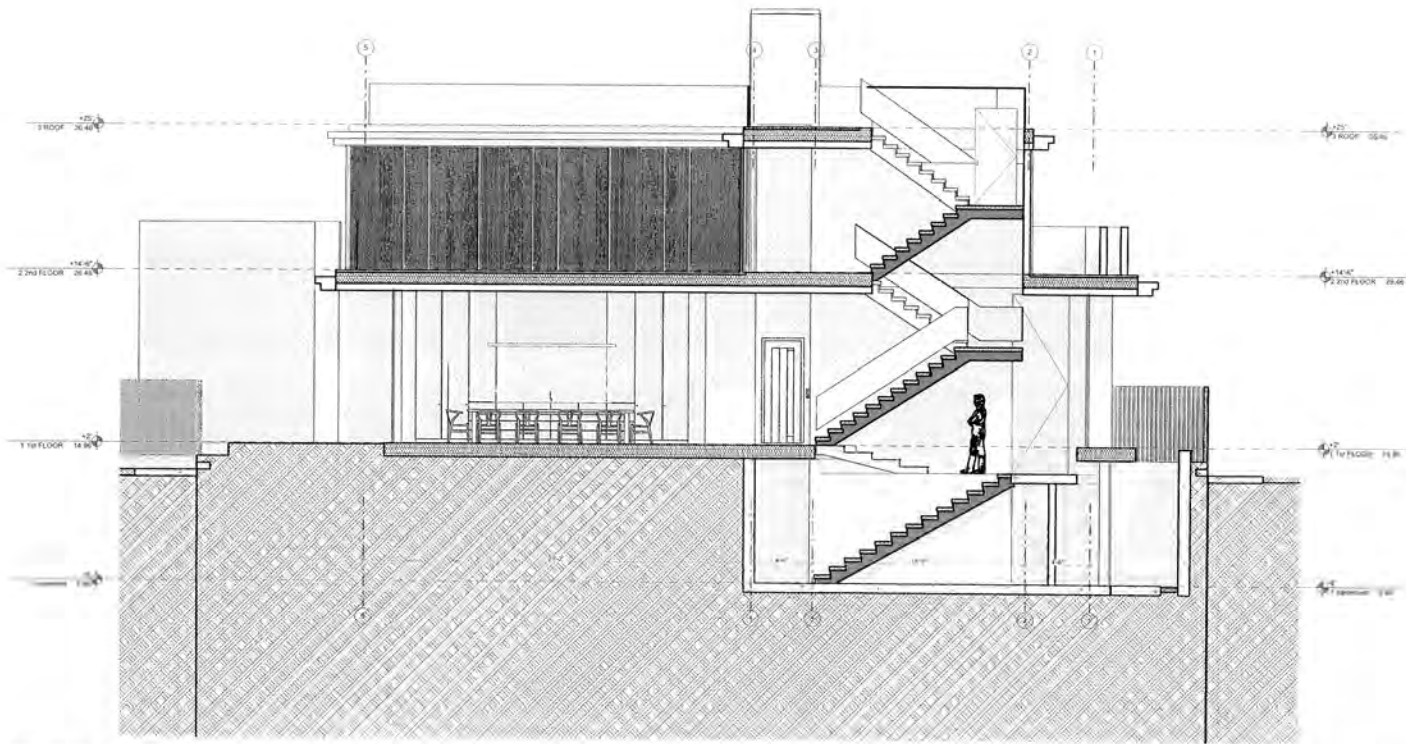
California Coastal Commission

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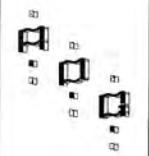




1 SECTION (transverse)
SCALE 1/4" = 1'-0"



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 and 2A-2019-901-2AA-F



**CALIFORNIA AVE.
RESIDENCE**
 717 CALIFORNIA AVE.
 LOS ANGELES, CA 90291

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PROJECT CODE: CAL
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 2019

SHEET TITLE

SECTION

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SHEET 16 OF 25

...nica Pier

A1

CIVIL ENGINEER:
Quynh Nguyen, P.E.
LIC. CA 58595
EXP. 12.31.2018
(310) 966-7370

TOTAL NET SQ.FT.: 6,126 s.f.

Fire Sprinklers Required in accordance with NFPA13D to be approved by Plumbing Div. prior to installation.

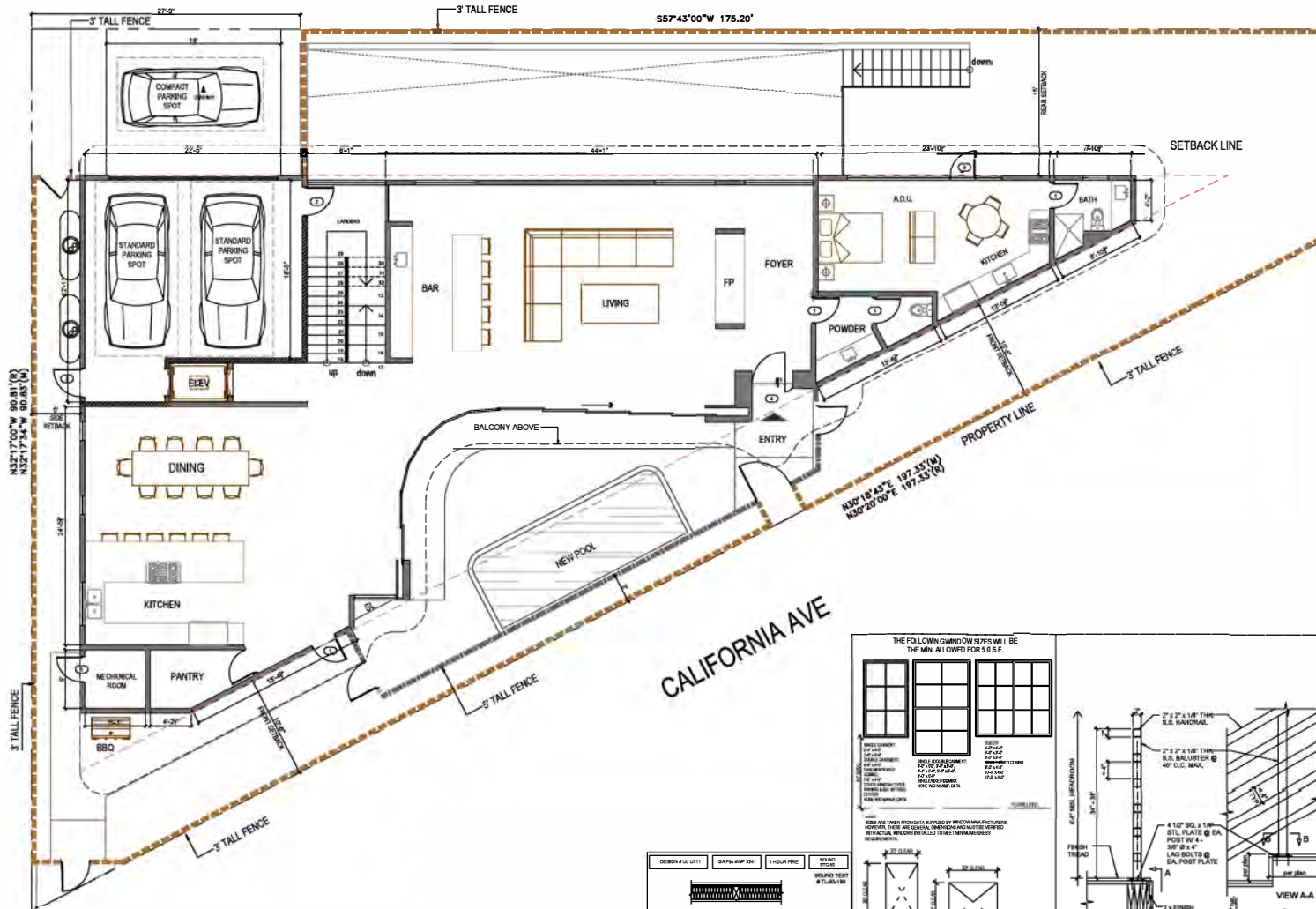
California Coastal Commission

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Exhibit 3

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SANTA CLARA AVE



FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

EXT. 1-HOUR INT. WOOD WALL
SCALE 1/8" = 1'-0"

EMERGENCY ESCAPE/RESCUE OPENING
SCALE 1/8" = 1'-0"

GUARDRAIL DETAIL
SCALE 1/8" = 1'-0"

FLOOR PLAN NOTES:

- APPROVED CARBON MONOXIDE DETECTOR (SENSING ITS PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING AND HAVING BATTERY BACK-UP) SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA OR BEDROOMS, AND ONE ON EVERY LEVEL OF THE DWELLING INCLUDING GARAGES, WHERE MORE THAN ONE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT. THE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL THE ALARMS IN THE UNIT. THE ALARMS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE THE WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THEREAFTER ACCESS THROUGH AN ATTIC, BASEMENT OR CRAWLSPACE. (CFC 806.1)
- NEW OR EXISTING HARD-WIRE FIRE ALARM SHALL APPROVED SMOKE DETECTOR. NEW SMOKE DETECTORS MUST RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERIES. SMOKE DETECTORS SHALL BE MOUNTED ON THE CEILING OR WALL OF EACH EXISTING ROOM USED FOR SLEEPING PURPOSES AND AT A POINT CENTRALLY LOCATED ON THE WALL OR CEILING OF THE EXISTING CORRIDOR OR AREA GIVING ACCESS TO THESE ROOMS. SMOKE DETECTORS SHALL BE LOCATED NO MORE THAN 12 INCHES BELOW THE CEILING OR THE ROOM OR CORRIDOR IN WHICH THE SMOKE DETECTOR IS REQUIRED TO BE INSTALLED. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED ABOVE.
- SHOWERS SHALL HAVE FLOORS AND WALLS FINISHED WITH SMOOTH, HARD NON-ABSORBENT SURFACES SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL TO A HEIGHT OF NOT LESS THAN 18" ABOVE THE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SUCH WALLS SHALL BE OF A TYPE WHICH NOT BE ADVERSELY AFFECTED BY MOISTURE. GLAZING USED IN DOORS AND WINDOWS OF SHOWERS AND BATHS ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. WHEN GLASS IS USED IT SHALL HAVE A MINIMUM THICKNESS OF NOT LESS THAN 1/8 INCH WHEN FULLY TEMPERED, OR 1/4 INCH WHEN LAMINATED AND SHALL PASS THE TEST REQUIREMENTS OF U.S.C. STANDARD NO. 34-2.
- TABLE 4.3.1.3.1. MAXIMUM FLOOR RATIO: 2.0 (MAXIMUM REDUCTION 2.0 @ 10 psf SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE, BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. (S 418 CFC)
- WATER CLOSET SHALL BE LOCATED IN A CLEAR NOT LESS THAN 30 INCHES WIDETH AND HAVE A LEAST SPACED FRONT OF THE WATER CLOSET STALL OF NOT LESS THAN 24 INCHES. ULTRALOW FLUSH.
- TABLE 4.3.1.3.2. MAXIMUM FLOOR RATIO: 2.0 (MAXIMUM REDUCTION 1.5 @ 10 psf)
- PROVIDE MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING 15 CFM PER INTERMITTENT VENTILATION EXHAUSTED DIRECTLY TO THE OUTSIDE. THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST MUST BE EQUIPPED WITH BACKDRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS. SHALL BE ENERGY STAR COMPLIANT. (S 418 CFC)
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 30 TO 80 PERCENT.
- PROVIDE PERMANENTLY ACCESSIBLE (LATCH SQUARE BATHING TRAP ACCESS OR PROVIDE A NONSLIP JOINT TRAP WILL BE USED. (S 404 CFC) PROVIDE A REMOVABLE PANEL FOR THE WHIRLPOOL BATHING TUB. THE PANEL SHALL BE LARGE ENOUGH TO ACCESS AND REMOVE THE TUB. (S 414 CFC)
- ATTIC ACCESS OPENING SHALL NOT BE LESS THAN 22" x 30". THIRTY-FOUR MIN. HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
- ALL EMERGENCY ESCAPE AND RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 S.F. AT GRADE FLOOR ONLY AND 5.7 S.F. MIN. GROSS AREA NET CLEAR. OPENING HEIGHT DIMENSION SHALL BE 20 INCHES. THE MIN. NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED LIGHTSIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- PROVIDE DRY EXIST DIRECTLY TO THE OUTSIDE WITH BACKDRAFT DAMPER. AMIN. EXHAUST DUCT MUST BE PROVIDED. A FLEXIBLE DUCT CANNOT EXTEND MORE THAN 1 FT. AND CANNOT BE CONCEALED OR 1/4" WITHIN WALL OF TWO 1/2" R.F. BLOCKS.
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 30 TO 80 PERCENT.
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (S 303.0).
- PROVIDE 42" HIGH GUARDRAIL WITH 4" MAX. RAILING SPACING.
- PROVIDE TYPE 58" X 20" GYPSUM BOARD AT ALL COMMON WALLS OF GARAGE AND HABITABLE AREA. PROVIDE 2x6 SGA SHEET STEEL DUCT IN GARAGE OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO PENETRATIONS FROM THE DUCTS INTO THE GARAGE. IF AN PENETRATION OCCURS AT ONE HOUR WALL EXTERIOR PROVIDE 5/8" TYPE 20 GP. 30. 4" CEILING AND WALLS 5 UNDER STAIRS.
- OTHER PENETRATIONS OF GARAGE FLOORING CEILING AND WALLS ARE TO BE PROTECTED AS REQUIRED BY SECTION 902.11, ITEM (F) 2.3.3.
- ADVANCED WATERPROOF COATINGS - ADVANCED WATER, L.L.C. CITY R.A. 825480
- AUTOMATIC IRRIGATION SYSTEM CONTROLLER WITH WEATHER CONTROLLER, MANUFACTURER "HYDRALARY" MODEL XCI CONTROLLER SPECIFICATIONS:

General	Zone	8 or 16
Range	Up to 200 feet	
Indoor/Outdoor	Indoor only	
Output per Installation	Unlimited	
Lead Power	CONRAD (250W)	
Output Power	24VAC (80W) 0.75 amps (max)	
Weather Resistant	Compatible with most rain sensors and have a dry contact interface	

KIM GORDON DESIGNS
1118 BERKELEY DR.
MARINA DEL REY, CA 90292
(310) 487-5045

PROJECT ADDRESS

717 CALIFORNIA AVE
VENICE, CA 90291

PROJECT TITLE

NEW TWO STORY
SINGLE FAMILY DWELLING

OWNER

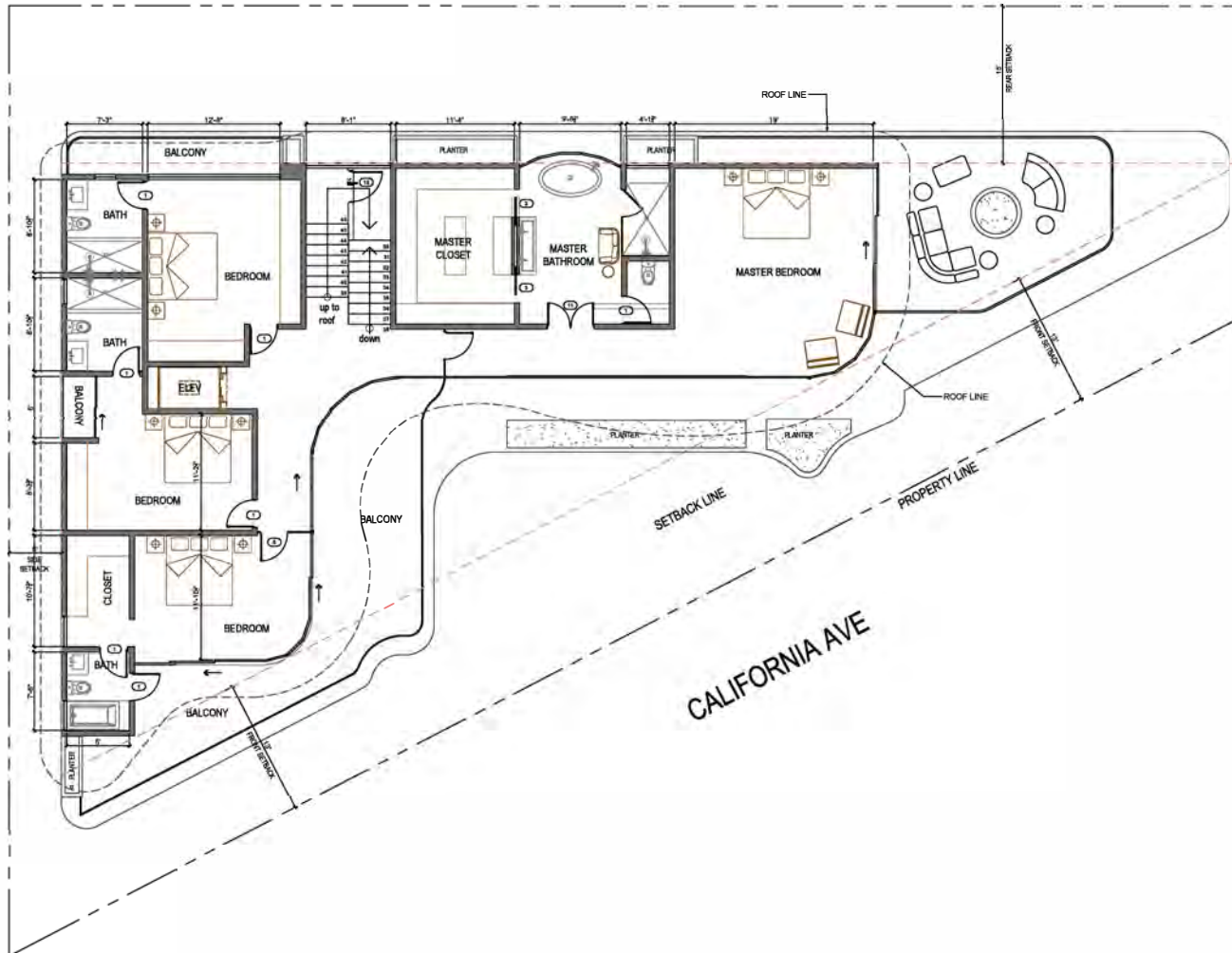
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81	04/05/20	REV. 81
82	04/05/20	REV. 82
83	04/05/20	REV. 83
84	04/05/20	REV. 84
85	04/05/20	REV. 85
86	04/05/20	REV. 86
87	04/05/20	REV. 87
88	04/05/20	REV. 88
89	04/05/20	REV. 89
90	04/05/20	REV. 90
91	04/05/20	REV. 91
92	04/05/20	REV. 92
93	04/05/20	REV. 93
94	04/05/20	REV. 94
95	04/05/20	REV. 95
96	04/05/20	REV. 96
97	04/05/20	REV. 97
98	04/05/20	REV. 98
99	04/05/20	REV. 99
100	04/05/20	REV. 100

FIRST FLOOR PLAN

DRAWING NO.

A7

SANTA CLARA AVE



1 SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

FLOOR PLAN NOTES:

- [illegible]

WALL LEGEND:

 NEW WALL

KIM GORDON DESIGNS
1116 BERKELEY DR.
MARINA DEL REY, CA 90292
(310) 467-5045

PROJECT ADDRESS

717 CALIFORNIA AVE
VENICE, CA 90291

PROJECT TITLE _____

NEW TWO STORY
SINGLE FAMILY DWELLING

OWNER

5	03/18/2024	REV. 5
6	04/30/2024	REV. 4
3	04/23/2024	REV. 3
2	03/26/2024	REV. 2

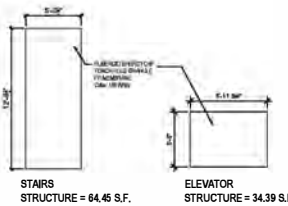
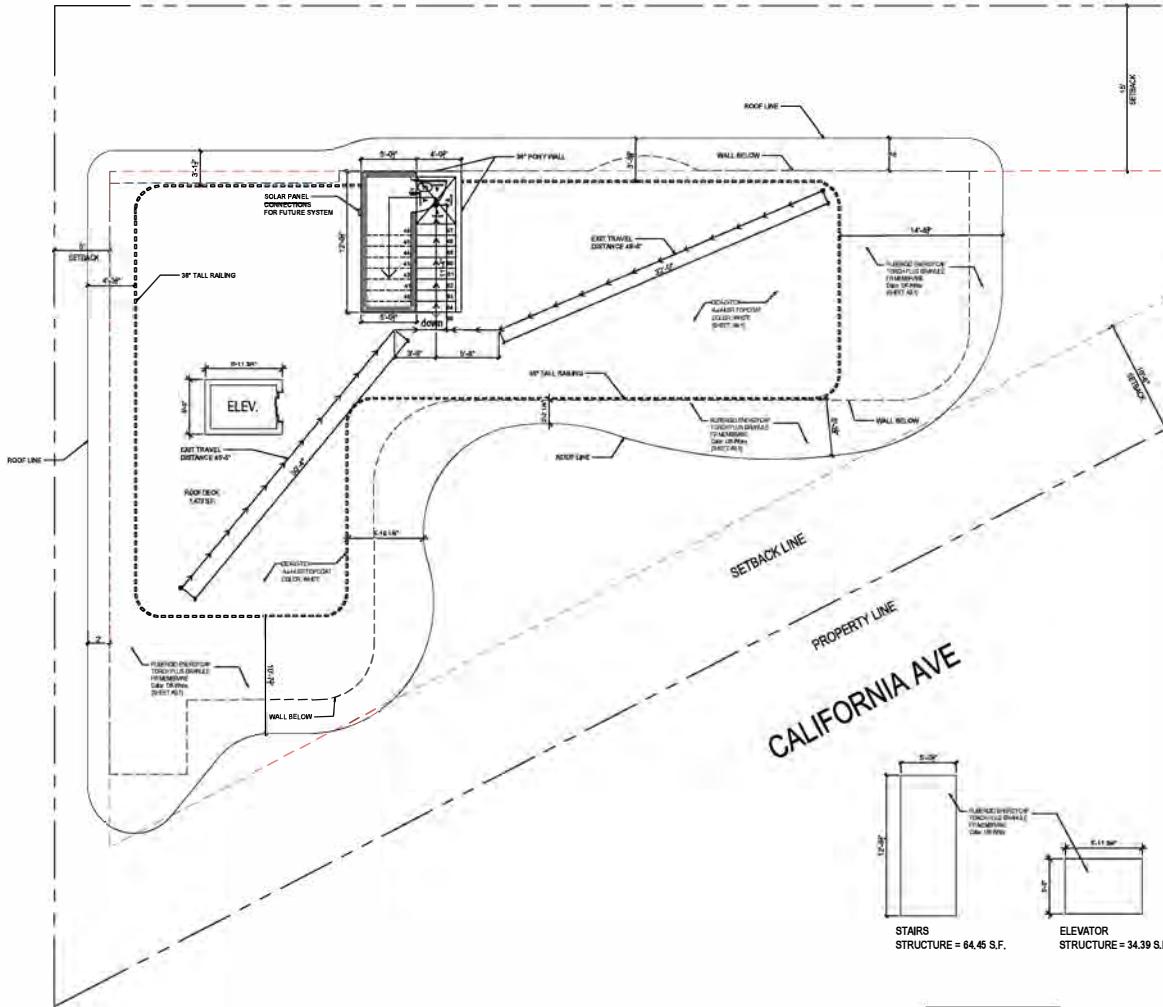
1	04/05/2024	REV. 1
MARK	DATE	DESCRIPTION
ISSUE:		
		APR 02, 2024
DRAWN BY:		GR
CHECKED BY:		
PLST DATE:		
SHEET TITLE:		

SECOND FLOOR
PLAN

DRAWING NO.

A8

SANTA CLARA AVE



TOTAL:
64.45 + 34.39 = 98.84 S.F.
98.84 S.F. < 100 S.F. = OK

- NOTES:
1. PROVIDE 26 GA. G.I. FLASHING AT ALL WALL TO ROOF INTERSECTION.
 2. ROOF COVERING TO BE SLATE SHINGLES CLASS 'A' MIN. OR ASPHALT ROLL ROOFING CLASS 'A' MIN. HOT MOPPED OVER 1/2" PLYWOOD SHTG. GAF I.C.C. ESPW1274
 3. PROVIDE: THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/200, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION.

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PROJECT TITLE

NEW TWO STORY
SINGLE FAMILY DWELLING

OWNER

NO.	DATE	DESCRIPTION
1	04/08/20	REV. 1
2	04/08/20	REV. 2
3	04/08/20	REV. 3
4	04/08/20	REV. 4
5	04/08/20	REV. 5
6	04/08/20	REV. 6
7	04/08/20	REV. 7
8	04/08/20	REV. 8
9	04/08/20	REV. 9
10	04/08/20	REV. 10

NO.	DATE	DESCRIPTION
1	04/08/20	REV. 1
2	04/08/20	REV. 2
3	04/08/20	REV. 3
4	04/08/20	REV. 4
5	04/08/20	REV. 5
6	04/08/20	REV. 6
7	04/08/20	REV. 7
8	04/08/20	REV. 8
9	04/08/20	REV. 9
10	04/08/20	REV. 10

ROOF PLAN

DRAWING NO.

A9

1 ROOF PLAN
SCALE 3/16" = 1'-0"



2 ACCESS STRUCTURES ROOF
SCALE 3/16" = 1'-0"

California Coastal Commission

A-5-VEN-20-0054

Exhibit 3

Page 5 of 7

KIM GORDON DESIGNS
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(310) 487-5045

PROJECT ADDRESS

717 CALIFORNIA AVE
VENICE, CA 90291

PROJECT TITLE

NEW TWO STORY
SINGLE FAMILY DWELLING

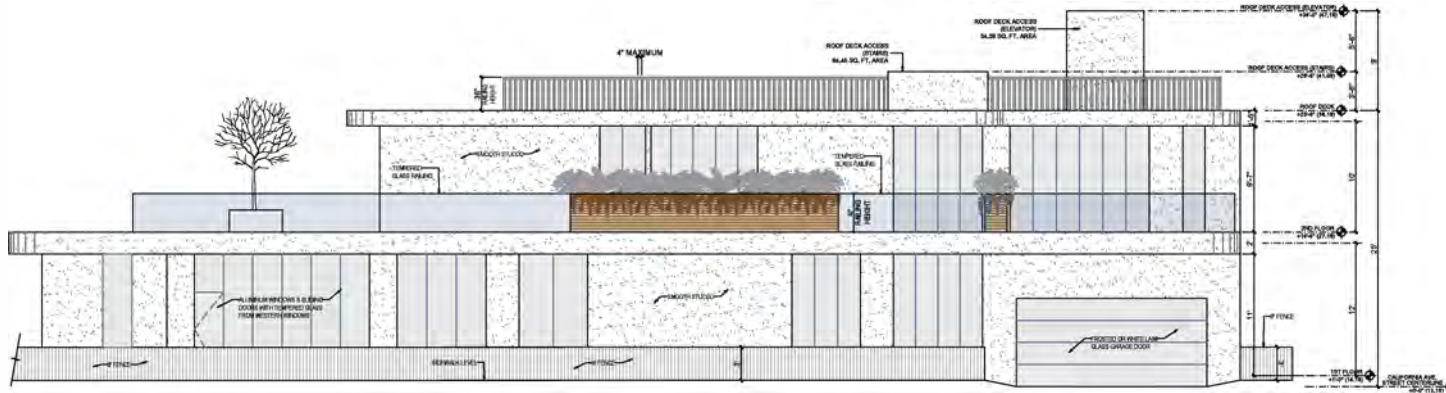
OWNER

NO.	DATE	DESCRIPTION
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3	04/02/2024	REV. 3
2	03/08/2024	REV. 2
1	03/08/2024	REV. 1

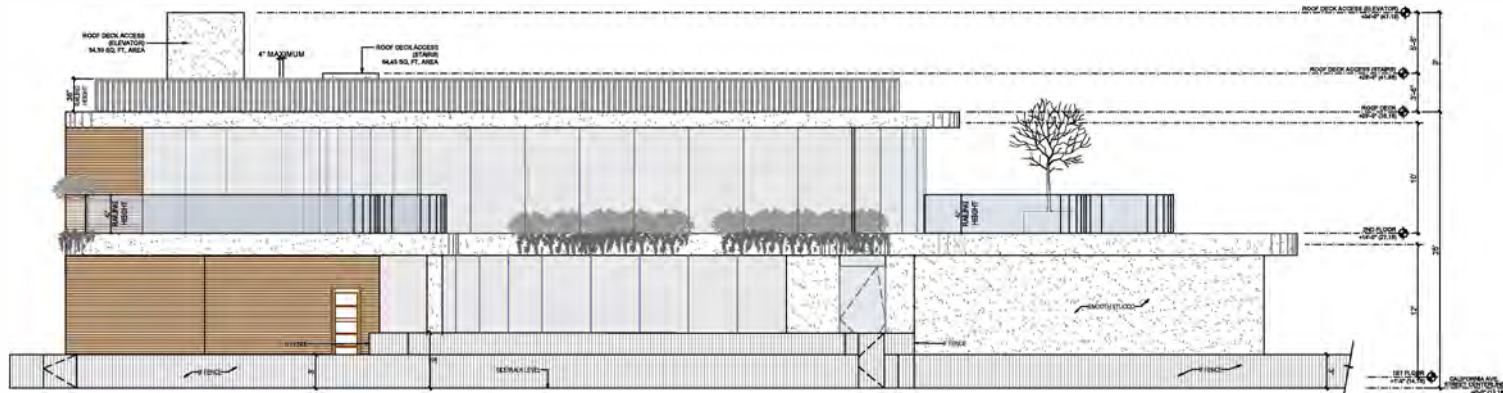
ELEVATIONS

DRAWING NO.

A10



2 NORTH ELEVATION
SCALE 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE 3/16" = 1'-0"

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PROJECT TITLE

NEW TWO STORY
SINGLE FAMILY DWELLING

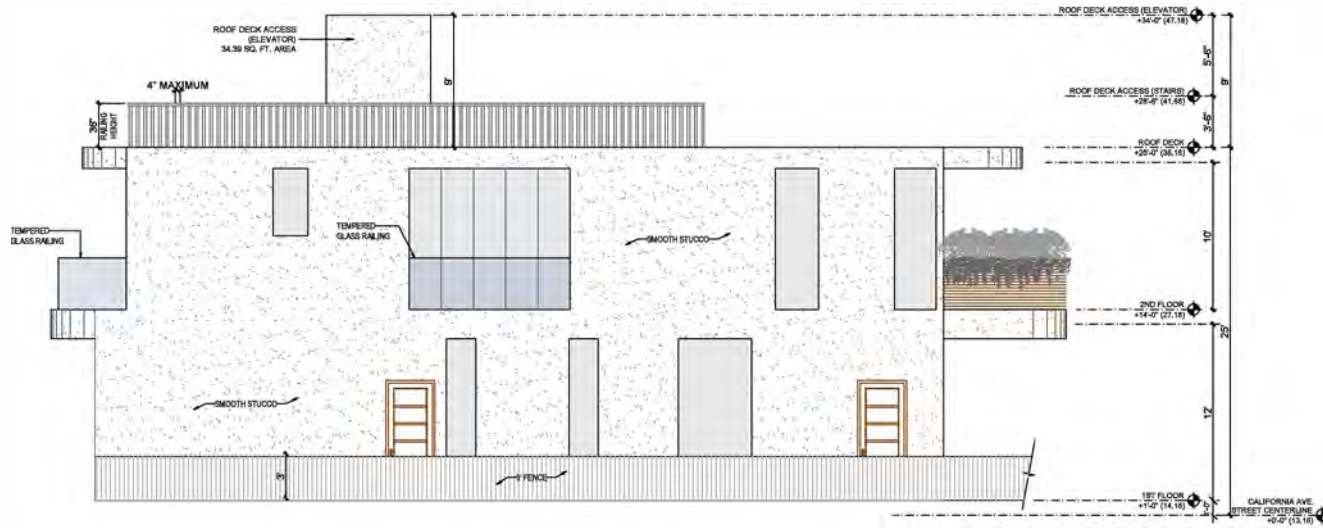
OWNER

NO.	DATE	DESCRIPTION
4	06/03/24	REV. 4
3	06/03/24	REV. 3
2	06/03/24	REV. 2
1	05/03/24	REV. 1
DRAWN BY:	APR 01, 2025	EG
CHECKED BY:		
PLUT DATE:		
SHEET TITLE		

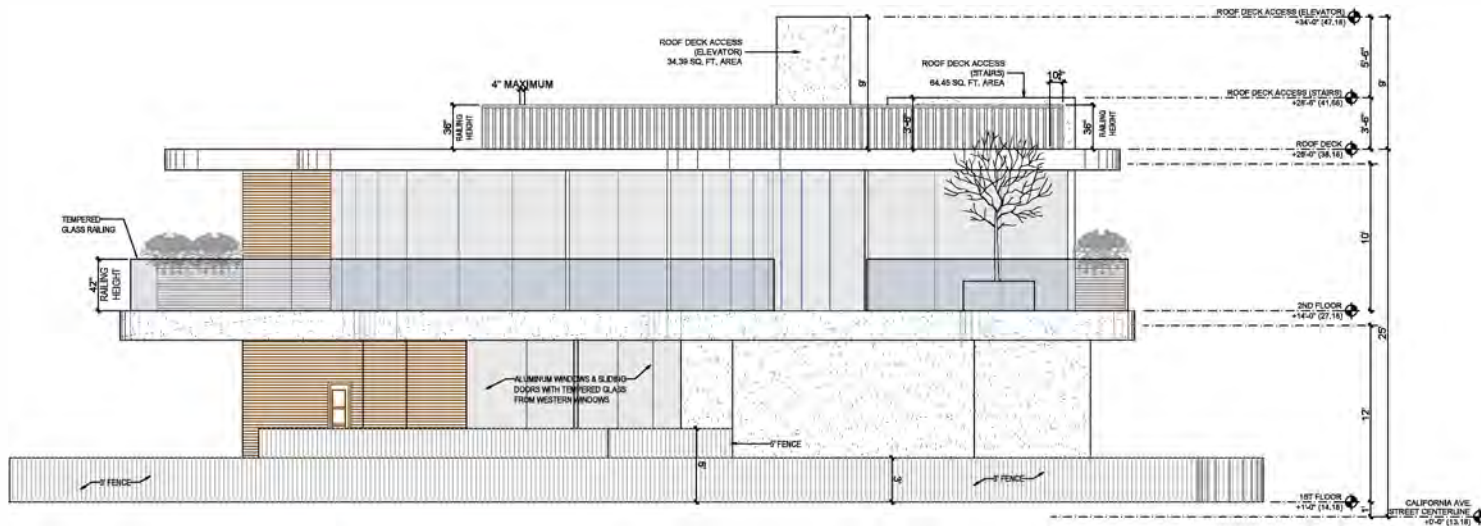
ELEVATIONS

DRAWING NO.

A11



2 WEST ELEVATION
SCALE 1/4" = 1'-0"



1 EAST ELEVATION
SCALE 1/4" = 1'-0"

Exhibit 4 Community Character Survey Selected Parcels



- PROJECT SITE
- SELECTED LOTS (23)
- 200 FT. RADIUS