

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
301 East Ocean Boulevard, Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W11a

A-5-HNB-25-0046 (Voong)

November 20, 2025

EXHIBITS

Exhibit 1 – Project Location

Exhibit 2 – City Approved Plans

Exhibit 3 – City's Determination

Exhibit 4 – Appeal

Exhibit 5 – Similar Development on Gilbert Island

Exhibit 6 – Street View of Existing Residence (16471 Malden Circle)

Exhibit 7 – CoSMoS Projections

Exhibit 1: Project Location



California Coastal Commission



A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 1

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Exhibit 1: Project Location



California Coastal Commission

A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 1

Page 2 of 2



DEPT. OF AGRICULTURE

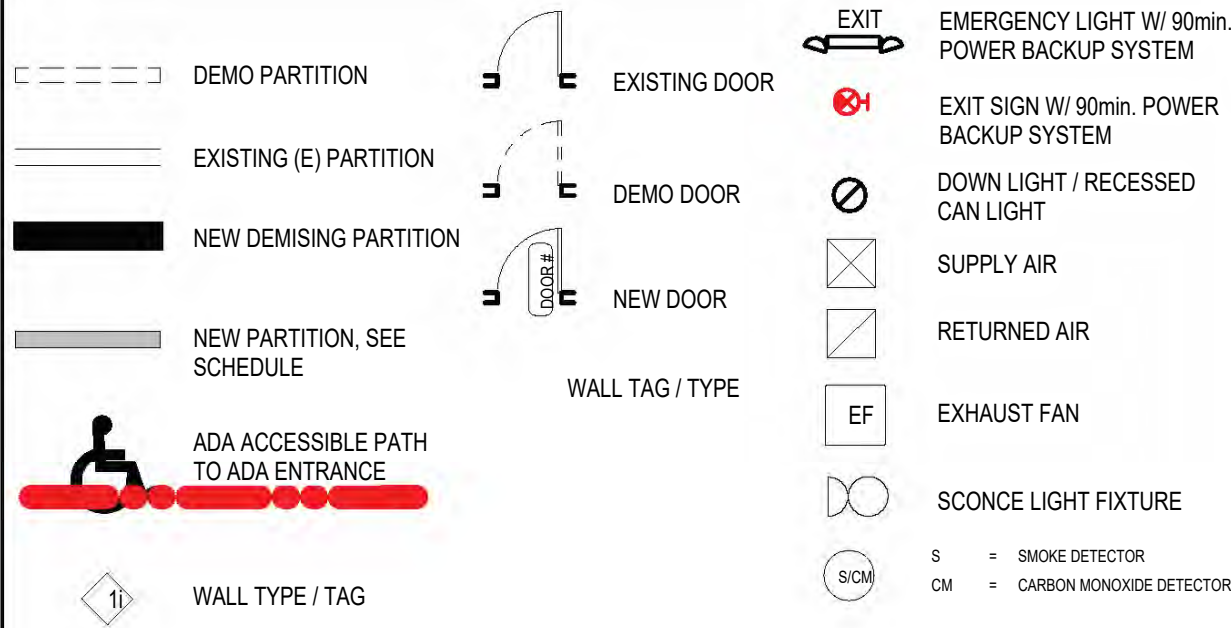
1. CONTRACTOR TO PROVIDE & SUBMIT DESIGN/DOCUMENTATION FOR FUTURE SOLAR PANELS FOR THE ADU AS REQ'D PER LOCAL CODE REQUIREMENT (110.10).
2. ROOFTOP-MOUNTED PV PANEL SYSTEM SHALL BE DESIGNED & INSTALLED PER R324 & CEC (R907).
3. PV SYSTEM SHALL BE INSTALLED PRIOR TO FINAL APPROVAL FOR THE ADU.
4. FIRE/ALARM SYSTEM. SEE "FIRE CODE GENERAL NOTES" FOR MORE DETAIL.

FIRE CODE GENERAL NOTES

A. DEFERRED APPROVAL(S):

1. CONTRACTOR SHALL PROVIDE PLANS FOR THE INSTALLATION OR MODIFICATION OF THE SPRINKLER SYSTEM AND SUBMIT FOR APPROVAL TO THE LOCAL FIRE BUREAU PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL PROVIDE AN APPROVED MANUAL/AUTOMATIC FIRE ALARM SYSTEM. PLANS FOR FIRE ALARM SYSTEM SHALL BE SUBMITTED TO THE LOCAL FIRE PREVENTION BUREAU PRIOR TO INSTALLATION.
3. SMOKE ALARM: ALL SMOKE DETECTOR SHALL BE UL217
4. CARBON MONOXIDE ALARM: ALL CARBON MONOXIDE DETECTOR SHALL BE UL2034/2075
5. STORAGE
 1. THERE IS NO HAZARDOUS MATERIAL STORAGE IN THIS PROJECT.
 2. CONTRACTOR SHALL PROMPTLY COMMUNICATE WITH THE OWNER/ARCHITECT IF RECOGNIZE POTENTIAL HAZARDOUS MATERIAL STORAGE EXIST IN THE PROJECT.

SYMBOL LEGENDS



ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	LL	LANDLOD
ADA	AMERICANS WITH DISABILITIES ACT	LAM	LAMINATE
AFF	ABOVE FINISHED FLOOR	LAV	LAVATORY
AHJ	AUTHORITIES HAVING JURISDICTION	LF	LINEAR FEET
ALUM	ALUMINUM	MANUF	MANUFACTURER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MAS	MASONRY
AP	AMERICAN PRODUCTS	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MECH	MECHANICAL
APPROX	APPROXIMATE	MGR	MANAGER
BD	BOARD	MO	MASONRY OPENING
BLK	BLACK	MIN	MINIMUM
BLDG	BUILDING	MTL	METAL
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
CM	CARBON MONOXIDE ALARM	MTD	MOUNTED
CJ	CONTROL/CONSTRUCTION JOINT	NA	NOT APPLICABLE
CL	CEILING	NCBC	NORTH CAROLINA BLDG CODE
CLR	CLEAR	NFPA	NATIONAL FIRE PROTECTION A
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONCEPT
COL	COLUMN	NIS	NOT IN SCOPE OF WORK
CONC	CONCRETE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER
CT	CERAMIC TILE	OPP	OPPOSITE
DBL	DOUBLE	P	PHOTOCELL
DIAM	DIAMETER	PL	PLASTIC LAMINATE
DIM	DIMENSION	PLBG	PLUMBING
DN	DOWN	PR	PAIR
DS	DOWN SPOUT	PREFAB	PREFABRICATED
DTL	DETAIL	PREFIN	PREFINISHED
EW	EAST	PROJ	PROJECT
E	EXISTING	PT	POINT
EA	EACH	PWD	PLYWOOD
EJ	EXPANSION JOINT EXP.	QTY	QUANTITY
E	EXHAUST FAN	R	RADIUS
ELEC	ELECTRICAL	S	SMOKE DETECTOR
ELEV	ELEVATION	RD	ROOF DRAIN
EMER	EMERGENCY	REF	REFERENCE
EP	ELECTRICAL PANEL	REINF	REINFORCING
EQ	EQUAL	REQD	REQUIRED
EQUIP	EQUIPMENT	REV	REVISION
EW	EACH WAY	RM	ROOM
ENC	ELECTRIC WATER COOLER	RO	ROUGH OPENING
EXIST	EXISTING	SECT	SECTION
EXT	EXTERIOR	SF	SQUARE FOOT
FC	FLOOR COVERING	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SQ	SQUARE
FRT	FINISHED FLOOR ELEVATION	SS	STAINLESS STEEL
FRP	FIBERGLASS REINFORCED PANEL	STD	STANDARD
FR	FIRE RETARDANT TREATED	STL	STEEL
FIN	FINISH	STRUCT	STRUCTURAL
FLR	FLOOR	SUSP	SUSPENDED
FR	FIRE RATED	TD	TRENCH DRAIN
FT	FOOT	TG	TEMPERED GLASS
FURN	FURNISH	T.O.	TOP OF
GA	GAUGE	TY	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR	UL	UNDERWRITER'S LABORATORY
GFCI	GROUND FAULT CIRCUIT INTERRUPT	VCT	VINYL COMPOSITION TILE
GL	GLASS/GLAZING	VERT	VERTICAL
GWB	GYPSPUM WALL BOARD	VIF	VERIFY IN FIELD
HGT	HEIGHT	VS	VACUUMY SENSOR
HM	HOLLOW METAL	VWC	VINYL WALLCOVERING
HORIZ	HORIZONTAL	WB	WALL BASE
HVAC	HEATING, VENTILATING & AIR CONDITIONING	WC	WALL COVERING
ID	INSIDE DIAMETER	WCO	WALL CLEANOUT
INCL	INCLUDING	WD	WOOD
INFO	INFORMATION	W	WITH
INSUL	INSULATION	WO	WITHOUT
INT	INTERIOR	W/ROOF	WITH ROOF
JT	JUNT	WT	WALL TILE

16471 MALDEN RESIDENCE - NEW HOUSE



PROJECT SUMMARY

ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO THE CURRENTLY ADOPTED EDITION, AMENDMENTS AND REQUIREMENTS OF THE FOLLOWING APPLICABLE CODES AND ALL OTHER FEDERAL, STATE AND LOCAL CODES/ORDINANCES (CBC 2022; ADA 2010; CPC 2022; CEC 2022; CMC 2022; CEC 2022)

PROJECT LOCATION:

16471 MALDEN CIR
HUNTINGTON BEACH CA 92649

APN # : 178-411-23
Legal Description : N TR 4677 BLK LOT 55

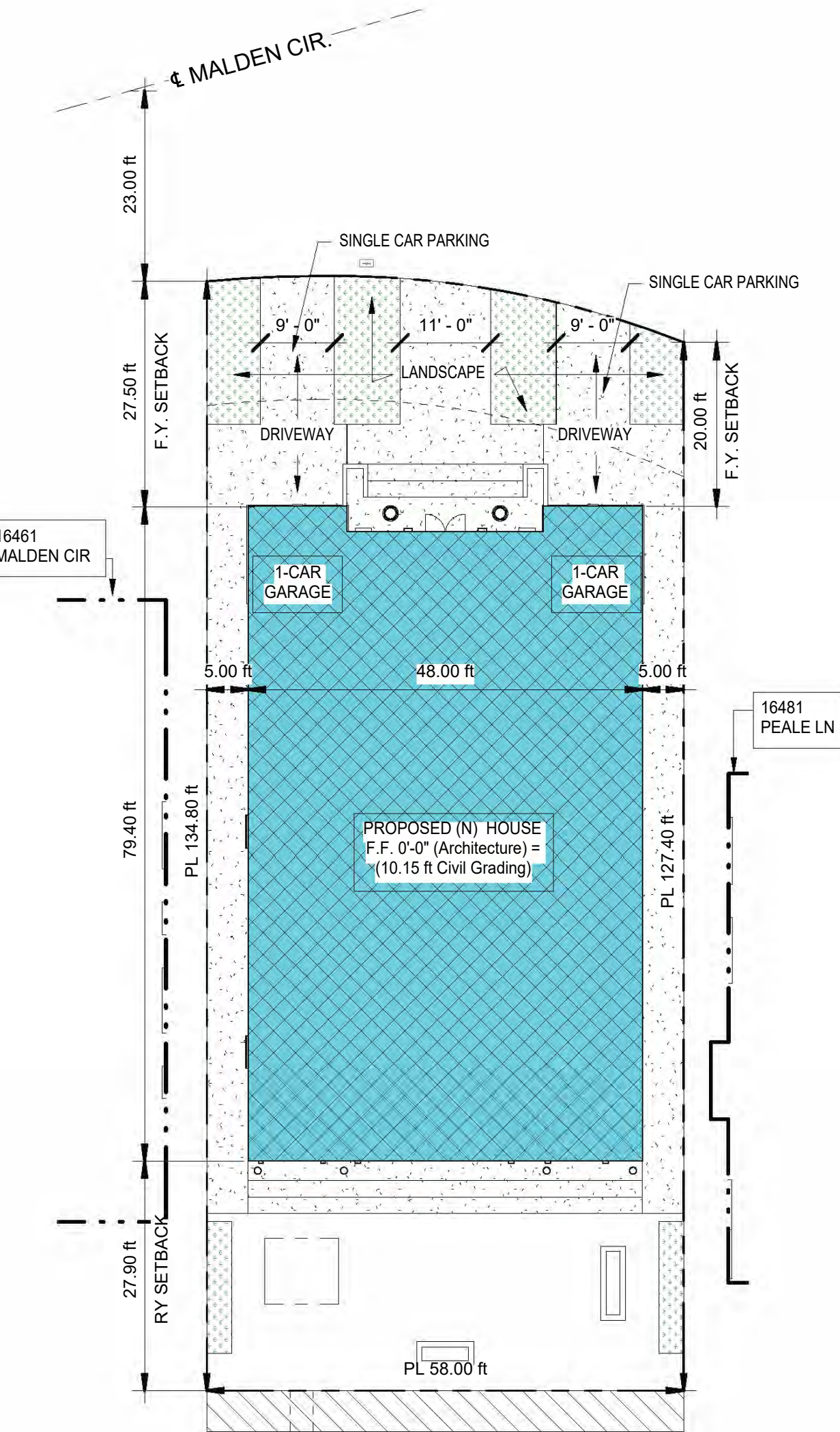
SCOPE OF WORK

DEMOLISHING AN EXISTING HOUSE IN ITS ENTIRETY. CONSTRUCT A NEW HOME AS DESCRIBED IN THE TABLE BELOW.

• CONSTRUCTION TYPE:	V-B
• ZONING CLASSIFICATIONS:	RL
• OCCUPANCY:	R3
• SPRINKLER:	YES (DEFERRED APPROVAL)
• # OF BEDROOMS / BATHROOMS	
• NEW BEDROOMS	4
• NEW BATHROOMS	7
• OFF STREET PARKING:	
• NEW:	2 CARS (GARAGE)

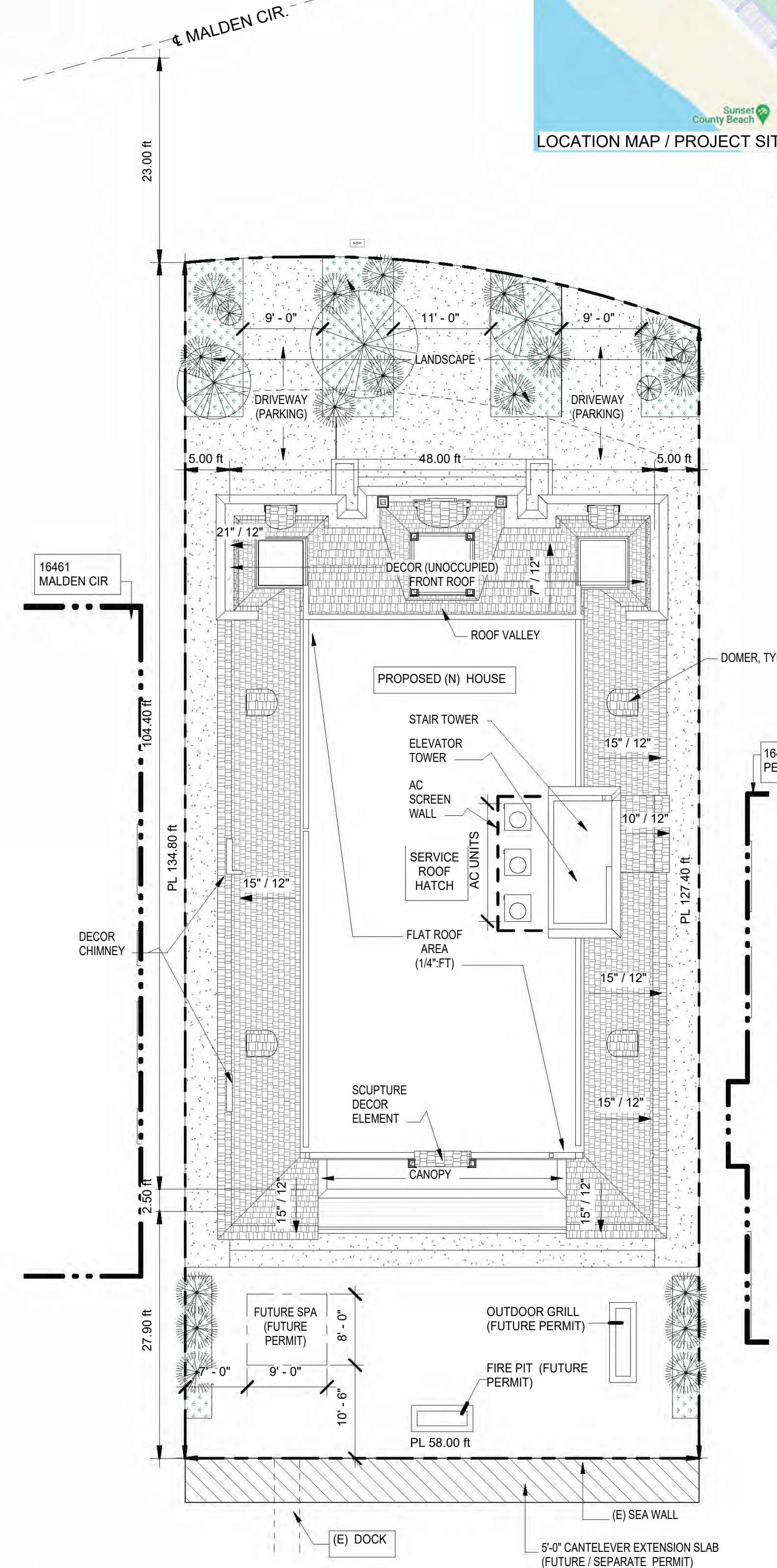
- SITE COVERAGE = 49.9% (SEE TABLE BELOW)
- (15ft) FY LANDSCAPING = $888 \times .4 = 355\text{sf}$
- BUILDING HEIGHT = 3 STORY = 30'-0"

DESCRIPTION	AREA	LOT	LOT COVERAGE	SITE
FY LANDSCAPE	418 SF			
	418 SF			
(E) LOT SIZE	7,741 SF	X		
	7,741 SF			
2-CAR GARAGE	715 SF		X	
LEVEL1 AREA	3,028 SF		X	
LEVEL 2 AREA	2,759 SF			
LEVEL 3 AREA	1,909 SF			
	8,410 SF			
BALCONY COVERAGE	120 SF		X	
	120 SF			



3 SITE PLAN-PROPOSED

SCALE: 1/16" = 1'-0"



ROOF PLAN-PROPOSED

SCALE: 3/32" = 1'-0"



SHEET INDEX

Sheet #	Sheet Name	Issue for Permit	Revision #1
G001	COVER SHEET & SITE PLAN / ROOF PLAN		
A101	FLOOR PLANS		
A110	REFLECTED CEILING PLANS		
A201	BUILDING ELEVATIONS		

GENERAL NOTES

1. PROPERTY LINE / BOUNDARY / SITE NOTES AS SHOWN ARE BASED ON OWNER'S PROVIDED INFORMATION, AND IS USED FOR REFERENCE PURPOSES ONLY. IT IS THE OWNER'S/CONTRACTOR RESPONSIBILITY TO OBTAIN NECESSARY, ACCURATE INFORMATION FROM LICENSED PROFESSIONAL SURVEYOR OR CIVIL ENGINEER.
2. CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE PRIOR TO BID DATE TO FAMILIARIZE THEMSELVES WITH THE ACTUAL JOB CONDITIONS.
3. CONTRACTOR TO VERIFY ALL INFORMATION AND CONSTRUCTION, IF ANY DIMENSIONS FROM THE PLAN ARE CONTRADICTORY TO FIELD CONDITIONS, CONTACT THE ARCHITECT IMMEDIATELY. FAILURE TO CONTACT THE ARCHITECT WILL RESULT IN THE GENERAL CONTRACTOR ABSORBING ANY ADDITIONAL COSTS.
4. U.O.N CONTRACTOR SHALL PROVIDE FINAL GRADING A MIN. 5% SLOPE AWAY FROM ALL VERTICAL STRUCTURE, AND A MIN. 2% SLOPE TO THE STREET.
5. ALL NEW CONCRETE FLAT ROOF (IF APPLICABLE) SHALL HAVE A MIN. 2% SLOPED. ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTOR AS MANDATED BY LOCAL AUTHORITY HAVING JURISDICTION WITH NO EXCEPTION.
7. WHEN SOLAR PANEL IS REQ'D, SOLAR PANELS SHALL BE REVIEWED & APPROVED BY CITY / INSPECTOR PRIOR TO ROOF SHEATHING INSTALLATION.

PROJECT TEAM

ARCHITECT:

DUC-HUY HUYNH
HU ARCHITECTURE, INC.
15551 EDEN STREET
WESTMINSTER, CA 92683
(714) 476-4751
dutchuy@huarchitecture.com

DATE	DRAWN	CHECKED
Issue Date	DWG	DHH
SCALE AS NOTED		
PROJECT NUMBER		2023.121
SHEET		
G001		

California Coastal Commission
A-5-HNB-25-0045

Exhibit 2
Page 1 of 5

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~~duchuy@huarchitecture.com~~
(714) 476-4751

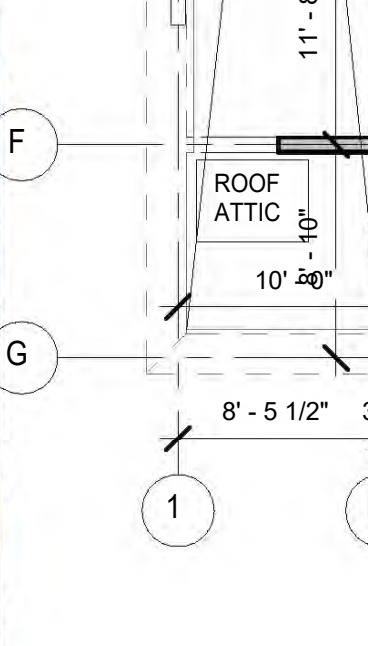
2023.121- 16471 MALDEN RESIDENCE - NEW HOUSE



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

NOTE:
1. UON, ALL NEW DOOR FIN. & HARDWARE PER OWNER
2. FOOR LARGE EXTERIOR SLIDING DOOR, CONTRACTOR TO VERIFY WITH DOOR MANUFACTURE PRIOR TO FRAMING

NOTE:
1. UON, ALL NEW DOOR FIN. & HARDWARE PER OWNER
2. FOOR LARGE EXTERIOR SLIDING DOOR, CONTRACTOR TO VERIFY WITH DOOR MANUFACTURE PRIOR TO FRAMING

NOTE:
1. UON, ALL NEW WINDOW FIN. & HARDWARE TO MATCH EXISTING
2. UON, ALL NEW WINDOW SHALL HAVE A MIN. U-FACTOR OF 0.3 & SHGC OF 0.23

Exhibit 2
Page 2 of 5

REVISIONS

1. *Journal of Management Studies*, 1990, 27, 1, 1-14.

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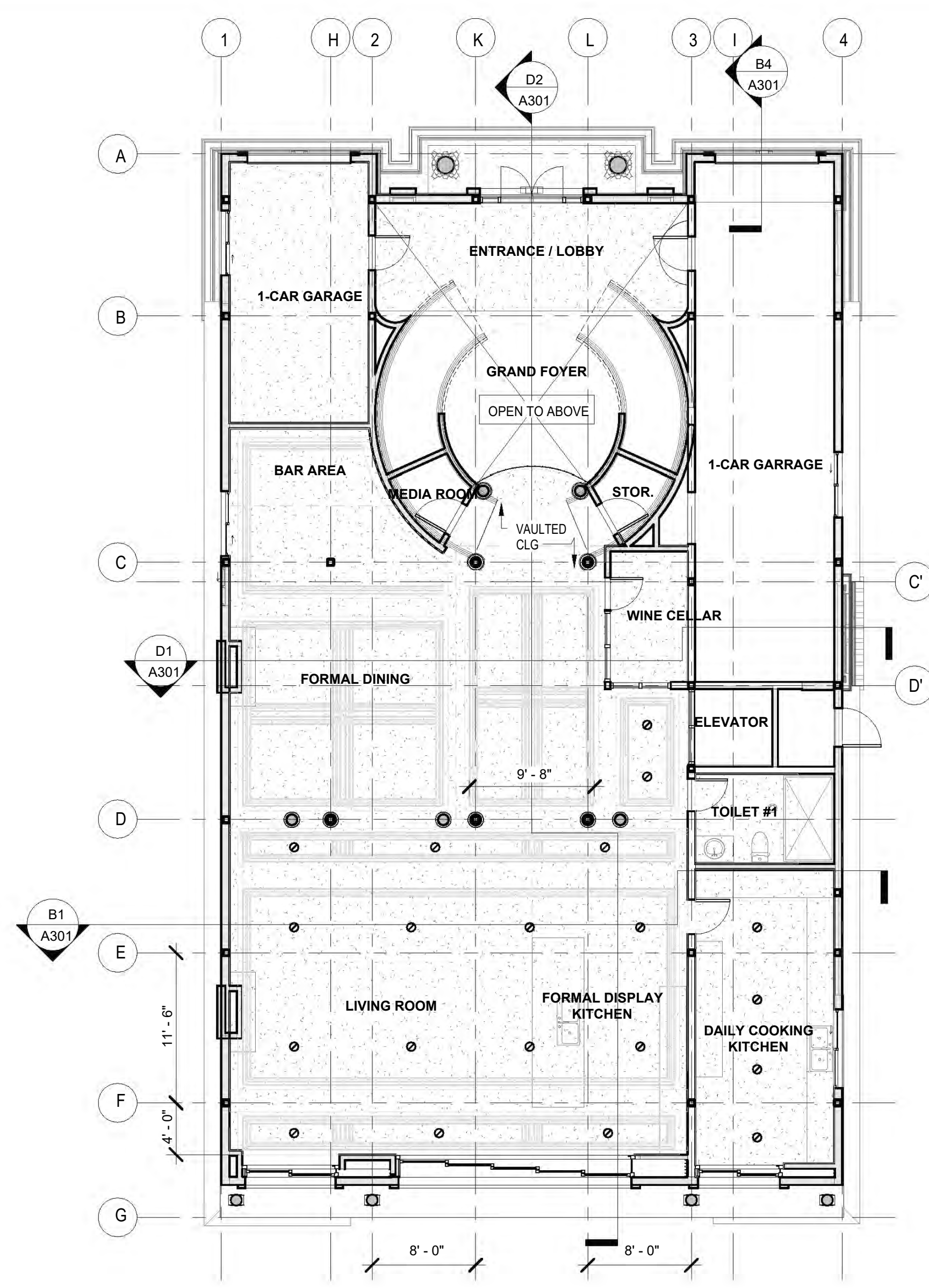
BENJAMIN V
16471 Malden Cir
Huntington Beach, CA 92649

LOCATION: 16471 Malden Cir
Huntington Beach, CA 92649

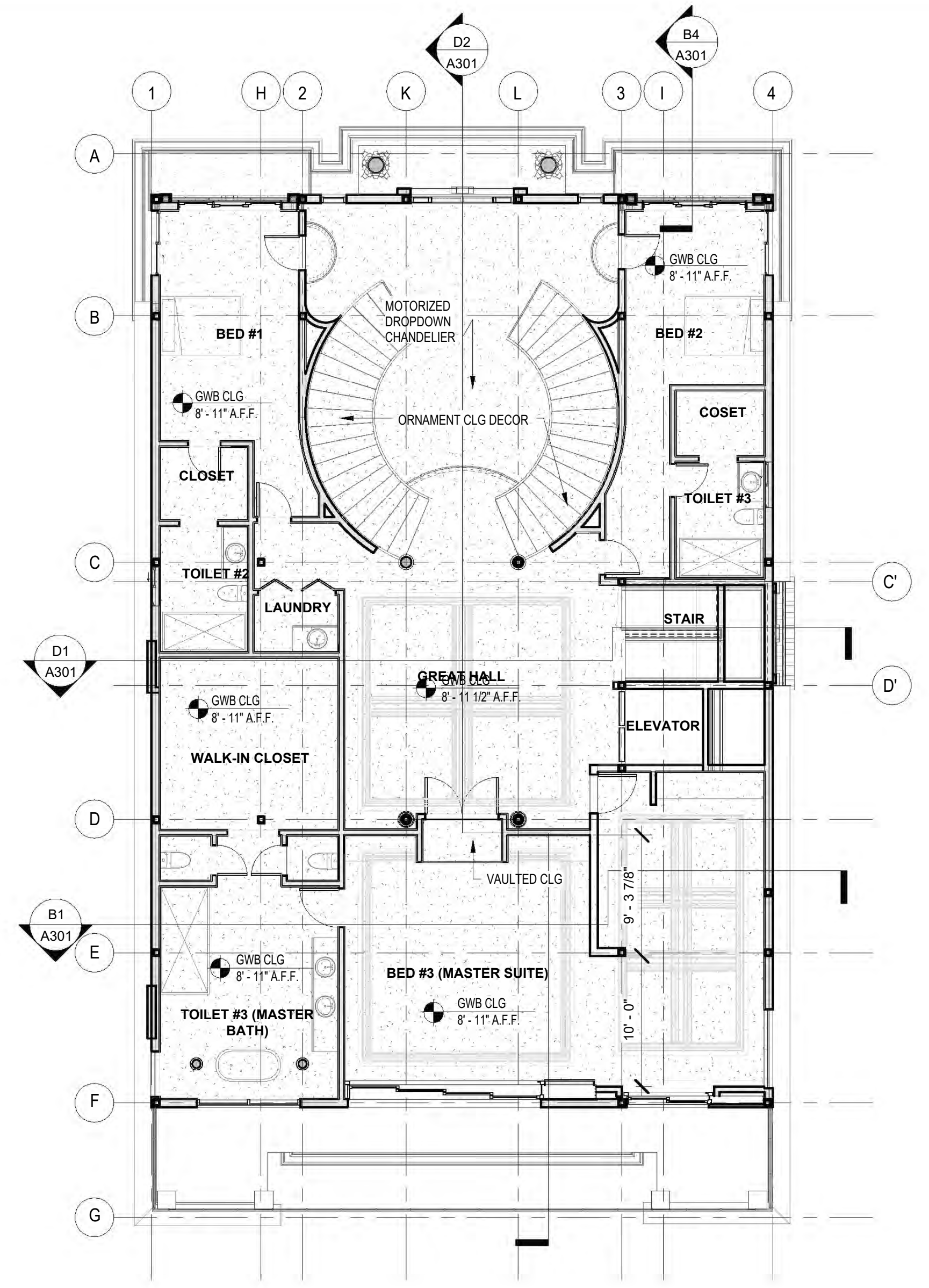
FLOOR PLANS

SCALE AS NOTED

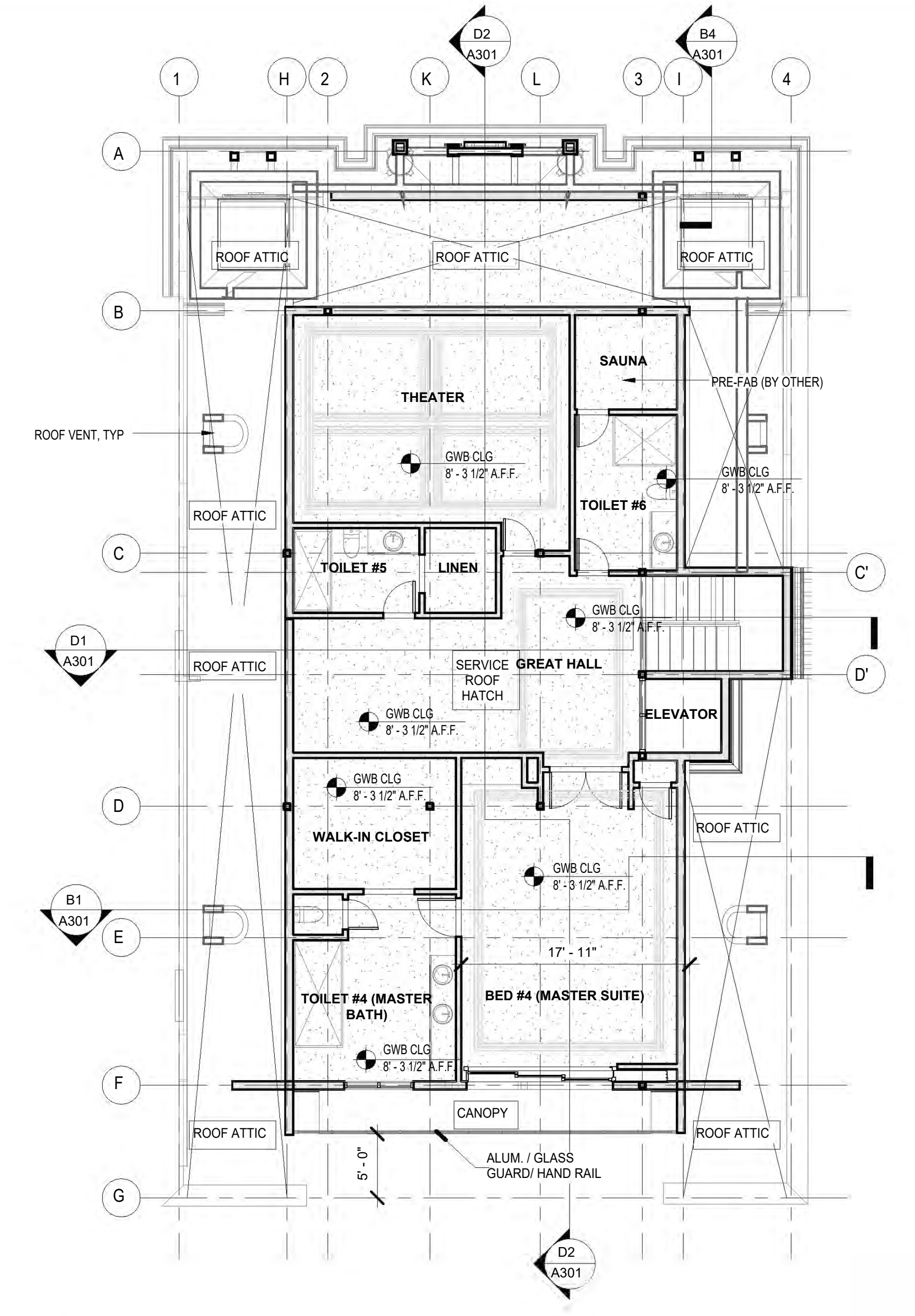
A101



C1 L1 - REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



C2 L2-CEILING PLAN
SCALE: 1/8" = 1'-0"



C4 L3-CEILING PLAN
SCALE: 1/8" = 1'-0"

California Coastal Commission
A-5-HNB-25-0046

Exhibit 2
Page 3 of 5

REVISIONS	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

CONSULTANT INFORMATION

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CLIENT INFORMATION
BENJAMIN V 16471 Malden Cir Huntington Beach, CA 92649

PROJECT TITLE	16471 MALDEN RESIDENCE - NEW HOUSE
LOCATION:	16471 Malden Cir Huntington Beach, CA 92649
SHEET NAME	REFLECTED CEILING PLANS

DATE	Issue Date	DRAWN	DWG	CHECKED	DHH
SCALE	AS NOTED				
PROJECT NUMBER	2023.121				
SHEET	A110				

ATTACHMENT NO. 1

FINDINGS AND CONDITIONS OF APPROVAL

COASTAL DEVELOPMENT PERMIT NO. 24-005
CONDITIONAL USE PERMIT NO. 24-007

FINDINGS FOR PROJECTS EXEMPT FROM CEQA:

The City Council finds that the project will not have any significant effect on the environment and is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines because the project consists of the construction of a single-family residence within a residential zone.

FINDINGS FOR APPROVAL - CONDITIONAL USE PERMIT NO. 24-007:

1. Conditional Use Permit No. 24-007 to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood because the third floor space is designed to be confined within the second floor roof volume, which facilitates the structure's resemblance to a two-story home with a mass and scale that is similar to the proportion and scale of homes in the surrounding neighborhood. In addition, the third-floor balcony is setback a minimum of five feet from the building exterior and is oriented towards the public right-of-way (water), which will minimize the visual mass and bulk of the structure and maintain privacy for abutting residences.
2. The granting of the Conditional Use Permit No. 24-007 to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony will not adversely affect the General Plan because it is consistent with the Land Use Element designation of RL (Residential Low Density) on the subject property and with the following goals and policies of the General Plan:

A. Land Use Element

Goal LU-1: New commercial, industrial, and residential development is coordinated to ensure that the land use pattern is consistent with the overall goals and needs of the community.

Policy LU-1(A): Ensure that development is consistent with the land use designations presented in the Land Use Map, including density, intensity, and use standards applicable to each land use designation.

Policy LU-1(D): Ensure that new development projects are of compatible proportion, scale, and character to complement adjoining uses.

Policy LU-4(D): Ensure that single-family residences are of compatible proportion, scale, and character to surrounding neighborhoods.

The proposed project conforms with the requirements of the RL base zoning district including parking, building setbacks, building height, lot coverage, and privacy design standards. The proposed third-floor balcony will be oriented toward the rear (water) and will be setback five feet from the building exterior, ensuring privacy is maintained for abutting residences.

3. The proposed Conditional Use Permit No. 24-007 to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony will comply with the provisions of the base district and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO) because as conditioned, the project complies with parking, building setbacks, building height, lot coverage, and privacy design standards. In addition, the third-floor area is designed to be within the confines of the second story roof volume and the proposed third floor balcony will be set back five feet from the building façade, as required by the HBZSO. Third floor habitable area is permitted for all single-family dwellings in the RL zoning district with the approval of a conditional use permit.

FINDINGS FOR APPROVAL - COASTAL DEVELOPMENT PERMIT NO. 24-005:

1. Coastal Development Permit No. 24-005 for the development project conforms with the General Plan, including the Local Coastal Program. The request to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony conforms with the City's Local Coastal Program, including Coastal Element Land Use Policy C 1.1.1 which encourages new development to locate within, contiguous to or in close proximity to existing developed areas able to accommodate it. The proposed development will occur entirely on a site previously occupied by a single-family residence, contiguous to properties also developed with single-family residential uses.
2. Coastal Development Permit No. 24-005 to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony is consistent with the requirements of the CZ Overlay District, the base zoning district, as well as other applicable provisions of the Municipal Code because as conditioned, the project will comply with all applicable development regulations, including maximum building height, minimum yard setbacks, lot coverage, and privacy design standards. No code exceptions are requested as part of this project.
3. At the time of occupancy, the proposed development can be provided with infrastructure in a manner that is consistent with the Local Coastal Program because Coastal Development Permit No. 24-005 to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony is located in an urbanized

area with all necessary services and infrastructure available, including water, sewer, and roadways.

4. Coastal Development Permit No. 24-005 to demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft., 3-story, 4-bedroom, single-family residence at an overall height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. 3rd floor balcony conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act in that the project will not impede public access, recreation, or views to coastal resources.

CONDITIONS OF APPROVAL – CONDITIONAL USE PERMIT NO. 24-007/COASTAL DEVELOPMENT PERMIT NO. 24-005:

1. The site plan, floor plans, and elevations received November 14, 2024, shall be the conceptually approved layout with the following modifications:
 - a. The balcony cover over the 3rd floor balcony shall not project more than 30-inches from the building wall. With exception of the 3rd floor balcony cover, all decks and guardrails shall be setback a minimum five feet from the 2nd floor rear building wall.
 - b. All rooftop mechanical equipment shall be screened from public view (including views from channel). **(HBZSO 230.76)**
 - c. Modification or new installation of 3rd floor windows shall require review and approval by the Community Development Department to ensure the site has sufficient parking.
 - d. The entablature (frieze/architrave/cornice) along the front elevation between the 2nd and 3rd levels shall be enlarged by 1 ft.-6 in. to 3 ft. in height.
 - e. The differential between top of subfloor (finished floor) and datum (highest adjacent curb) shall be a maximum of two feet as determined by Public Works. If any subfloor, stem wall or footing is proposed greater than two feet above datum, the height in excess shall be deducted from the proposed 30-foot maximum allowable ridgeline height. **(HBZSO 230.70 (B))**
2. Prior to submittal of building permits, the following shall be completed:
 - a. One set of project plans, revised pursuant to Condition No. 1 of this approval, shall be submitted for review, approval, and inclusion in the entitlement file, to the Community Development Department.
 - b. Zoning entitlement conditions of approval shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical, and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
3. Prior to issuance of final building permits, the following shall be completed:
 - a. All improvements must be completed in accordance with approved plans.

- b. Compliance with all conditions of approval specified herein shall be verified by the Community Development Department.
 - c. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
4. During demolition, grading, site development, and/or construction, the following shall be completed:
- a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
 - b. Use low sulfur (0.5%) fuel by weight for construction equipment.
 - c. Truck idling shall be prohibited for periods longer than 10 minutes.
 - d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
 - e. Discontinue operation during second stage smog alerts.
 - f. Ensure clearly visible signs are posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/grading activity.
5. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
6. Conditional Use Permit No. 24-007 and Coastal Development Permit No. 24-005 shall become null and void unless exercised within two years of the date of final approval or within one year of the date of final Coastal Development Permit approval by the Coastal Commission if the Coastal Development Permit is appealed, or such extension of time as may be granted by the Director pursuant to a written request submitted to the Community Development Department a minimum 30 days prior to the expiration date.
7. The Development Services Departments and divisions (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Community Development may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the City Council's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the City Council may be required pursuant to the provisions of HBZSO Section 241.18.

INDEMNIFICATION AND HOLD HARMLESS CONDITION:

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802
(562) 590-5071
SOUTHCOAST@COASTAL.CA.GOV

**APPEAL FORM****Appeal of Local Government Coastal Development Permit****Filing Information (STAFF ONLY)**

District Office: South Coast

Appeal Number: 24-005Date Filed: October 7, 2025Appellant Name(s): Brad Bailey

RECEIVED
South Coast Region
OCT 08 2025
CALIFORNIA
COASTAL COMMISSION

APPELLANTS

IMPORTANT. Before you complete and submit this appeal form to appeal a coastal development permit (CDP) decision of a local government with a certified local coastal program (LCP) to the California Coastal Commission, please review the appeal information sheet. The appeal information sheet describes who is eligible to appeal what types of local government CDP decisions, the proper grounds for appeal, and the procedures for submitting such appeals to the Commission. Appellants are responsible for submitting appeals that conform to the Commission law, including regulations. Appeals that do not conform may not be accepted. Appeals must be received no later than 5 pm on the last day of the appeal period. If you have any questions about any aspect of the appeal process, please contact staff in the Commission district office with jurisdiction over the area in question (see the Commission's contact page at <https://coastal.ca.gov/contact/#/>).

Note regarding emailed appeals. Please note that emailed appeals are accepted ONLY at the general email address for the Coastal Commission district office with jurisdiction over the local government in question. For the South Coast district office, the email address is SouthCoast@coastal.ca.gov. An appeal emailed to some other email address, including a different district's general email address or a staff email address, will be rejected. It is the appellant's responsibility to use the correct email address, and appellants are encouraged to contact Commission staff with any questions. For more information, see the Commission's contact page at <https://coastal.ca.gov/contact/#/>.

CURRENTLY APPEALABLE LOCAL PERMITS**South Coast District covering South Los Angeles and Orange
Counties****Local Government CDP Actions Appealable as of: October 06, 2025**

Local Application Number 24-005
 CCC Tracking Number **5-HNB-25-0990**
 Local Jurisdiction City of Huntington Beach
 Final Local Action **Approved With Conditions**
 Applicant(s) Duc-Huy Huynh

Project Location 16471 Malden Cir
 Huntington Beach, Ca 92649 Orange County
 Apn:06059-178-411-23

Project Description To demolish an existing 2,845 sq. ft., 13-ft. high single-story residence and construct a new 7,696 sq. ft. three-story single-family dwelling at a height of 30 ft., including a 715 sq. ft. two-car garage, 530 sq. ft. of second floor balconies, and a 110 sq. ft. third floor balcony.

Dates

Local Action 9/17/25
 Local Action Notice Received 9/29/2025
 Appeal Period Starts 9/29/2025
Appeal Period Ends 10/13/2025

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 OCT 08 2025
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California Coastal Commission
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Exhibit 4
 Page 2 of 25

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455 MARKET STREET, SUITE 300
SAN FRANCISCO, CA 94105-2219
VOICE (415) 904-5200
FAX (415) 904-5400

16471 Malden Appeal
RECEIVED
South Coast Region

GAVIN NEWSOM, GOVERNOR

OCT 08 2025

CALIFORNIA
COASTAL COMMISSION

**DISCLOSURE OF REPRESENTATIVES**

If you intend to have anyone communicate on your behalf to the California Coastal Commission, individual Commissioners, and/or Commission staff regarding your coastal development permit (CDP) application (including if your project has been appealed to the Commission from a local government decision) or your appeal, then you are required to identify the name and contact information for all such persons prior to any such communication occurring (see Public Resources Code, Section 30319). The law provides that failure to comply with this disclosure requirement prior to the time that a communication occurs is a misdemeanor that is punishable by a fine or imprisonment and may lead to denial of an application or rejection of an appeal.

To meet this important disclosure requirement, please list below all representatives who will communicate on your behalf or on the behalf of your business and submit the list to the appropriate Commission office. This list could include a wide variety of people such as attorneys, architects, biologists, engineers, etc. If you identify more than one such representative, please identify a lead representative for ease of coordination and communication. You must submit an updated list anytime your list of representatives changes. You must submit the disclosure list before any communication by your representative to the Commission or staff occurs.

Your Name Brad Bailey

CDP Application or Appeal Number 24-005

Lead Representative

Name Clyde Yeroomian
Title home owner
Street Address 16522 Somerset Ln.
City Huntington Beach
State, Zip Ca, 92649
Email Address Clyde@SMGCARS.com
Daytime Phone 310-775-5770

Your Signature 

Date of Signature 10/7/2025

Appeal of local CDP decision
Page 2

1. Appellant information:

Name: Brad Bailey
Mailing address: 16481 Peale Lane. Huntington Beach, 92649
Phone number: 310-775-5770
Email address: Clyde@SMGCARS.com

How did you participate in the local CDP application and decision-making process?

☐ Did not participate ☒ Submitted comment ☒ Testified at hearing ☒ Other

Describe: I appealed with zoning admin, they had a tie vote of 3 to 3, it then went up
to the planning commission and cost me an extra 5300.00 dollars. The planning dept was
also tied at a 3 to 3 vote. We then had the mayor Pat Burns file an appeal himself with the
city council. They approved the build with conditions so now we are here with Coastal.

If you did *not* participate in the local CDP application and decision-making process, please identify why you should be allowed to appeal anyway (e.g., if you did not participate because you were not properly noticed).

Describe: I participated completely!

Please identify how you exhausted all LCP CDP appeal processes or otherwise identify why you should be allowed to appeal (e.g., if the local government did not follow proper CDP notice and hearing procedures, or it charges a fee for local appellate CDP processes).

Describe: I appealed with all departments of my local Huntington Beach
offices including the zoning admin, the planning commission and
also took it all the way up to the city council with the Mayor.

1 If there are multiple appellants, each appellant must provide their own contact and participation information. Please attach additional sheets as necessary.

Appeal of local CDP decision

Page 3

2. Local CDP decision being appealed:

Local government name: Huntington Beach

Local government approval body: ci ty council

Local government CDP application number: 24-005

Local government CDP decision: ☒ CDP approval ☐ CDP denial

Date of local government CDP decision: 9/17/2025

Please identify the location and description of the development that was approved or denied by the local government.

Describe: The home is directly next door to me at 16471 Malden. The current home on the lot is
2800 sq feet. The home was purchased by an overseas investment group and they are
looking to knock it down and build a massive 8000 sq foot home. They are clearly doing
this to maximize sq footage so they can sell for max profits. It is not a family trying to live
in our neighborhood. They own multiple homes in Huntington Beach, specifically the
Harbour area. They are trying to buy as many waterfront homes as possible. The home size is max'd
out to the penny as far as how big they can go. My home next door is a 1 story traditional home and
so is the home on the other side of this project. This home will tower over both neighboring
homes and completely invade the privacy of both neighbors. I understand privacy may not be legal
grounds however i have various other points that make this an inadequate build and CDP
should hopefully be denied. The homes this group build are always very poorly done
and the do not seem very professional. They have 2 other homes down the street on Gilbert Drive
that have been under construction for over 2 years. Those homes were on smaller lots
so they built 2 story homes and for that reason it never triggered coastal. I would really
appreciate anything you guys can do to help, Thank you so much, Brad

² Attach additional sheets as necessary to fully describe the local government CDP decision, including a description of the development that was the subject of the CDP application and decision.

³ Very few local CDP denials are appealable, and those that are also require submittal of an appeal fee. Please see the [appeal information sheet](#) for more information.

Appeal of local CDP decision

Page 4

3. Applicant information

Applicant name(s):

Duc-Huy Huynh

Applicant Address:

16471 Malden Circle Huntington Beach 92649

4. Grounds for this appeal

For appeals of a CDP approval, grounds for appeal are limited to allegations that the approved development does not conform to the LCP or to Coastal Act public access provisions. For appeals of a CDP denial, grounds for appeal are limited to allegations that the development conforms to the LCP and to Coastal Act public access provisions. Please clearly identify the ways in which the development meets or doesn't meet, as applicable, the LCP and Coastal Act provisions, with citations to specific provisions as much as possible. Appellants are encouraged to be concise, and to arrange their appeals by topic area and by individual policies.

Describe: 1. First issue is size, over building. The home they are proposing to build is 7796 sq feet excluding the over hanging 600 sq foot balconies and 700 sq foot garage so in total this house is over 9000 sq feet in usable ground space. If this isn't a Mc Mansion then I don't know what is. The average home on our side of the island is 2766 sq feet. This home is over 3 times larger than the average home. Our street has 25 homes on it, I have taken the sq footage of each home and divided it by 25 to get this number. I have also included a color Google Earth image of our island to give your office a visual representation. The island has 2 water facing sides, the small channel and the main channel. You will definitely notice the homes on the opposite side of where I am are a lot larger and that is where you see a few 3 story homes. There are zero 3 story homes on our street (small channel) all this being said, CEQA guidelines code 15300.2c states a "categorical exemption" shall not be used where there is reasonable possibility that the activity will have a significant effect on the environment due to "unusual circumstance" such as "over sized homes" Please see attached notes.

4 Attach additional sheets as necessary to fully describe the grounds for appeal.

Appeal of local CDP decision
Page 5

5. Identification of interested persons

On a separate page, please provide the names and contact information (i.e., mailing and email addresses) of all persons whom you know to be interested in the local CDP decision and/or the approved or denied development (e.g., other persons who participated in the local CDP application and decision making process, etc.), and check this box to acknowledge that you have done so.



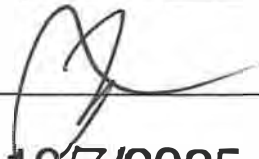
Interested persons identified and provided on a separate attached sheet

6. Appellant certifications

I attest that to the best of my knowledge, all information and facts in this appeal are correct and complete.

Print name Brad Bailey

Signature



Date of Signature

10/7/2025

7. Representative authorizations

While not required, you may identify others to represent you in the appeal process. If you do, they must have the power to bind you in all matters concerning the appeal. To do so, please complete the representative authorization form below and check this box to acknowledge that you have done so.



I have authorized a representative, and I have provided authorization for them on the representative authorization form attached.

↳ CLYDE YEROMIAN
 (310) 775-5770

clyde@SMGCARS.com

⁵ If there are multiple appellants, each appellant must provide their own certification. Please attach additional sheets as necessary.

⁶ If there are multiple appellants, each appellant must provide their own representative authorization form to identify others who represent them. Please attach additional sheets as necessary.

Continuation of 1st issue "OVERBUILDING"

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California Coastal Commission — Appeal Statement

Re: Development at 16471 Malden Circle, Huntington Beach, CA

Submitted by: Brad Bailey, Clyde Yeromian

Issue 1: CEQA and Overbuilding

CEQA does not consider Floor Area Ratio (FAR) when evaluating environmental impacts. Even if a project is within the 50 percent lot-coverage guideline, CEQA deems this irrelevant to environmental review.

What is more crucial under CEQA is the issue of overbuilding and relative size. The proposed home at 16471 Malden Circle is approximately three times larger than the average home in the neighborhood, clearly meeting CEQA's threshold for a significant overbuilding impact. Such disproportionate massing alters neighborhood scale, visual character, and overall environmental compatibility — all factors requiring review under CEQA.

Issue 2: Coastal Zone Sensitivity

The project is located within a sensitive coastal zone. CEQA explicitly calls for heightened environmental review when a project lies within a "sensitive coastal resource area." Huntington Harbour's waterfront homes qualify due to their direct exposure to tidal channels, wetlands, marine habitat, and visual coastal resources.

The City should not treat this as a typical residential zone. Because the site lies within a Coastal Zone Overlay, it is subject to both the Local Coastal Program (LCP) and the California Coastal Act. The City improperly applied a categorical exemption without accounting for the site's sensitive designation.

Oversized or visually dominant homes within the coastal zone can violate the LCP's policies requiring that development protect visual character, scale, and coastal compatibility. If a project exceeds neighborhood scale, reduces view corridors, or blocks sightlines toward the channel, it is inconsistent with the LCP and therefore inconsistent with the Coastal Act.

The proposed home's size, massing, and design are inconsistent with the LCP's requirements for visual compatibility and the protection of coastal views.

Issue 3: Neighborhood Character

- CEQA and the Coastal Act both require analysis of community character and aesthetic impacts within coastal zones.
- The home's proposed height, bulk, and three-story design are not compatible with nearby properties, disrupting the established scale and visual continuity of the harbor-island community.

Argument: The project introduces an incompatible scale and massing pattern that undermines the coastal community's established character, violating Coastal Act §30253 (e).

Issue 4: Mansionization and Cumulative Impact

- The Coastal Act discourages “mansionization” in fragile coastal settings because incremental overdevelopment intensifies coastal hazards, view loss, and infrastructure stress.
- Each approval becomes a precedent for the next oversized build, further eroding the visual and physical integrity of the coastal environment.

Argument: Approval of this project contributes to a pattern of cumulative overdevelopment within a constrained coastal zone, contrary to Coastal Act §§30250 and 30251.

Issue 5: Hazard and Safety in the Coastal Zone

Projects within the coastal zone must demonstrate that they minimize risks to life and property from hazards such as flooding, liquefaction, subsidence, and sea-level rise. Coastal Act §30253 requires that new development be sited and designed for stability without reliance on protective devices such as seawalls or bulkheads.

The Malden Circle site is directly adjacent to a tidal channel and lies within a known flood-hazard area. The proposed increase in structure size and foundation footprint intensifies potential risks associated with wave action, storm surge, and soil movement.

No site-specific coastal hazard assessment or geotechnical study addressing these conditions was provided before the City approved this project. By approving a project of this scale and location without verifying hazard safety and long-term stability, the City acted inconsistently with both CEQA and Coastal Act §30253 requirements for minimizing coastal risks.

Issue 6: Requirement for an Environmental Impact Report (EIR)

Given the combination of all preceding issues — overbuilding, sensitive coastal-zone location, neighborhood incompatibility, cumulative impacts, and hazard risks — a simple categorical exemption under CEQA is wholly inadequate.

CEQA requires that when there is substantial evidence that a project may have a significant effect on the environment, the lead agency must prepare an Environmental Impact Report (EIR). Each of the above issues independently meets this threshold, and together they demonstrate a clear potential for significant environmental, aesthetic, and safety impacts.

The City has a legal obligation to ensure that a full EIR is conducted before any further approval or construction occurs at 16471 Malden Circle. An EIR will allow for proper public review, expert analysis, and the identification of feasible alternatives or mitigation measures — ensuring that coastal-zone integrity and community character are preserved in accordance with CEQA and the California Coastal Act.

Issue 7: Seawall Stability and Infrastructure Risk

The existing seawalls throughout Huntington Harbour are failing. According to the City of Huntington Beach Infrastructure Report Card, the harbor system received a "D" grade, with projections showing structural failure by 2039 if comprehensive seawall rehabilitation is not completed.

These seawalls were the original walls constructed in the early 1960s, and the vast majority have never been replaced or reinforced. They are well past their intended design life and are already exhibiting visible cracking, shifting, and subsidence.

The proposed home at 16471 Malden Circle would add significant additional weight and stress on the existing seawall and its underlying foundation. The increased load from a massive three-story, 7,700 sq. ft. structure introduces unacceptable risk to both the property and adjacent lots.

If a seawall were to fail under such load conditions, the foundation could slide, fracture, and collapse, allowing harbor water to breach the shoreline and flood multiple properties. Such a chain reaction would result in catastrophic flooding of the island, potentially causing damage worse than the Pacific Palisades fire disaster — but in this case, a mass flooding event driven by infrastructure failure rather than fire.

This is not a speculative risk; it is documented by the City itself. The City's own engineering assessments confirm that Huntington Harbour's seawalls are deteriorating rapidly and require immediate large-scale replacement. Allowing oversized construction before addressing these known weaknesses defies CEQA's mandate to minimize foreseeable hazards and violates Coastal Act §30253, which prohibits new development that would require or exacerbate reliance on shoreline protection devices.

Argument: No new large-scale construction should be approved on or adjacent to these compromised seawalls until the City conducts:

1. A comprehensive structural and geotechnical analysis of the existing wall at the project site.
2. A Harbour-wide mitigation and upgrade plan for seawall stabilization.
3. A full Environmental Impact Report (EIR) that includes hydraulic modeling, cumulative load analysis, and infrastructure failure scenarios.

Until those conditions are met, proceeding with this project poses a direct threat to public safety, property stability, and the long-term integrity of Huntington Harbour's coastal zone.

Respectfully submitted,

Clyde Yeromian on behalf of Brad Bailey

Huntington Harbour, Huntington Beach, CA

California Coastal Commission

A-5-HNB-25-0046

Exhibit 4
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CLYDE YEROMIAN
10/7/2025

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CALIFORNIA COASTAL COMMISSION

Appeal of Coastal Development Permit (CDP) Approval

Project Address: 16471 Malden Circle, Huntington Beach, CA

Appellant: Brad Bailey (Property Owner)

Representative: Clyde Yeroomian

Filed Pursuant to: California Coastal Act §§ 30603, 30625

I. Project Summary

The City of Huntington Beach approved a Coastal Development Permit to demolish an existing single-family home and construct a new 7,700 sq. ft. three-story residence with a rooftop deck and associated improvements along the waterfront on Malden Island in Huntington Harbour. This project is significantly larger than surrounding homes, sits directly atop aging 1960s-era seawalls, and is located in a known flood-prone coastal zone where the City's own infrastructure assessment has graded seawall conditions at a "D" (failing) level.

II. Basis for Appeal

Pursuant to California Coastal Act §30603, this project raises substantial issues concerning consistency with the certified Local Coastal Program (LCP) and the Coastal Act Chapter 3 policies regarding coastal hazards, public safety, visual character, and orderly development.

III. Grounds for Substantial Issue

A. Coastal Hazards & Structural Stability (Coastal Act §30253)

1. Failing Seawalls and Foundation Risks - The seawalls supporting this and adjacent lots were constructed in the early 1960s and have never been replaced. - The City of Huntington Beach Infrastructure Report Card rates the Harbour seawalls as a "D", projecting structural failure by 2039 if no rehabilitation occurs. - A 7,700 sq. ft. home—nearly double the neighborhood average—places excessive static and dynamic load on an already fragile retaining system. - The City failed to require a geotechnical or structural stability analysis specific to seawall integrity, contrary to LCP Policy C 2.1.5 and Coastal Act §30253(a).

2. Flooding and Catastrophic Failure Risk - A compromised seawall could lead to flooding across the Harbour's interior channels, affecting not just private property but public trust lands and navigation safety. - The approval lacks any hydraulic or coastal engineering review, a

critical omission in a flood-exposed coastal zone. - The project therefore violates §30253(b) by failing to ensure development “neither creates nor contributes significantly to erosion, flood, or geologic instability.”

B. Unusual Circumstances Requiring Environmental Review (CEQA Integration)

The City improperly treated this project as categorically exempt from CEQA, ignoring the “unusual circumstances” exception (CEQA Guidelines §15300.2(c)). The unusual circumstances include: - Location on a failing structural seawall in a coastal hazard zone; - Proposed overheight, oversized structure incompatible with the surrounding development scale; - Potential for cumulative impacts on seawall and flood protection infrastructure. These circumstances warrant preparation of a full Environmental Impact Report (EIR) before any development proceeds.

C. Visual & Community Character (Coastal Act §30251)

The proposed residence, at nearly 7,700 sq. ft., is inconsistent with the established scale and character of Malden Island, where the majority of homes range from 3,000–4,000 sq. ft. The three-story elevation and rooftop deck will dominate viewsheds, disrupt architectural cohesion, and visually wall off the waterfront from adjacent parcels. The City’s findings failed to consider the cumulative effect of mansionization in the Harbour, contrary to LCP Design Policy C 5.3.2.

D. Public Access, Safety, and Coastal Resource Impacts (§§30210–30212, §30253)

The risk of seawall failure threatens not only adjacent properties but public access routes within the Harbour and the navigable channel itself, which are subject to the public trust. Potential flooding of streets and docks would impede public safety response and boater access—both core interests under §30210 and §30211. The City did not analyze or condition the project to prevent these foreseeable hazards.

IV. Requested CCC Action

The Appellant respectfully requests that the California Coastal Commission: 1. Find that the appeal raises a “Substantial Issue” with respect to the project’s consistency with the certified LCP and the Coastal Act; and 2. Accept jurisdiction for a de novo hearing, to fully evaluate the project’s compliance with Coastal Act §§30251 and 30253, and to consider whether an EIR and engineering review are required before construction proceeds.

V. Supporting Exhibits (Recommended Attachments)

1. City of Huntington Beach Infrastructure Report Card (Harbour Seawall "D" grade) 2. Photos of visible seawall deterioration behind 16471 Malden Circle and neighboring lots 3. City staff report and approval resolution (showing lack of geotechnical conditions) 4. Neighborhood comparison table showing home sizes and massing 5. Maps showing FEMA flood zone overlay and projected inundation zones 6. Affidavit / statement of nearby residents citing safety concerns

VI. Conclusion

Because the City failed to adequately address the hazards, instability, and public safety risks associated with aging coastal infrastructure and overdevelopment pressure in the Harbour, the approval of the Coastal Development Permit for 16471 Malden Circle is inconsistent with the Coastal Act and the certified LCP. The Coastal Commission should therefore accept this appeal, find a Substantial Issue, and proceed with a de novo review requiring proper environmental and engineering evaluation prior to any construction.

Submitted by:

Brad Bailey, Appellant
Clyde Yeroomian, Representative
Huntington Harbour, CA

CITY OF HUNTINGTON BEACH
OFFICE OF THE MAYOR

10/7/2025

California Coastal Commission – South Coast District Office
301 E. Ocean Blvd, Suite 300
Long Beach, CA 90802

Subject: Appeal – 16471 Malden Circle, Huntington Beach, CA 92649

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COASTAL COMMISSION

An appeal to the Coastal Commission,

Thank you for considering the appeal for 16471 Malden Circle, Huntington Beach, CA 92649. It is my opinion that this project should never have been approved through the City of Huntington Beach as it is designed. I do not feel it is compatible with the area and may pose a potential threat to the seawall due to its size.

Please approve the appeal. I appealed it through the City, but it was not until days after the vote that others realized the Council could not reconsider the decision. This project is far oversized for this community on Gilbert Island.

Sincerely,

Pat Burns

Resident and Mayor of Huntington Beach



Clyde Yeroomian <clyde@smgcars.com>

Malden Appeal

1 message

Pat Burns <pbumshb@gmail.com>
To: Clyde@smgcars.com

Tue, Oct 7, 2025 at 12:23 PM

An appeal to the Coastal Commission, thank you for considering the appeal for 16471 Malden Circle, Huntington Beach, CA 92649.

It is my opinion that this project should never have been approved through the City of Huntington Beach as it is designed. I do not feel it is compatible to the area and a possible threat to the sea wall due to its size.

Please approve the appeal. I appealed it through the City but it was not until days after the vote other realized the council could not reconsider the vote. This is way over sized for this community of Gilbert Island.

Pat Burns, resident and Mayor of Huntington Beach.

California Coastal Commission
A-5-HNB-25-0046

Exhibit 4
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Sam Panebianco
16461 Malden Circle
Huntington Beach, CA 92649
Email: SPANEBIANCO@gmail.com
Phone: 714-450-0499

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CALIFORNIA
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10/7/2025

California Coastal Commission – South Coast District Office
301 E. Ocean Blvd, Suite 300
Long Beach, CA 90802

Subject: Support of Appeal – Coastal Development Permit for 16471 Malden Circle,
Huntington Beach

Dear Commissioners,

My name is Sam Panebianco, and I reside at 16461 Malden Circle, immediately to the left of the proposed project at 16471 Malden Circle. I am writing in support of the appeal filed by my neighbor, Brad Bailey, and to express my strong concerns regarding the significant structural, environmental, and visual impacts this proposed project may have on my property and the surrounding homes.

I. Background and Structural Concerns

When I purchased my home in 2016, I discovered severe structural issues related to the underlying seawall and foundation:

- My concrete slab (approximately 4 inches thick) was hollow underneath in several areas and lacked proper structural support.
- The seawall was failing, and the foundation was beginning to slip.
- To stabilize my property, contractors had to remove and replace the entire slab, fill the hollow areas beneath with large boulders and aggregate, and reinforce the seawall.

Given that the lot at 16471 Malden Circle shares the same soil composition, fill, and seawall system, I am deeply concerned that constructing a three-story, 7,000–8,000 sq. ft. home on that foundation could compromise not only the integrity of that site, but also cause damage to my home and my neighbor Brad Bailey's home.

Excessive structural loading and vibration during construction could lead to foundation settlement, cracking, or seawall destabilization—potentially leading to flooding or structural collapse affecting adjacent properties.

II. CEQA and Coastal Act Concerns

California Coastal Commission
A-5-HNB-25-0046

A. Geologic and Coastal Hazard Impacts

The California Coastal Act (Section 30253) requires that new development shall:

"Minimize risks to life and property in areas of high geologic, flood, and fire hazard; assure stability and structural integrity; and neither create nor contribute significantly to erosion, instability, or destruction of the site or surrounding area."

The proposed structure fails to meet this standard without comprehensive geotechnical and structural load analysis. Given the shared seawall system and prior evidence of soil instability, I urge the Commission to require a full, independent geotechnical report prior to any approval.

B. Shadow and Solar Access Impacts

In 2016, I invested over \$100,000 to install a rooftop solar panel system. The proposed 35-foot-tall, three-story home would cast significant shadows across my roofline for much of the day, rendering these panels largely ineffective.

Under CEQA Guidelines Appendix G (Aesthetics), shading and shadow impacts that substantially reduce the effectiveness of solar collectors are considered potential adverse environmental impacts. Local jurisdictions and the Commission itself frequently require shadow studies to evaluate and mitigate such impacts.

Additionally, the Coastal Act emphasizes the protection of scenic and visual resources (Sections 30251 and 30253). A structure that blocks sunlight and imposes disproportionate massing relative to neighboring homes conflicts with the intent of maintaining visual harmony and protecting light and air access in coastal neighborhoods.

III. Neighborhood Compatibility and Precedent

The proposed home is oversized for the lot and incompatible with the scale of adjacent properties. Allowing such an outsized structure would set a troubling precedent for over-building and massing within this delicate coastal area. It would also worsen stormwater runoff, reduce sunlight access, and degrade neighborhood character.

IV. Requested Actions

I respectfully request that the Commission:

1. Find a Substantial Issue exists and hold a de novo hearing on this appeal.
2. Require comprehensive geotechnical and seawall analysis to ensure no damage to neighboring foundations.
3. Require a shadow and solar impact study to evaluate loss of solar access and energy generation.
4. Require appropriate height reductions, setbacks, or design changes to prevent structural and solar impacts.
5. Condition any approval on mitigation measures that ensure protection of adjacent homes and infrastructure.

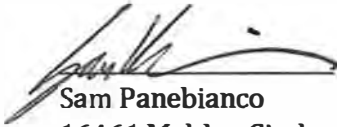
V. Closing

I strongly support this appeal and urge the Coastal Commission to consider both the

environmental and structural risks associated with this project. I believe in responsible coastal development that protects existing homeowners and the long-term safety and stability of our community.

Thank you for your time and careful consideration.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Sam Panebianco', with a horizontal line drawn underneath it.

Sam Panebianco
16461 Malden Circle
Huntington Beach, CA 92649

GILBERT ISLAND



California Coastal Commission
A-5-HNB-25-0046
SMALL CHANNEL
25 HOMES

MAIN CHANNEL
21 HOMES
AVERAGE SIZE 4413 SQ FT

City of
HUNTINGTON BEACH
**Infrastructure
Report Card.**

City of Huntington Beach

INFRASTRUCTURE REPORT CARD 2024

California Coastal Commission
A-5-HNB-25-0046

Exhibit 4
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INFRASTRUCTURE GRADES

- A: **Exceptional** — Fit for the future
 B: **Good** — Adequate now
 C: **Mediocre** — Requires attention
 D: **Poor** — At risk
 F: **Failing/Critical** — Unfit for purpose

OVERALL
C

Total Needs 2024-2039: \$1.8B



COASTAL

C

\$23M



NON-ROAD
PAVEMENT

D

\$87M



HARBOUR

D

\$19M



ROADS

B

\$270M



FACILITIES

D

\$180M



STORMWATER

D

\$877M



PARKS

C

\$129M



WASTEWATER

C

\$126M



INFORMATION
SYSTEMS

C

\$21M



WATER

C

\$69M



BRIDGES

B

\$45M





Harbour



Total Needs (2024-2039):

\$18,650,000

Grade

D – Harbour facilities need immediate attention as most were constructed during the 1970's and have been subject to the marine environment. These include City-owned bulkhead, public dock, boat launch, and public restrooms.

Assets

- 2,930 linear feet of bulkhead
- 1 public dock
- 1 public boat launch and parking lot
- 1 public marine vessel sewage pump-out station
- 2 public restroom facilities

Key Facts

- Bulkheads: most of the bulkheads (2,930 linear feet) are in poor to very poor shape and require immediate attention to rehabilitate and/or replace. The age of the bulkheads is the primary cause of the deterioration as these were constructed in the early to mid-1970s and also due to the marine environment.

- Resiliency to Climate Change: Huntington Harbour and other coastal assets are especially vulnerable to expected rise in sea levels. By 2050, the National Ocean and Atmospheric Administration and the City's own Sea-Level Rise study the expected sea level rise of 1 to 2 feet could jeopardize the City's infrastructure in the Harbour along with the surrounding community. The bulkheads and seawalls are not high enough to provide the necessary protection if expected sea-level rise comes to fruition in combination with King Tides that the City experiences twice a year. This combination of rising sea-level and King Tides could render a large part of the Harbour as uninhabitable unless the bulkheads and seawalls are raised to address this issue.

- Public Restroom Facilities: The Harbour beaches and parks do not have adequate restroom facilities and the existing facilities at Seabridge Park and the public dock at Warner Fire Station are in very poor shape in addition to being undersize to serve the number of visitors in the summer months. Those facilities are in dire need of a major rehabilitation as ongoing maintenance is

• Bridges

California Coastal Commission
A-5-HNB-25-0046



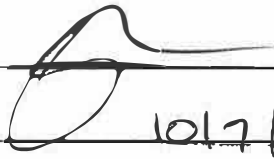
Additional Representatives (as necessary)

Name GLENNA MILLER
 Title HOME OWNER
 Street Address 16532 SOMERSET LN
 City Huntington Beach
 State, Zip CA 92649
 Email Address RCM1GSM @ AOL.com
 Daytime Phone (714) 345-8391

Name ROBERT MILLER
 Title HOME OWNER
 Street Address 16582 SOMERSET LN.
 City Huntington Beach
 State, Zip CA 92649
 Email Address ROB @ CALRED.COM
 Daytime Phone (512) 534-1663

Name MATT LAVATO
 Title HOME OWNER
 Street Address 3442 Gilbert Dr.
 City Huntington Beach
 State, Zip CA 92649
 Email Address Matt6628 @ gmail.com
 Daytime Phone (714) 501-7861

Name ROBERT DE JONCO
 Title HOME OWNER
 Street Address 16592 SOMERSET LN
 City Huntington Beach
 State, Zip CA 92649
 Email Address RJUNCO @ theemailcents.com
 Daytime Phone (714) 795-7555

Your Signature 

Date of Signature 10/7/25

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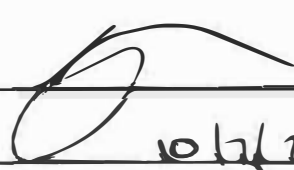
Additional Representatives (as necessary)

Name SUSAN CIANCIGULLI
Title HOME OWNER
Street Address. 16481 Peck Lane
City Huntington Beach
State, Zip CA. 92649
Email Address SUSANCCBB@Yahoo.com
Daytime Phone (949) 285-4013

Name SYDELLE IBARRA
Title HOME OWNER
Street Address. 3442 Gilbert Dr.
City Huntington Beach
State, Zip CA. 92649
Email Address SYD@themailcenter.com
Daytime Phone 323-403-8383

Name CLYDE YEROMIAN
Title HOME OWNER
Street Address. 16522 SOMERSET LN.
City Huntington Beach
State, Zip CA. 92649
Email Address Clyde@SMGCARS.com
Daytime Phone 312-775-5770

Name Richard Lewis
Title HOME OWNER
Street Address. 16472 Malden Circle
City Huntington Beach
State, Zip CA. 92649
Email Address RLEWIS@OCERECORDS.com
Daytime Phone (714) 412-5243

Your Signature 

Date of Signature 10/2/25

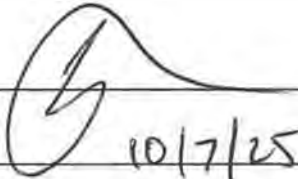
Additional Representatives (as necessary)

Name SAM Panebianco
Title HOME OWNER
Street Address. 16461 Malden Cir
City Huntington Beach
State, Zip CA 92649
Email Address SPANEBIANCO@GMAIL.COM
Daytime Phone (714) 450-0499

Name LOBI GIBBS
Title HOME OWNER
Street Address. 16451 Malden circle
City Huntington Beach
State, Zip CA 92649
Email Address LobGibbs@theemailcenter.com
Daytime Phone (310) 344-7926

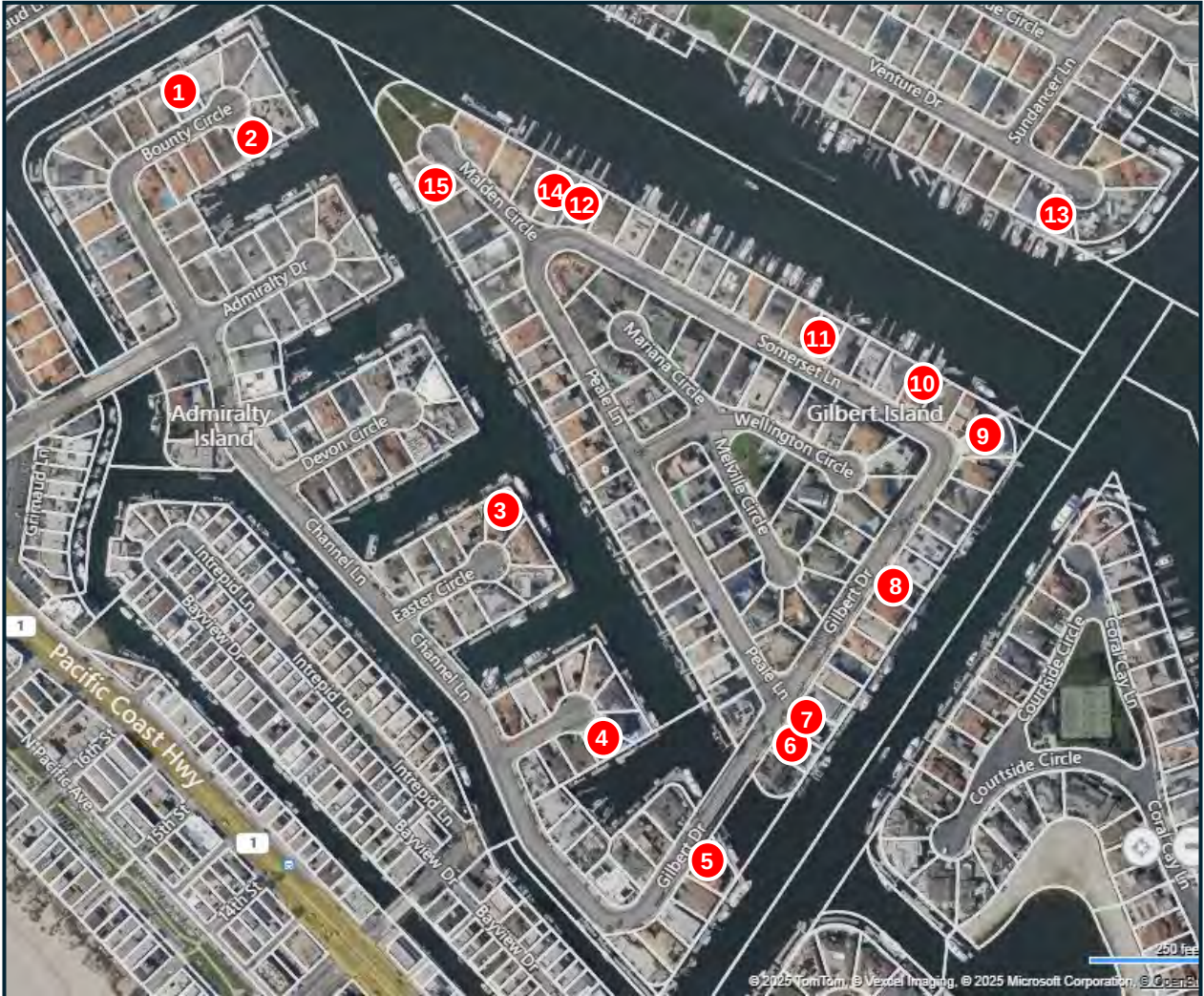
Name Deborah Dibenedetto
Title Home owner
Street Address. 16562 Somerset
City Huntington Beach
State, Zip CA 92649
Email Address Debbid724@gmail.com
Daytime Phone (714) 812-7201

Name Randy Mendoza
Title Home owner
Street Address. 16512 SOMERSET
City Huntington Beach
State, Zip CA 92649
Email Address DMODZEN@AOL.COM
Daytime Phone (562) 431-4604

Your Signature 

Date of Signature 10/7/25

Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission

A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission



A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission



A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission



A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission

A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission



A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 5: City-approved CUPs for Similar Development



California Coastal Commission

A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 5

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Exhibit 6: Street View of Existing Residence



California Coastal Commission

A-5-HNB-25-0046

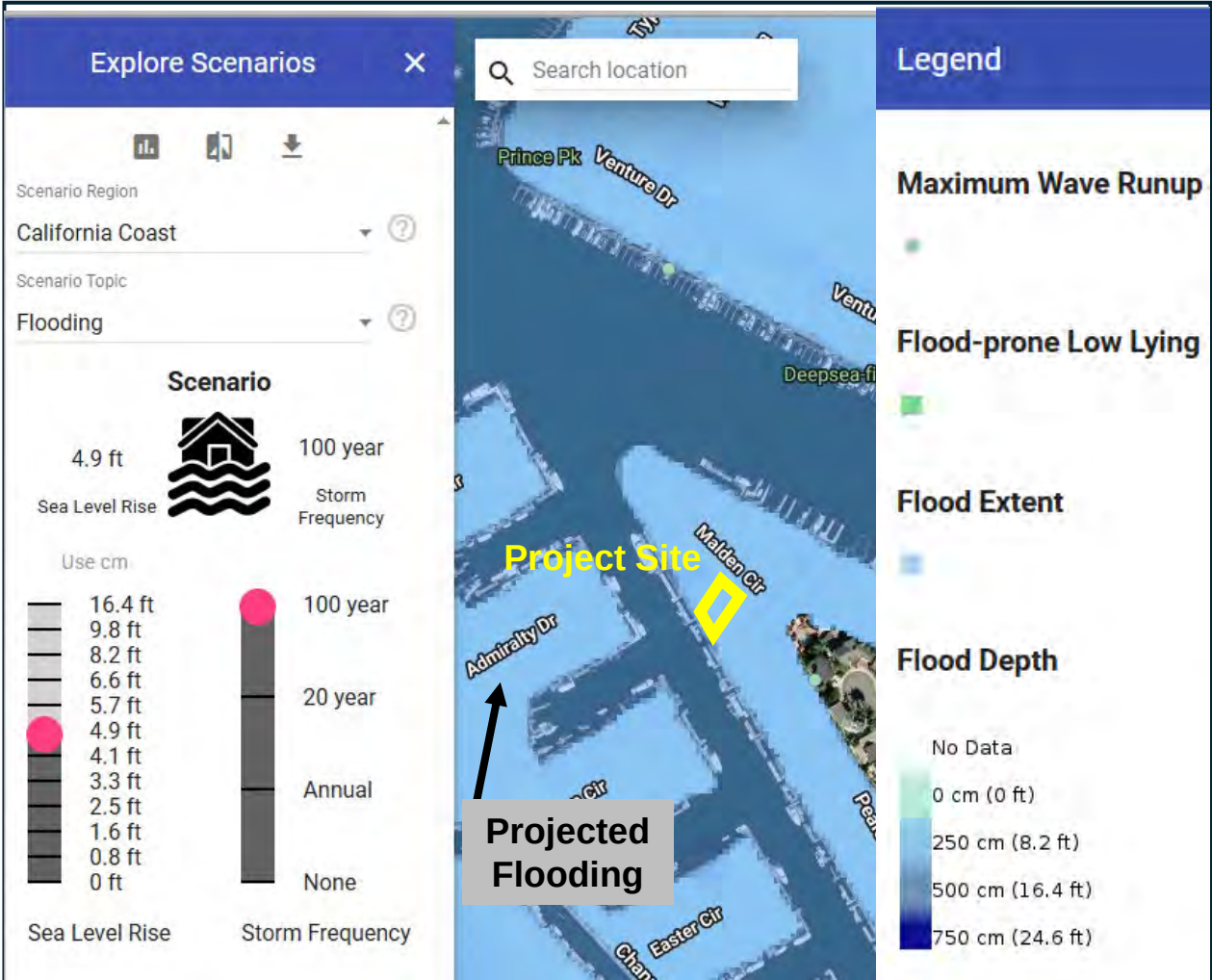
Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

Exhibit 6

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Exhibit 7: CoSMoS Projections



California Coastal Commission

A-5-HNB-25-0046

Project Address: 16471 Malden Circle, Huntington Beach (Orange County)

